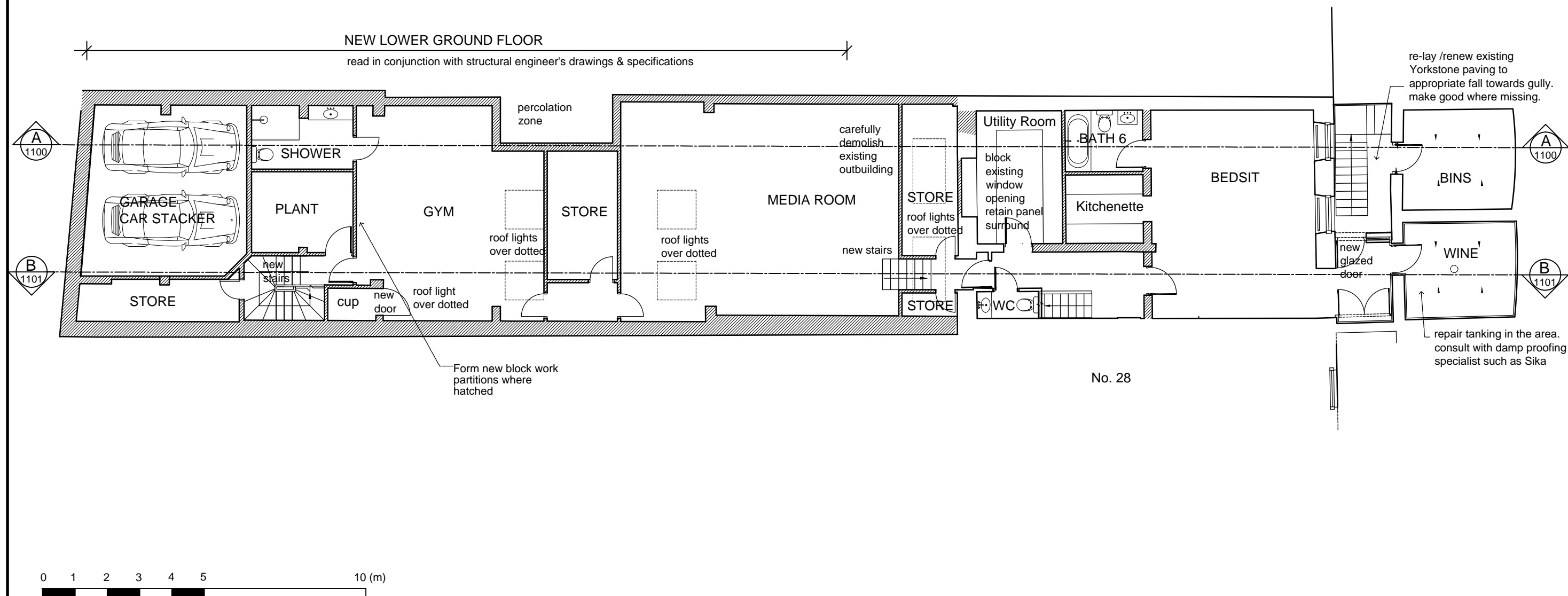


- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



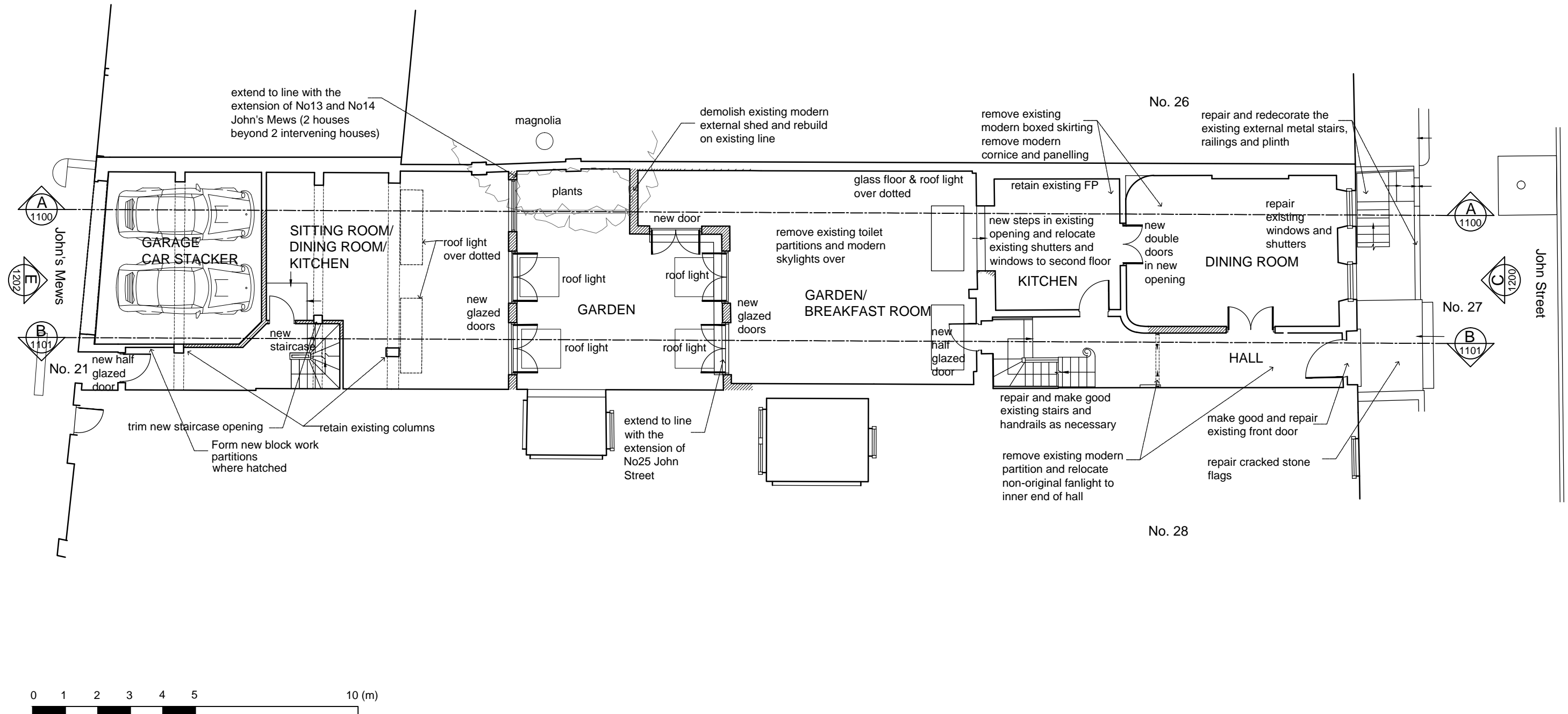
No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
					B	05/09/2013 JXA ACS Planning Issue and alterations to layout
					A	29/08/2013 JXA ACS Adding Notes and alterations to layout
					-	30/07/2013 JXA ACS Initial Issue
					Rev	Date Dwn Auth REVISIONS

Title Proposed Lower Ground Floor Plan

Job JS27.02	Status P
No 2000	Rev B
Scale (A3) 1:	1 2 5

1. Shading indicates new construction.
2. All existing bathroom, kitchen and sanitaryware fittings to be removed.
3. Original joinery to be recorded and set aside for reuse where removal necessary.
4. No original door survived throughout the house. New door details to follow those of DIA drawings.
5. Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
6. Existing services and drains removed and replaced throughout.
7. Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
8. All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fire rooms.
9. Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists as necessary.
10. Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

- Internal doors: S/F new traditionally detailed timber door and architraves throughout except where indicated otherwise.

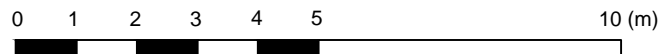


Job JS27.02	Status P
No 2001	Rev A
Scale (A3) 1:	1 2 5

General notes:

- Notes on First Floor:**

-
- A circle with a shaded sector. The central angle is labeled N .



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Job 27 John Street & 21 John's Mews

