

Drawing Substitutions

This document highlights the principle differences in the following drawings submitted for substitution.

These are PL2 revisions to the Planning Application in order to address and clarify queries and issues raised by LB Camden, stakeholders and wider consultation feedback.

Principle changes are:

1. Modifications to room arrangements in basement around building management and plant areas to enable the extension of lift service for lift in both the north and south cores of the lower downwards to serve level -1 of the basement. This removes the need for a separate lift to be added to connect ground floor lobby and basement levels

2. Clarification of the bike storage facilities available as: two secure rooms:

- Residential - 181 cycles
- Retail Staff - 31 cycles
- Retail Visitors - provision within public room

3. Design development of the ventilation duct to north side of Centre Point House. This has allowed the overall volume of the addition to be reduced to a more slender element. In addition a glazed 600mm wide slot has been introduced to preserve the sculptural quality but add more detail and articulation to the two planes to enliven the facade. Glazing areas have also been increased at the two sides of the plane

Further technical design of the structures and plant system may allow further improvements to overall duct as design process progresses.

4. The position of retail ventilation louvers within the eastern brise-soleil facade have been slightly modified to be more integrated into the overall composition.

ORIGINAL DRAWING	REV	TITLE	SCALE	SUBSTITUTED DRAWING	REV	TITLE	SCALE
RMA-CPA-19400	PL1	LOWER BASEMENT PLAN	1:250	RMA-CPA-19400	PL2	LOWER BASEMENT PLAN	1:250
RMA-CPA-19401	PL1	BASEMENT PLAN	1:250	RMA-CPA-19401	PL2	BASEMENT PLAN	1:250
RMA-CPA-19406	PL1	LEVEL 02 PLAN	1:250	RMA-CPA-19406	PL2	LEVEL 02 PLAN	1:250
RMA-CPA-19407	PL1	LEVEL 03 PLAN	1:250	RMA-CPA-19407	PL2	LEVEL 03 PLAN	1:250
RMA-CPA-19408	PL1	LEVEL 04 PLAN	1:250	RMA-CPA-19408	PL2	LEVEL 04 PLAN	1:250
RMA-CPA-19409	PL1	LEVEL 05 PLAN	1:250	RMA-CPA-19409	PL2	LEVEL 05 PLAN	1:250
RMA-CPA-19410	PL1	LEVEL 06 PLAN	1:250	RMA-CPA-19410	PL2	LEVEL 06 PLAN	1:250
RMA-CPA-19411	PL1	LEVEL 07 PLAN	1:250	RMA-CPA-19411	PL2	LEVEL 07 PLAN	1:250
RMA-CPA-19412	PL1	LEVEL 08 PLAN	1:250	RMA-CPA-19412	PL2	LEVEL 08 PLAN	1:250
RMA-CPA-19413	PL1	LEVEL 09 PLAN	1:250	RMA-CPA-19413	PL2	LEVEL 09 PLAN	1:250
RMA-CPA-19502	PL1	ELEVATION NORTH (NEW OXFORD ST)	1:250	RMA-CPA-19502	PL2	ELEVATION NORTH (NEW OXFORD ST)	1:250
RMA-CPA-19503	PL1	ELEVATION EAST CPH (EARNSHAW ST)	1:250	RMA-CPA-19503	PL2	ELEVATION EAST CPH (EARNSHAW ST)	1:250
RMA-CPA-19504	PL1	ELEVATION SOUTH	1:250	RMA-CPA-19504	PL2	ELEVATION SOUTH	1:250
RMA-CPA-19505	PL1	ELEVATION WEST CPH	1:250	RMA-CPA-19505	PL2	ELEVATION WEST CPH	1:250
RMA-CPA-19523	PL1	SECTION DD	1:250	RMA-CPA-19523	PL2	SECTION DD	1:250
RMA-CPA-19524	PL1	SECTION EE	1:250	RMA-CPA-19524	PL2	SECTION EE	1:250
RMA-CPA-19560	PL1	ELEVATION WEST 2 CPH	1:100	RMA-CPA-19560	PL2	ELEVATION WEST 2 CPH	1:100
RMA-CPA-19575	PL1	SECTION EE - 1	1:100	RMA-CPA-19575	PL2	SECTION EE - 1	1:100
RMA-CPT-19600	PL1	TOWER LOWER BASEMENT PLAN	1:100	RMA-CPT-19600	PL2	TOWER LOWER BASEMENT PLAN	1:100
RMA-CPT-19601	PL1	TOWER BASEMENT PLAN	1:100	RMA-CPT-19601	PL2	TOWER BASEMENT PLAN	1:100
RMA-CPL-19600	PL1	LINK LOWER BASEMENT PLAN	1:100	RMA-CPL-19600	PL2	LINK LOWER BASEMENT PLAN	1:100
RMA-CPL-19601	PL1	LINK BASEMENT PLAN	1:100	RMA-CPL-19601	PL2	LINK BASEMENT PLAN	1:100
RMA-CPL-19606	PL1	LINK LEVEL 02 PLAN	1:100	RMA-CPL-19606	PL2	LINK LEVEL 02 PLAN	1:100
RMA-CPL-19607	PL1	LINK ROOF PLAN	1:100	RMA-CPL-19607	PL2	LINK ROOF PLAN	1:100
RMA-CPH-19600	PL1	HOUSE LOWER BASEMENT PLAN	1:100	RMA-CPH-19600	PL2	HOUSE LOWER BASEMENT PLAN	1:100
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RMA-CPH-19609	PL1	HOUSE LEVEL 05 PLAN	1:100	RMA-CPH-19609	PL2	HOUSE LEVEL 05 PLAN	1:100
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RMA-CPH-19613	PL1	HOUSE ROOF PLAN	1:100	RMA-CPH-19613	PL2	HOUSE ROOF PLAN	1:100

APPENDIX - REVISED DRAWINGS FOR SUBSTITUTION

THIS DRAWING OF SITE
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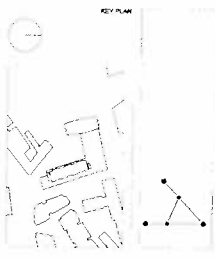
ARCH KEY

- RETAIL
- CLUB
- RESIDENTIAL
- OFFICE
- BACK OF HOUSE
- INTERIOR LANDSCAPE

- URBAN FORM
- EXISTING STRUCTURE
- PROPOSED STRUCTURE

REVISIONS

NO.	DATE	DESCRIPTION
1	21.06.11	PRELIMINARY DESIGN
2	14.08.11	REVISIONS TO CLIMATE
3	14.08.11	REVISIONS TO CLIMATE
4	14.08.11	REVISIONS TO CLIMATE

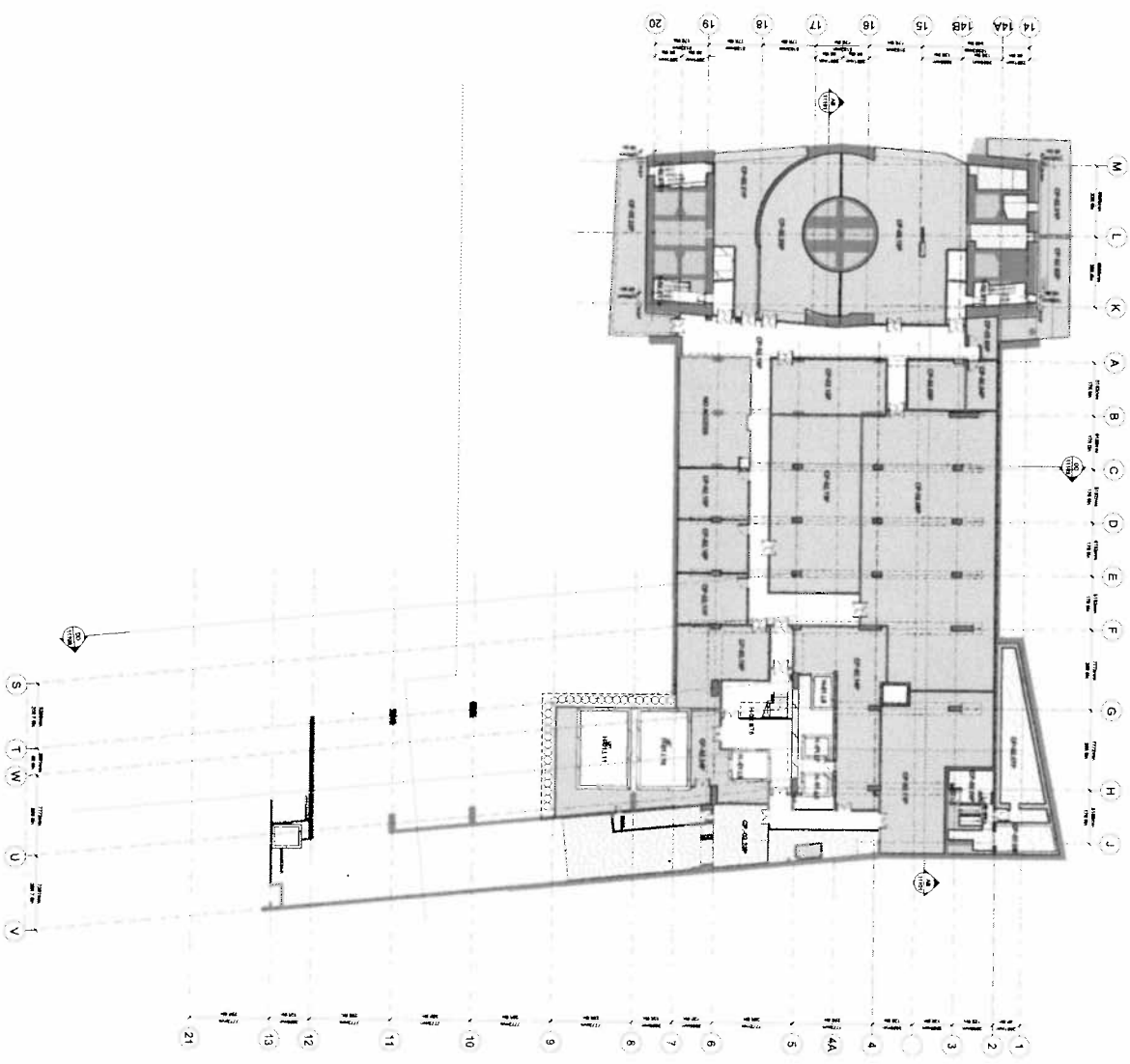


PRELIMINARY

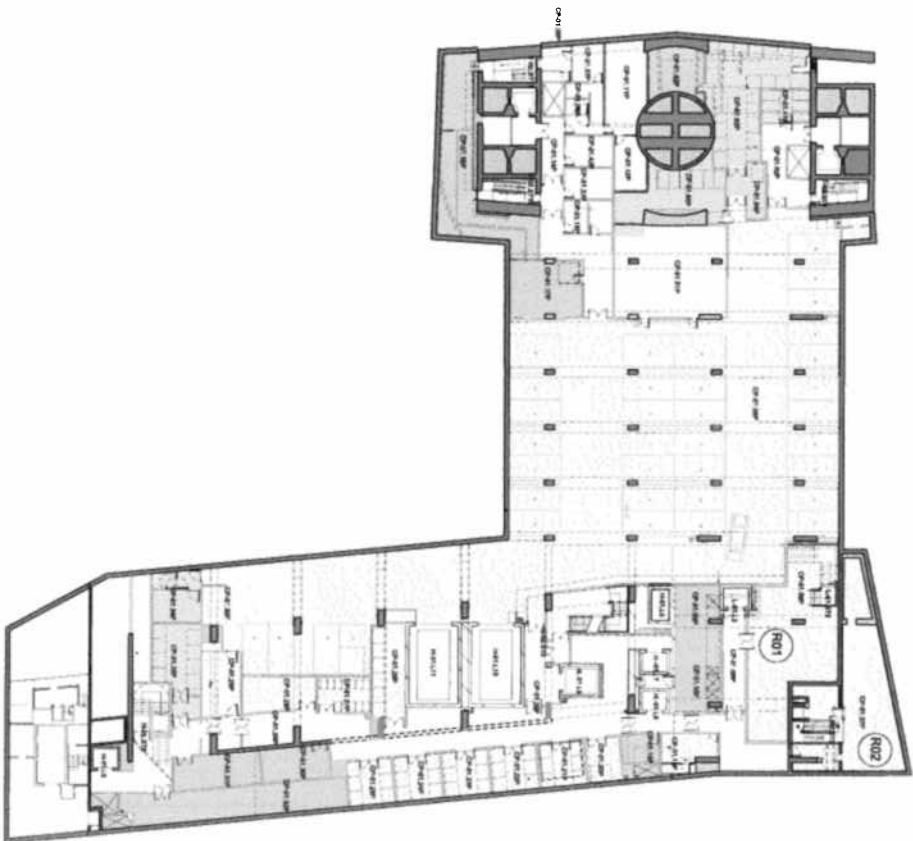
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Client: RMIT
 101-103 New Oxford Street
 London, WC1A 10D

PROPOSED FLOOR PLAN
 SUB-MAXIMUM
 ADDITIONAL CHANGES
 DATE: 1.05.12
 BY: A1
 CHECKED: 28.05.12