**CHARTERED ARCHITECTS
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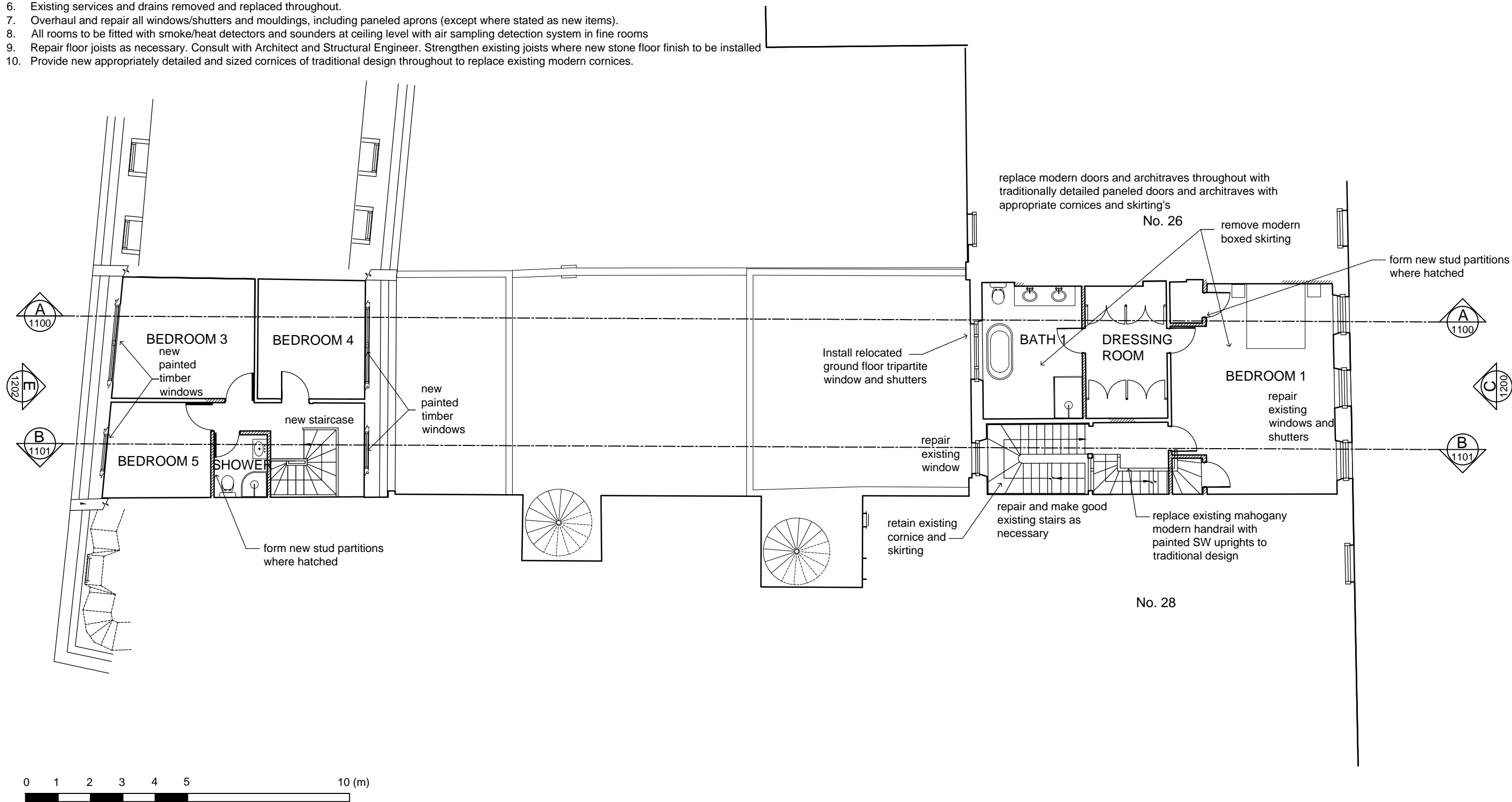
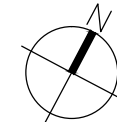
Job JS27.02	Status P
No 2002	Rev A
Scale (A3) 1:	1 2 5

General notes:

- Shading indicates new construction.
- All existing bathroom, kitchen and sanitaryware fittings to be removed.
- Original joinery to be recorded and set aside for resue where removal necessary.
- No original door survived throughout the house. New door details to follow those of DIA drawings.
- Fireplaces and hearth surrounds to be retained unless noted otherwise. Existing chimney flues to be unblocked and lined.
- Existing services and drains removed and replaced throughout.
- Overhaul and repair all windows/shutters and mouldings, including paneled aprons (except where stated as new items).
- All rooms to be fitted with smoke/heat detectors and sounders at ceiling level with air sampling detection system in fine rooms
- Repair floor joists as necessary. Consult with Architect and Structural Engineer. Strengthen existing joists where new stone floor finish to be installed
- Provide new appropriately detailed and sized cornices of traditional design throughout to replace existing modern cornices.

Notes on Second Floor:

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
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3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
				A	05/09/2013	JXA ACS Planning Issue
				A	29/08/2013	JXA ACS Adding Notes and alterations to layout
				-	30/07/2013	JXA ACS Initial Issue
				Rev	Date	Dwn Auth REVISIONS