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PRELIMINARY

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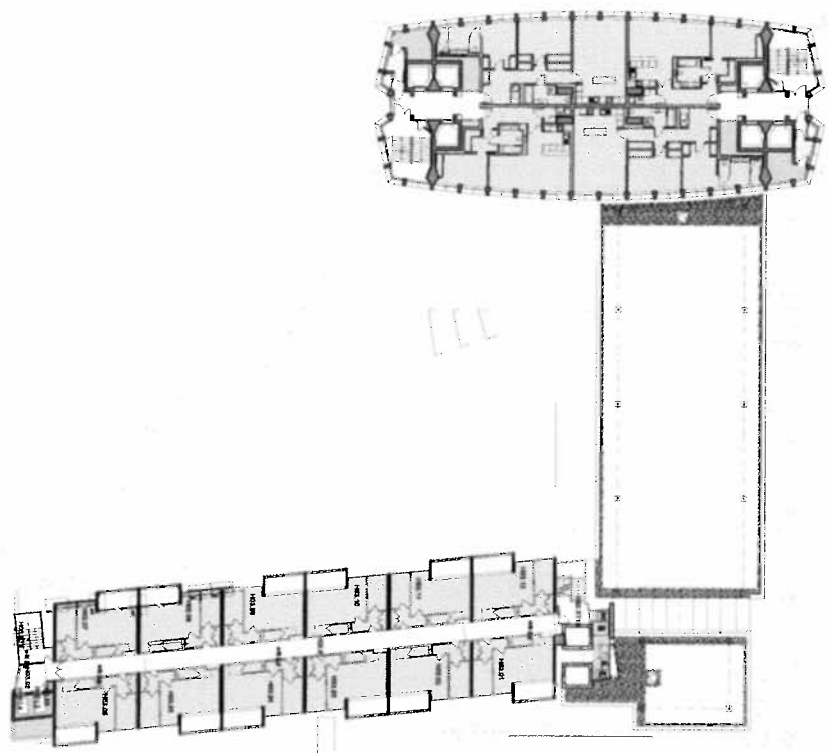
Proposed Floor Plan
101-103 New Oxford Street
LONDON WC1A 1DD

Architect: Rick Mather Architects
101-103 New Oxford Street
LONDON WC1A 1DD

Project: 552
Date: 10/10/12
Scale: 1:250
Sheet: PL1

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PLANNING

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COMPONENT ROCK MATERIALS ARCHITECTS LLP ©CARE PROBLEMS

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123 Camden High Street London NW1 7JQ
T: 020 7244 1727 F: 020 7247 2826

Center Point

London, WC1A 1DD

FOURTH FLOOR

APPROXIMATED DRAWINGS

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Centre Point
101-103 New Oxford Street
London, WC1A 1DD

PROPOSED FLOOR PLAN
FIFTH FLOOR
ANALGAUATED DRAWINGS

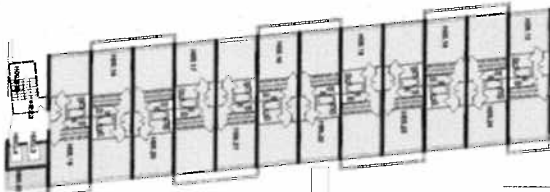
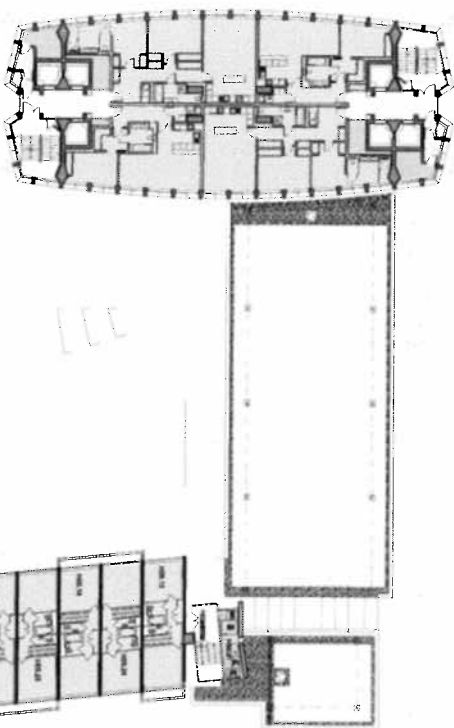
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AREA KEY
 RESIDENTIAL
 OFFICE
 PLANT
 CIRCULATION
 CAR PARK
 WALK OF NOUSE
 OFFICE
 RESIDENTIAL JARNEY

LEGEND
 EXISTING STRUCTURE
 PLANT
 CIRCULATION
 CAR PARK
 WALK OF NOUSE
 OFFICE
 RESIDENTIAL JARNEY

KEY



LEGEND
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PLANNING

RICK MATHER ARCHITECTS ©

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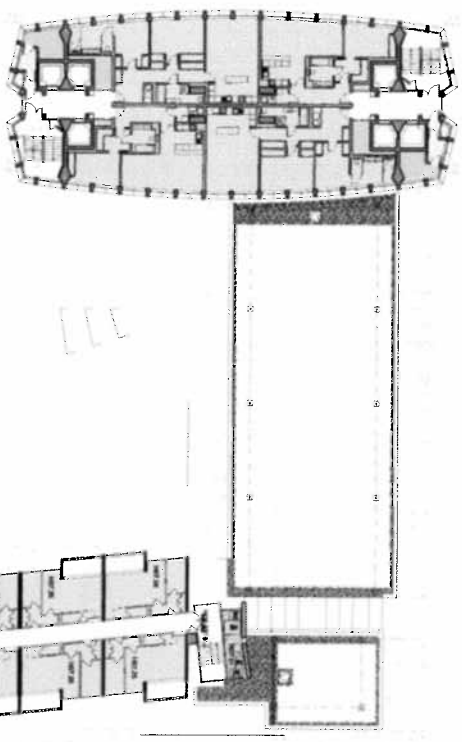
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- 1.00 SITE PLAN
- 2.00 FLOOR PLANS
- 3.00 SECTION
- 4.00 ELEVATION
- 5.00 DETAIL
- 6.00 LANDSCAPE
- 7.00 EXTERIOR
- 8.00 INTERIOR
- 9.00 MECHANICAL
- 10.00 ELECTRICAL
- 11.00 PAVING
- 12.00 FURNITURE
- 13.00 SIGNAGE
- 14.00 LIGHTING
- 15.00 SCHEDULE
- 16.00 APPENDIX

- 1.00 SITE PLAN
- 2.00 FLOOR PLANS
- 3.00 SECTION
- 4.00 ELEVATION
- 5.00 DETAIL
- 6.00 LANDSCAPE
- 7.00 EXTERIOR
- 8.00 INTERIOR
- 9.00 MECHANICAL
- 10.00 ELECTRICAL
- 11.00 PAVING
- 12.00 FURNITURE
- 13.00 SIGNAGE
- 14.00 LIGHTING
- 15.00 SCHEDULE
- 16.00 APPENDIX



PLANNING

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100-100 New Oxford Street
 London, WC1A 1DD

DATE: 10/10/2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

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Contra Points

[illegible]

PROPOSED EVALUATION

$$\begin{aligned} \mathcal{M}^{\text{eff}}(T) &= \mathcal{M}^{\text{eff}}(T_0) + \mathcal{M}^{\text{eff}}(T_1) + \mathcal{M}^{\text{eff}}(T_2) + \mathcal{M}^{\text{eff}}(T_3) + \mathcal{M}^{\text{eff}}(T_4) + \mathcal{M}^{\text{eff}}(T_5) \\ &= \mathcal{M}^{\text{eff}}(T_0) + \mathcal{M}^{\text{eff}}(T_1) + \mathcal{M}^{\text{eff}}(T_2) + \mathcal{M}^{\text{eff}}(T_3) + \mathcal{M}^{\text{eff}}(T_4) + \mathcal{M}^{\text{eff}}(T_5) \end{aligned}$$

552 CPA-19502 PL2

21 28

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© 2005 New York College of Podiatric Medicine