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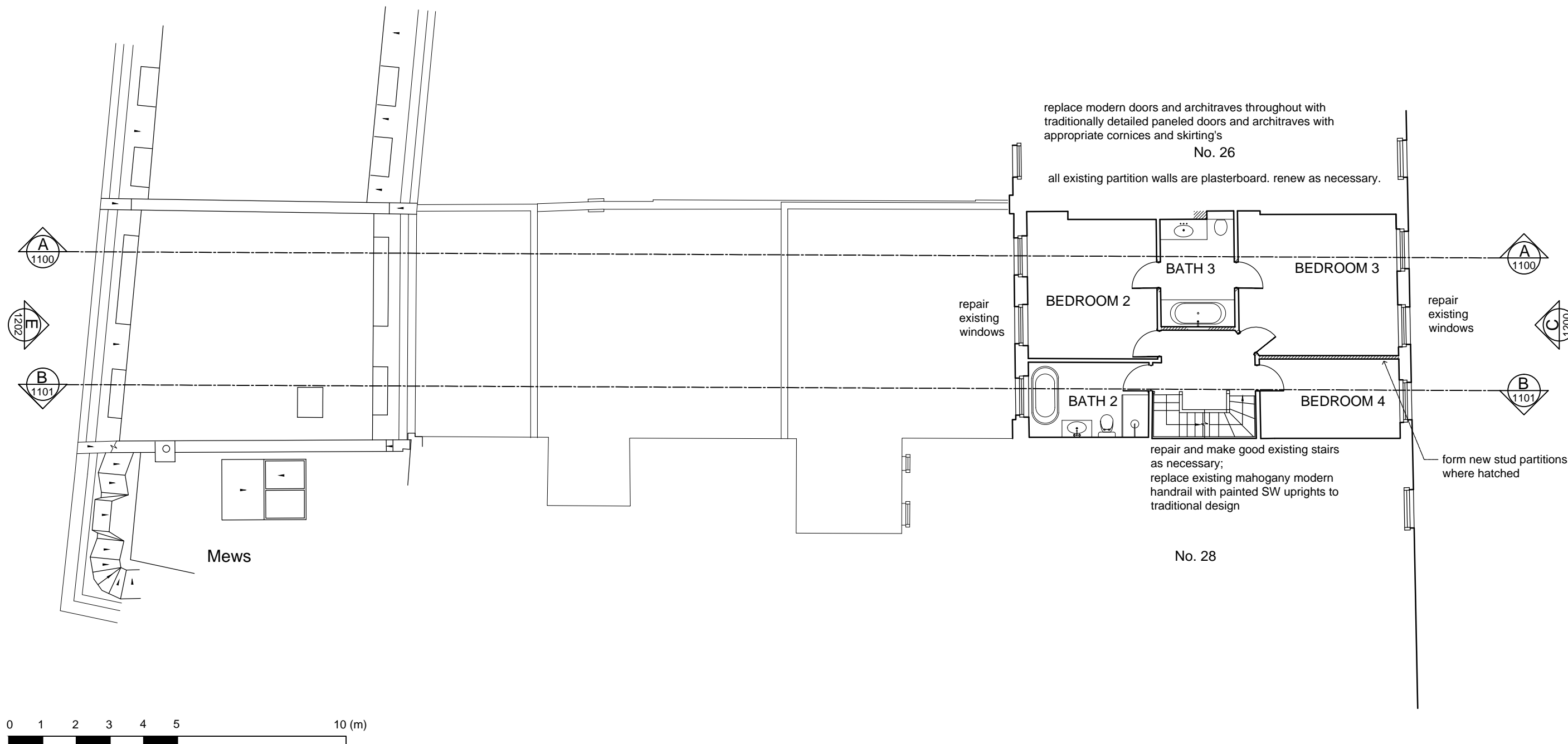
Job 27 John Street & 21 John's Mews

Title Proposed Second Floor Plan

CHARTERED ARCHITECTS
PLANNING CONSULTANTS

Job JS27.02	Status P
No 2003	Rev A
Scale (A3) 1:	1 2 5

- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.

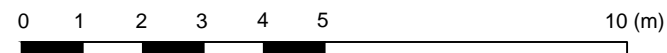
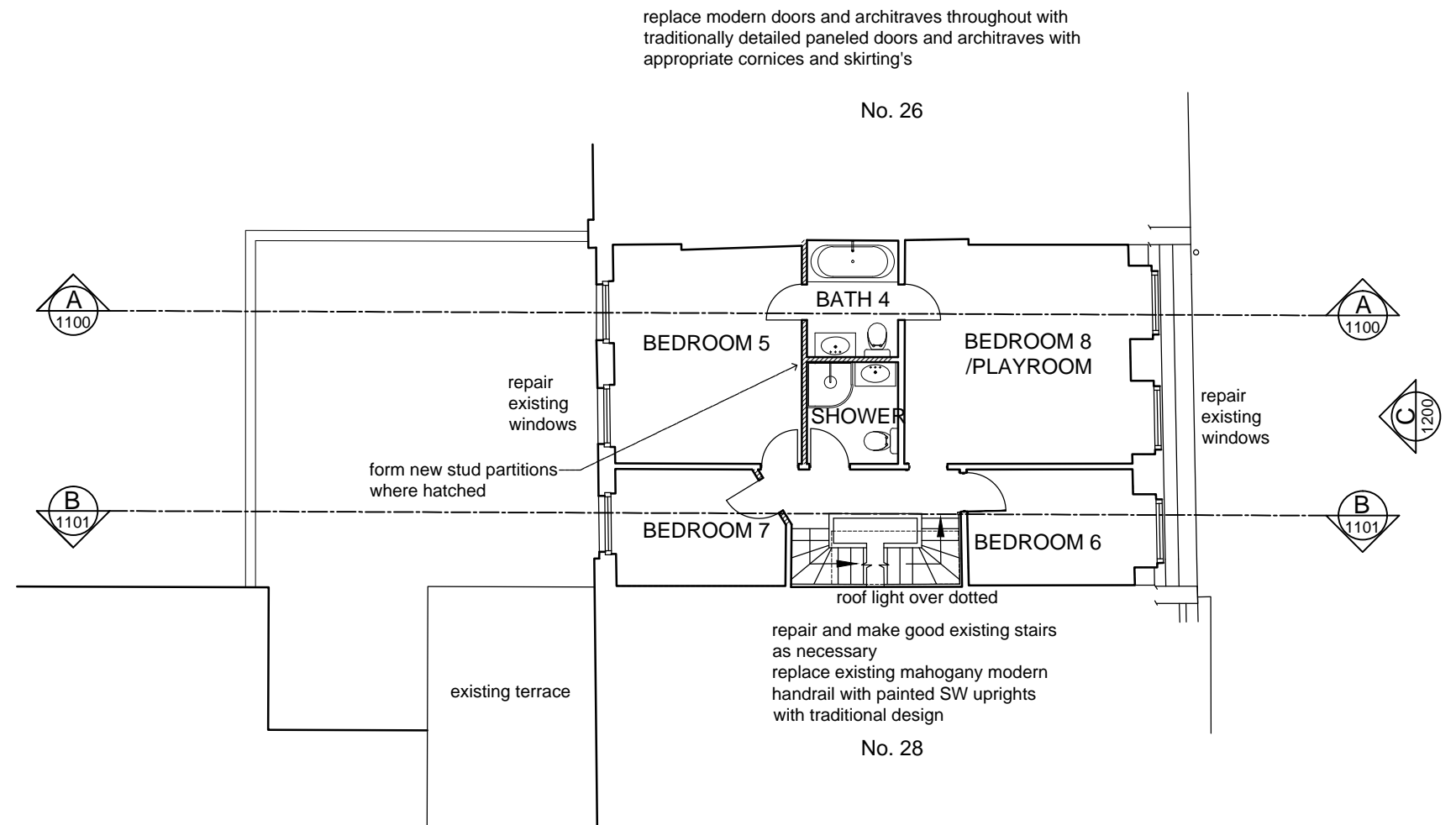