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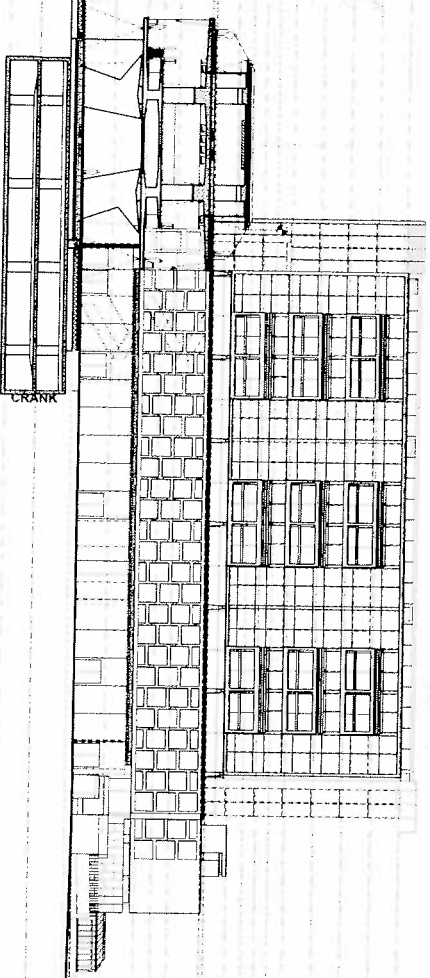
552 CPA-19503 PL2

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DATE

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NOTE: 17.15' ABOVE SILL

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REV	REVISIONS
A	21.06.19 APPROVED NORTH DUCT
B	22.06.19 RE-APPROVED SOUTH
C	18.09.19 RE-APPROVED FLOOR DRAINAGE STRAIGHT THROUGH
D	02.03.20 SPECIALIST APPROVED
E	04.03.20 CORRECTION



DATE	552	NO.	CPA-19523	REV	PI2
QUANTITY	1.250	LOT	A1	DATE	MAR-2012
CHANGED				DATE	21.08.12

PLANNING

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12, LONDON, W1P 1AA, ENGLAND
 TEL: 020 7462 1000
 FAX: 020 7462 1001
 WWW.RICKMATHERARCHITECTS.COM

PROPOSED SECTION

SECTION EE

ANALYZED SECTION

DATE: 5/5/12

PROJECT: CPA-19924

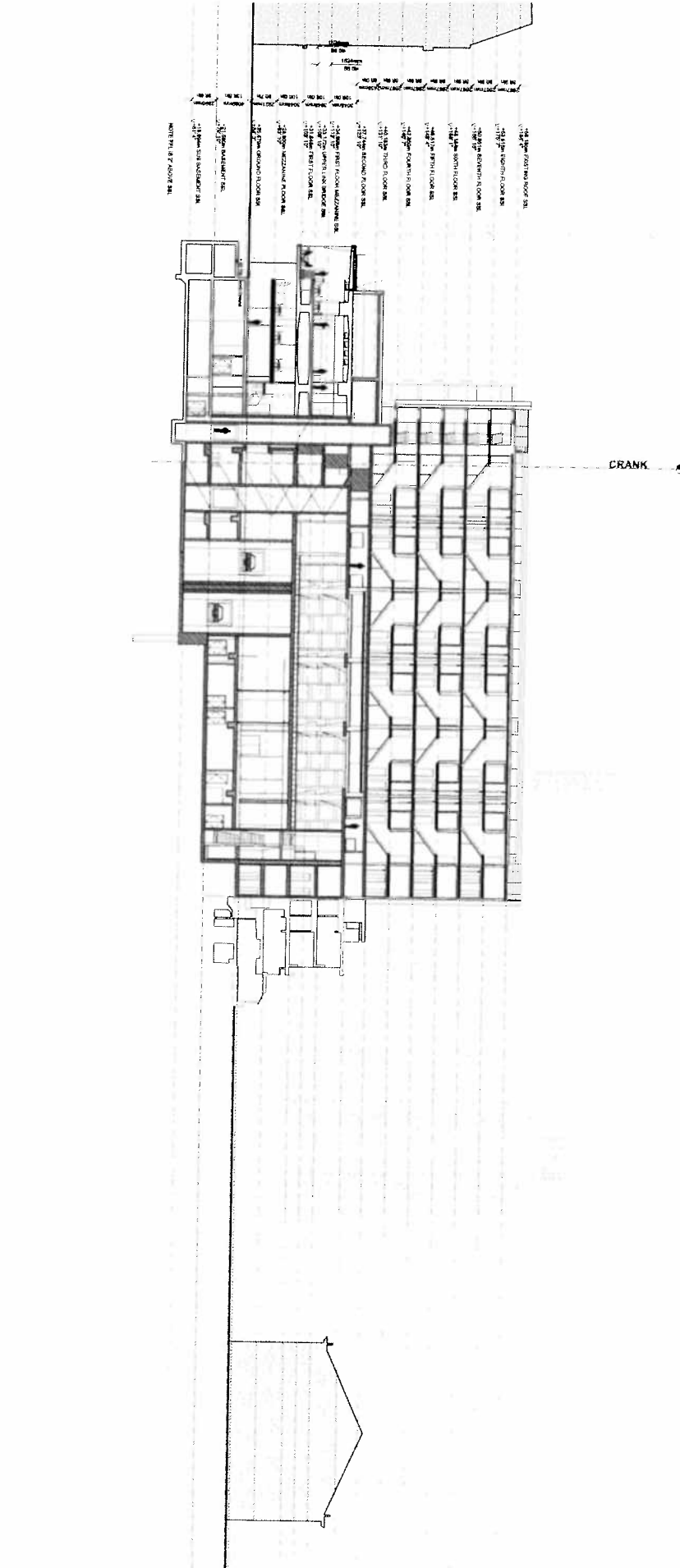
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KEY PLAN

CRANK



new tuah glazed curtain walling system to facade with opening lights and opaque spandrel panels

- existing timber / metal balustrade restored / replaced to original spec
- existing tiled frontages and flank walls to balcony replaced with matching mosaic tiles
- new glazed sliding doors to balconies
- new structural glass balustrade with aspen hardwood top rail

new glazing to stair tower with fin profile detail

new all glass balustrade set back 1000mm from the edge

new full height all glass shop front to new
entrance beneath the link bridge

existing pre-war brick solar cleaned and repaired with new glazing installed behind
new full height all glass shop front
recessed lounge detail as per existing building

REV	DATE	DESCRIPTION
PL2	27 MAR 12	REVENUED MONTHLY INVOICE
PL1	28 OCT 12	PL1 MONTHLY INVOICE
R	16 JUL 12	REVENUED FOLLOWING BTRADLE C PAYABLE
A	12 JUL 12	PRELIMINARY

PLANNING

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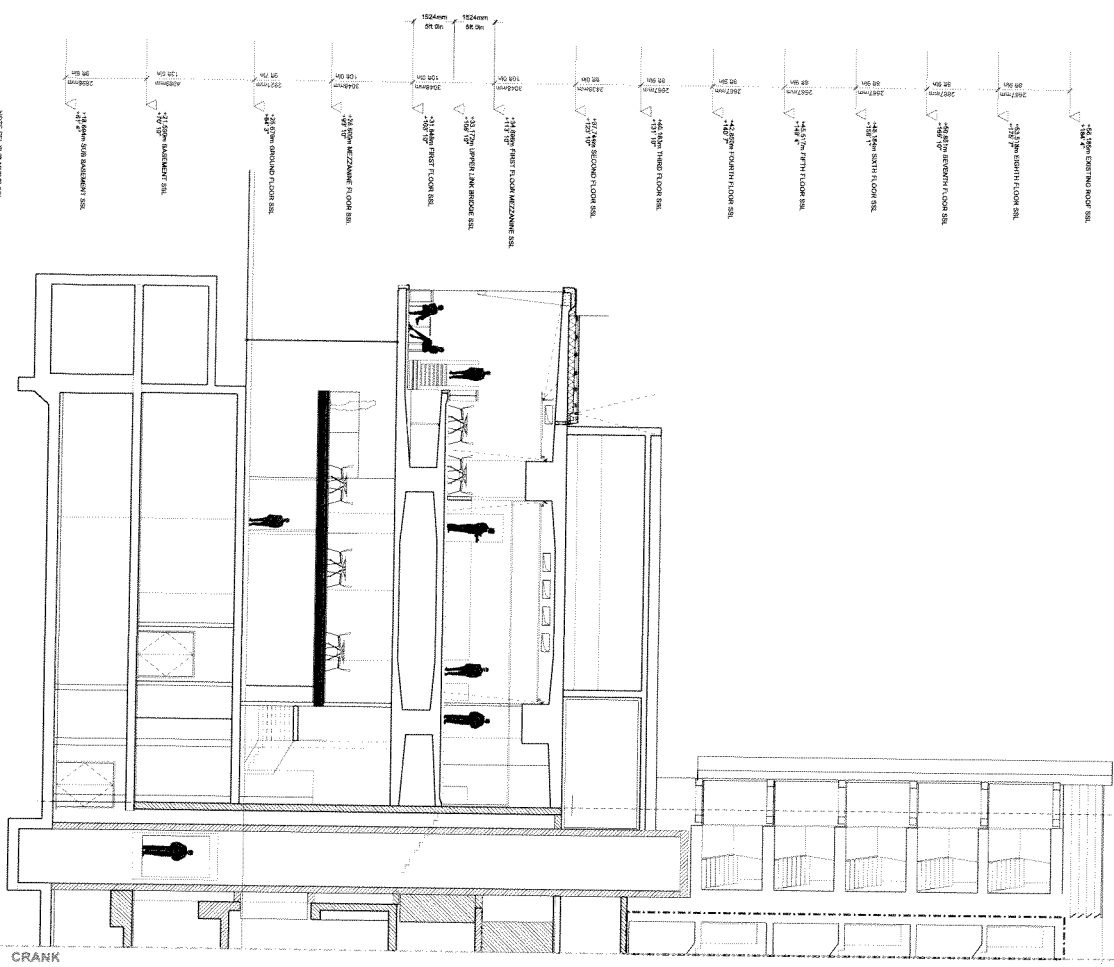
323 Camden High Street London N6N 7JN
T: 020 7264 7727 F: 020 7267 7426
info@tricksmathis.com www.tricksmathis.com

Centre Point
101-103 New Oxford Street

PROPOSED ELEVATION
WEST ELEVATION - 2
CENTRE POINT HOUSE

DMC 552 CPA-19560 PL2

GM 1:100 A1
MAR 2012 21.08.12



CRANK

PLANNING

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123 Camden High Street London NW1 7JF
T: 020 7284 1727 F: 020 7257 7828
info@richmondcar.com www.richmondcar.com