No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
					A	05/09/2013 JXA ACS Planning Issue
					A	29/08/2013 JXA ACS Adding Notes and alterations to layout
					-	30/07/2013 JXA ACS Initial Issue
					Rev	Date Dwn Auth REVISIONS

Title	Proposed Third Floor Plan
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Job JS27.02	Status P		
No 2004	Rev A		
Scale (A3) 1:	1	2	5

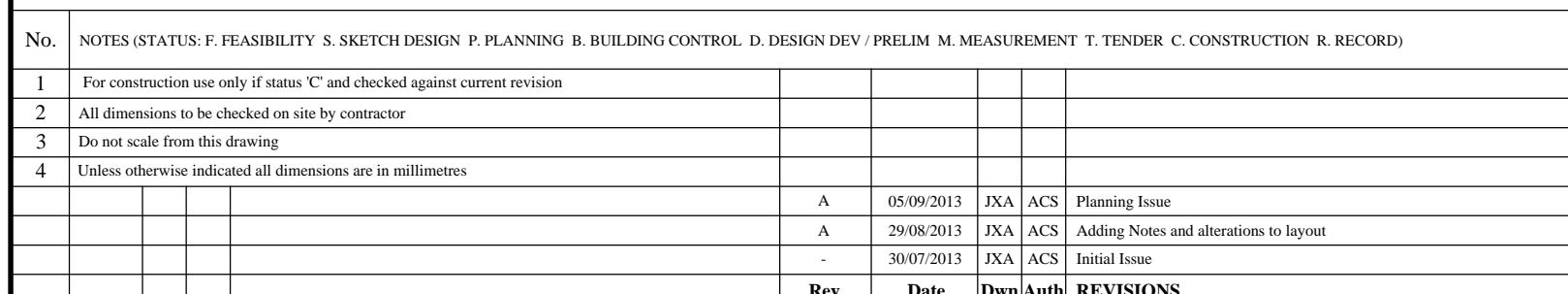
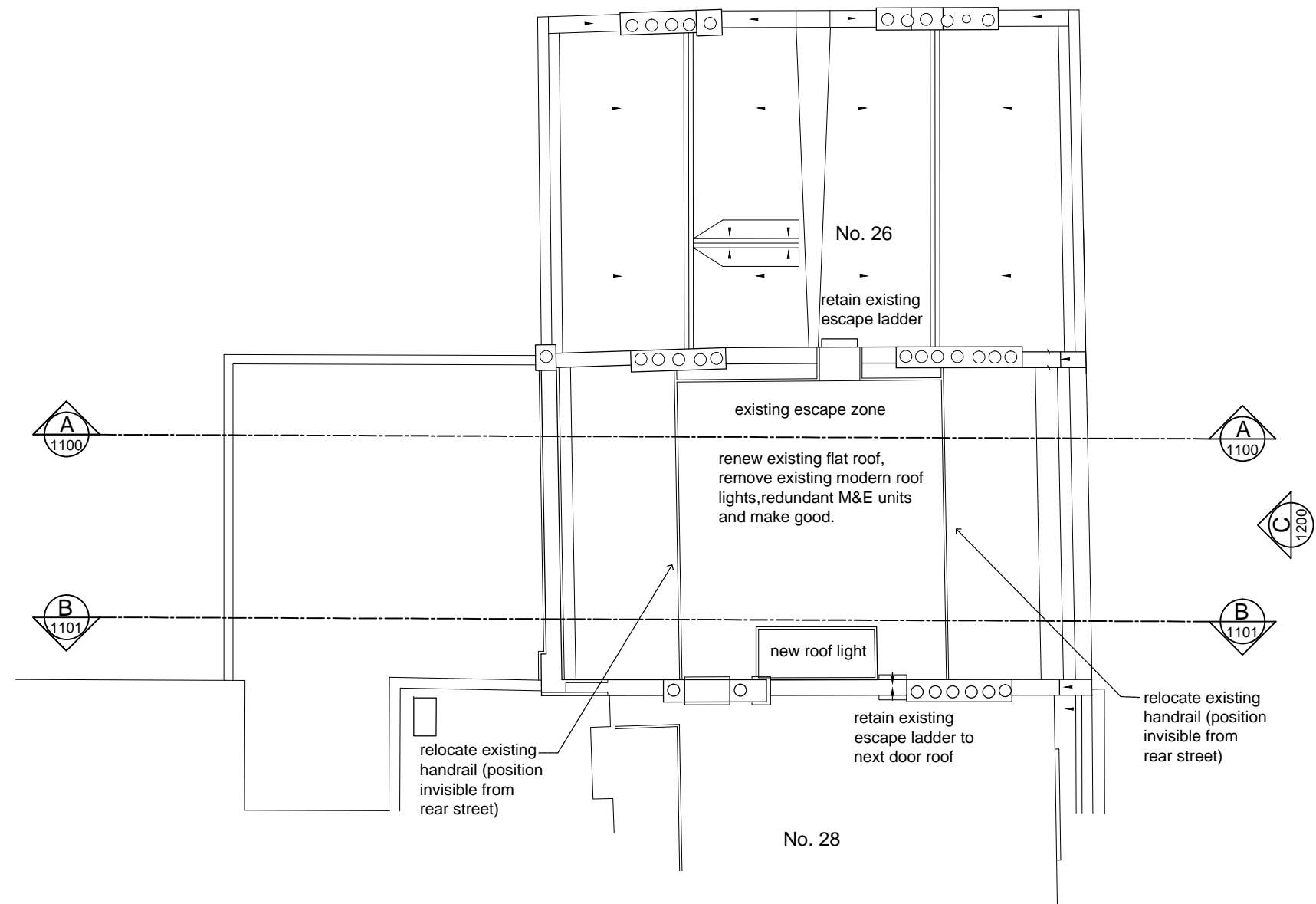
- Internal doors: S/F new traditionally detailed painted SW door and architraves throughout except where indicated otherwise.



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
					A	05/09/2013 JXA ACS Planning Issue
					A	29/08/2013 JXA ACS Adding Notes and alterations to layout
					-	30/07/2013 JXA ACS Initial Issue
					Rev	Date Dwn Auth REVISIONS