Camden Point
101-103 New Oxford Street
London WC1A 1DN

PROPOSED SECTION
SECTION EE - 1
CENTRE POINT HOUSE

DMC	552	CPA-19575	PL2
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CM 4:100 A1 MAR 2012 21.08.12



ALL DRAWINGS
CONTAINED IN THIS DRAWING
TO BE REPORTED TO THE ARCHITECT

RETAIL
 PLANT
 DISTRIBUTION
 CARPENTRY
 BACK OF HOUSE
 OFFICE
 INFORMATION ALIQUITY

DATE: _____
 TIME: _____
 PAGE: _____

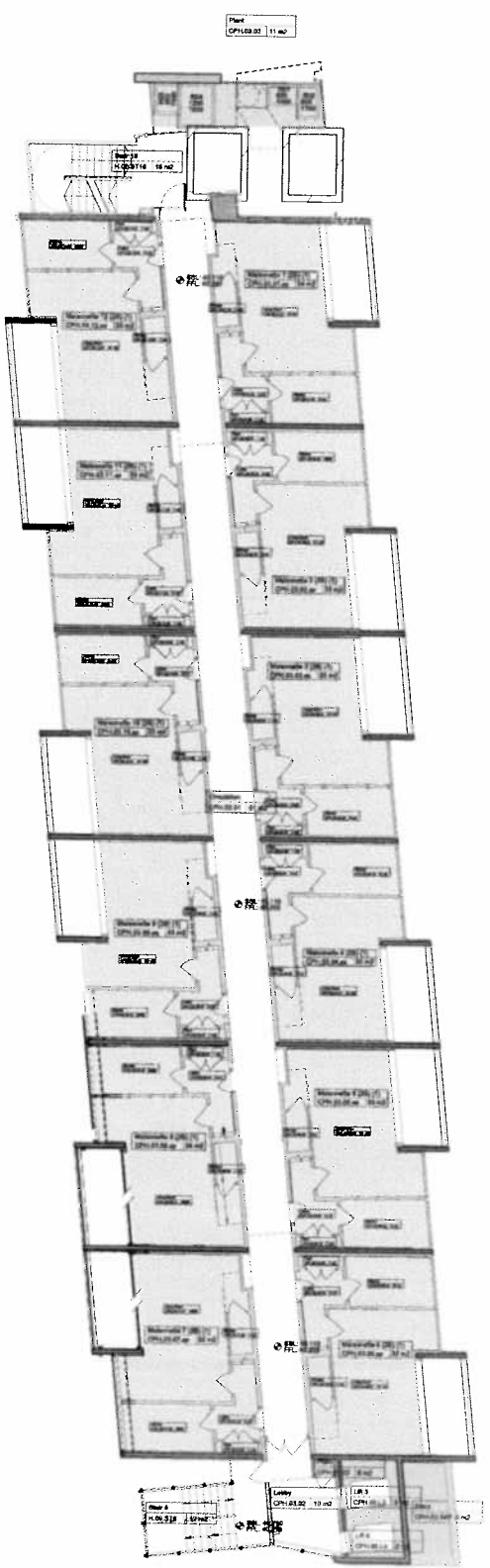
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STATUS
PLANNING
RICK MATHER ARCHITECTS ©

TITLE	PREFABRICATED FLOOR PLAIN SUB BASEMENT CENTRE POINT HOUSE
DRAWN	DMC
CHECKED	GM
DATE	MAY 2012
REV	PL2
NO	552
SHEET	CPH-18600
A1	DATE
SCALE	1:100
PROJECT NO.	170A



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NOT TO SCALE
ALL DIMENSIONS IN METERS
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AREA KEY

- RESIDENTIAL
- OFFICE
- PAVILION
- UTILISATION
- CAFÉ / KITCHEN
- ROOF / GARDEN
- CHURCH
- RECREATION / SPORTS

- SHED / WORKSHOP
- FIELD / SPORTS / PLAY
- PAVILION
- RECREATION / SPORTS

REVISIONS

NO.	DATE	DESCRIPTION
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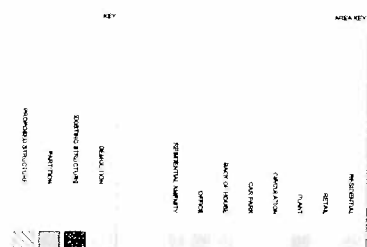
KEY PLAN