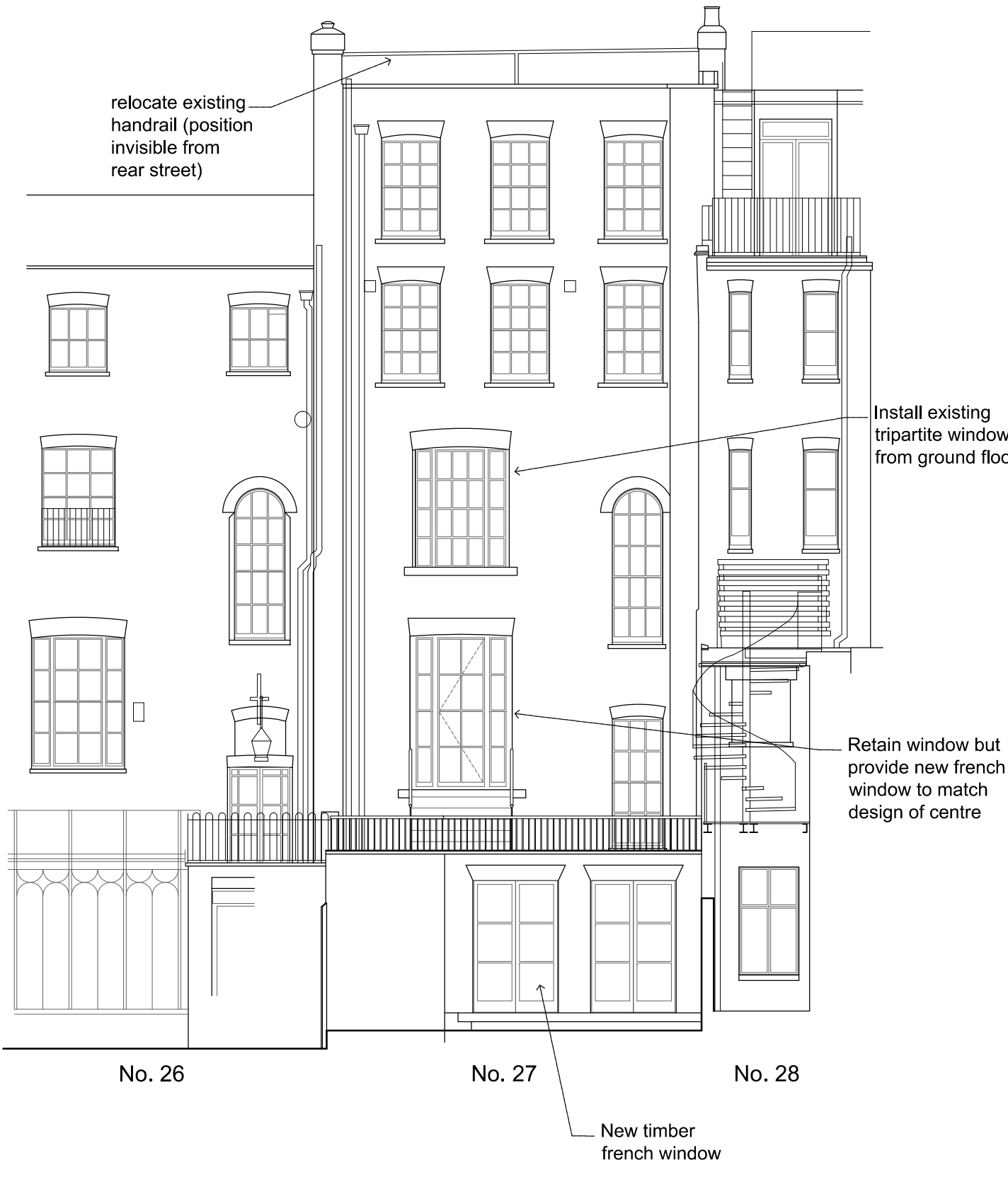
Title Proposed Fourth Floor Plan

Job JS27.02	Status P
No 2005	Rev A
Scale (A3) 1:	1 2 5



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Job JS27.02	Status P
No 2006	Rev A
Scale (A3) 1:	1 2 5



General Notes on Repairs:

- Brickwork
- Carefully rake out damaged joints and re-point where necessary in matching mortar.
 - Carefully brush clean brickwork to remove moss and staining where necessary.
 - Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
 - Soot down any repairs to match existing.

- Stone
- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

- Leadwork
- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

- Drainage
- Remove redundant services.
 - Repair/replace damaged pipes as necessary.
 - Clear all the blockages
 - All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
 - All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.

No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)					
1	For construction use only if status 'C' and checked against current revision					
2	All dimensions to be checked on site by contractor					
3	Do not scale from this drawing					
4	Unless otherwise indicated all dimensions are in millimetres					
					A	05/09/2013 JXA ACS Planning Issue
					A	29/08/2013 JXA ACS Adding Notes
					-	01/08/2013 AXT ACS Initial Issue
					Rev	Date DwnAuth REVISIONS

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Job 27 John Street & 21 John's Mews

Title Proposed Rear Elevation

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Job JS27.02	Status P		
No 2201	Rev A		
Scale (A3) 1:	1	0	0

- remove existing boarding and replace with lead
- remove existing modern metal windows and replace with new sash windows with traditionally detailed painted timber double glazed windows



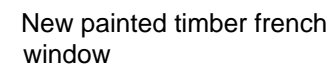
Brickwork

- Carefully rake out damaged joints and re-point where necessary in matching mortar.
- Carefully brush clean brickwork to remove moss and staining where necessary.
- Replace mismatching brickwork with second hand bricks to match existing - sample must be approved by Architect
- Soot down any repairs to match existing.

- Carefully brush clean stonework - remove moss and stain and repoint as necessary.

- Carefully investigate roof leadwork once safe access is established, and repair/replace as necessary all in accordance with Lead Sheet Association's recommendations.

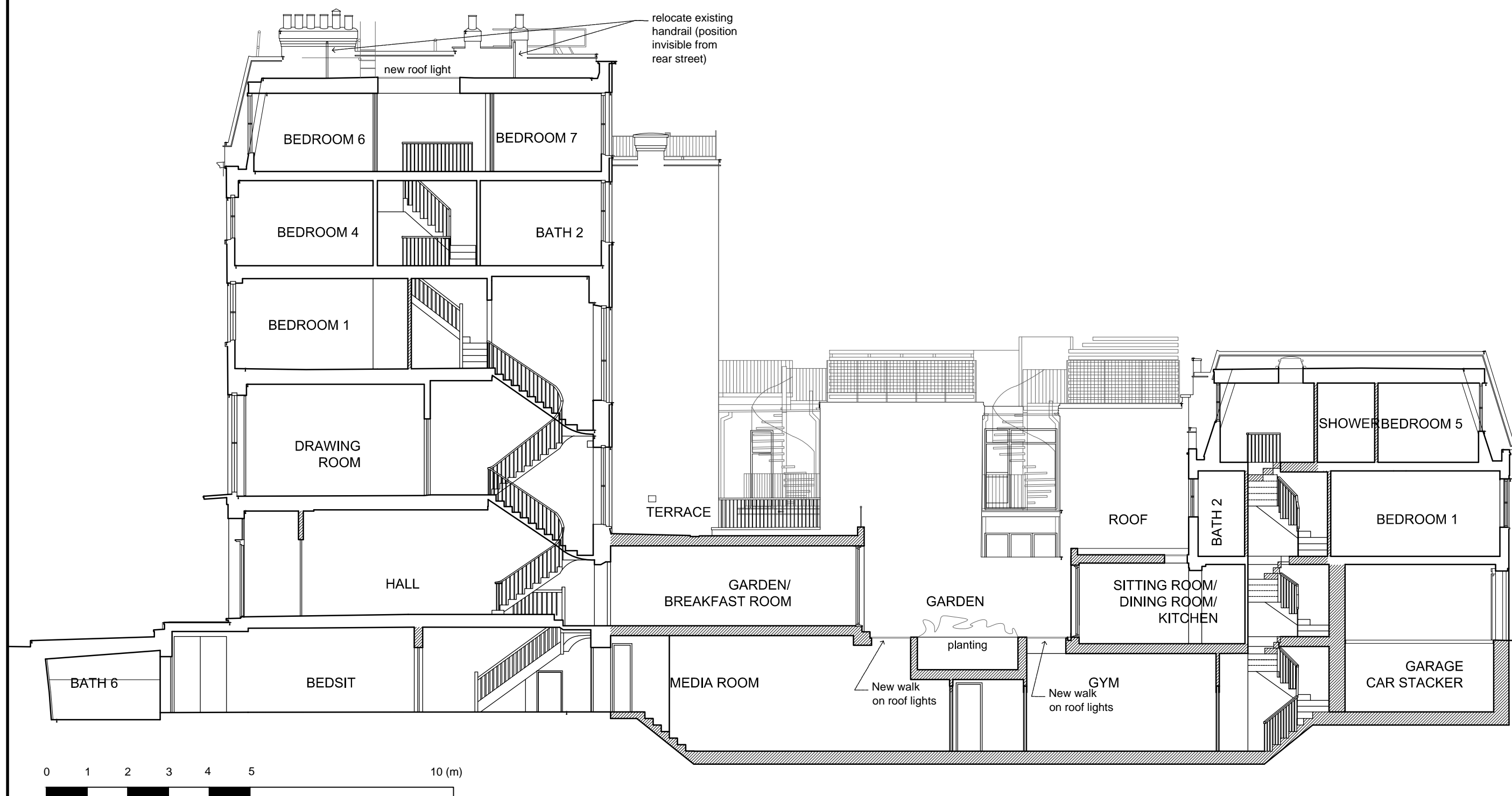
- Remove redundant services.
- Repair/replace damaged pipes as necessary.
- Clear all the blockages
- All the external rainwater and soil vent pipes are to be replaced in cast iron to match existing.
- All internal soil vent pipes must be adequately sound insulated and properly concealed, and to follow existing service route where possible.



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Last saved on 05/09/2013 filename:w:\jobs\js27.02\drawings\work in progress\sheets layouts\2 general arrangement\2202 proposed front & rear mews elevation.dwg by JXA

Title	Proposed Front & Rear Mews Elevation
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Job JS27.02	Status P
No 2202	Rev A
Scale (A3) 1:	1 0 0



No.	NOTES (STATUS: F. FEASIBILITY S. SKETCH DESIGN P. PLANNING B. BUILDING CONTROL D. DESIGN DEV / PRELIM M. MEASUREMENT T. TENDER C. CONSTRUCTION R. RECORD)									
1	For construction use only if status 'C' and checked against current revision									
2	All dimensions to be checked on site by contractor									
3	Do not scale from this drawing									
4	Unless otherwise indicated all dimensions are in millimetres									
						B	05/09/2013	JXA	ACS	Planning Issue and alterations to ceiling heights
						A	29/08/2013	JXA	ACS	Adding Notes and alterations to ceiling heights, room sizes etc.
						-	01/08/2013	AXT	ACS	Initial Issue
						Rev	Date	Dwn	Auth	REVISIONS

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Job 27 John Street & 21 John's Mews

**CHARTERED ARCHITECTS
PLANNING CONSULTANTS**

Job JS27.02	Status P
No 2301	Rev B
Scale (A3) 1:	1 2 5