PLANNING

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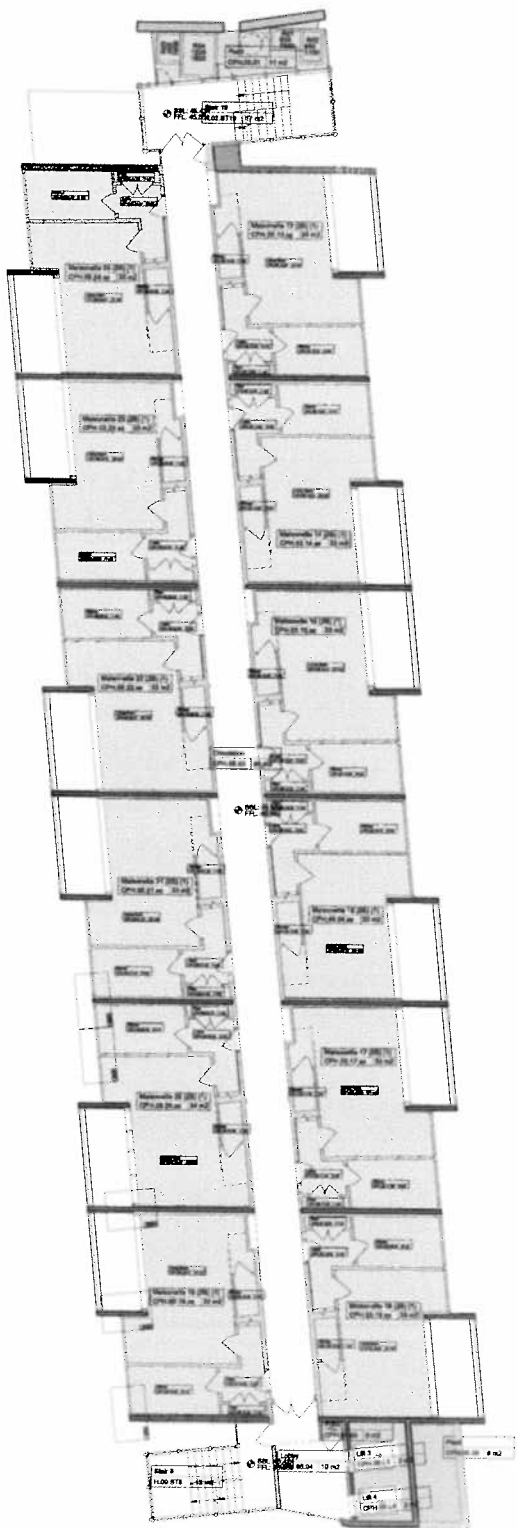
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10/10/12 New Design Studio
London, WC1A 1DD

PROPOSED FLOOR PLAN
THIRD FLOOR
OFFICE / WORKHOUSE
DATE: 10/10/12
DRAWN BY: 582 CPH-18807 PL2
CHECKED BY: 10/10/12



552 CPH-19608 PL2

CHECKED
 CM
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 1:00
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 DATE
 MAY 2012
 REV DATE 21-08-12



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CONTAINS INFORMATION
TO BE REPORTED TO THE ARCHITECT
FROM CONTAINED IN THIS DRAWING
WAS PREPARED BY THE ARCHITECT
DATE 11/11. CHARMER BUREAU DRAWING
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- RETAIL
- PLANT
- CIRCULATION
- CARPENTRY
- BLOCK OF HOUSE
- OFFICE
- SEVENTH FLOOR

CLARK, JOHN
KATHLEEN BRUCE FINE
PARKETT, PAUL
HARRINGTON, BRUCE FINE

[illegible]

PLANNING

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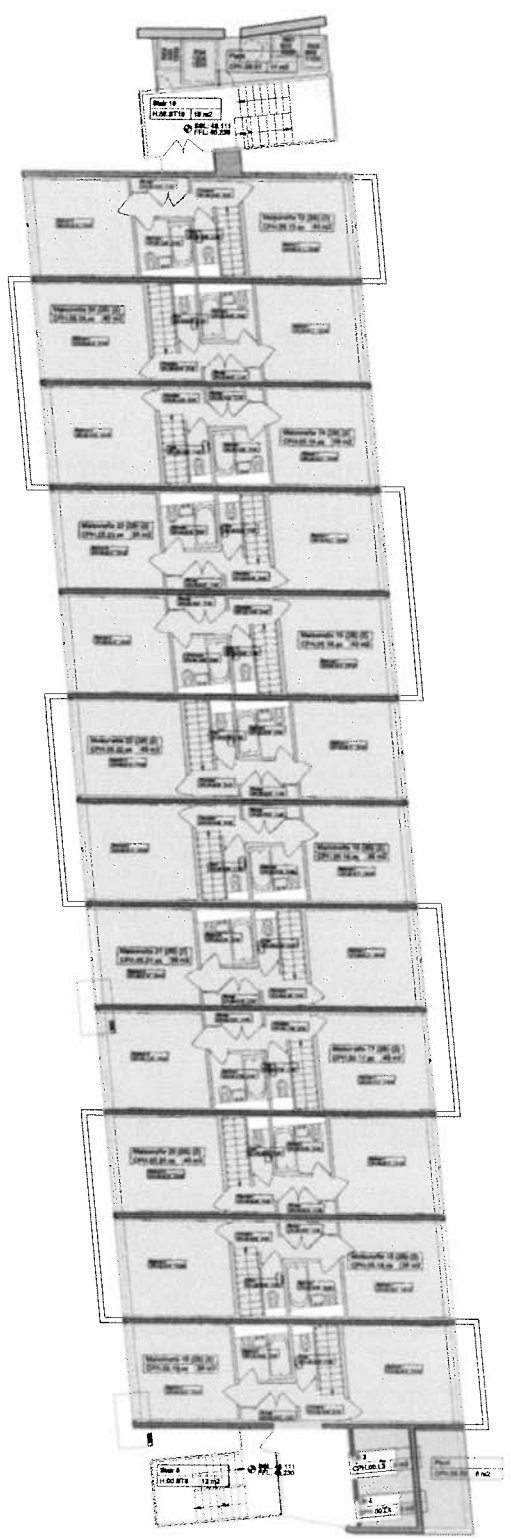
Centre Point
101-103 New Oxford Street
London, WC1A 1DD

PROPOSED FLOOR PLAN
FIFTH FLOOR
CENTRE POINT HOUSE

DATE MAY 20 12
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T: 020 7341 1771 F: 020 7341 1782
info@rickmather.com www.rickmather.com

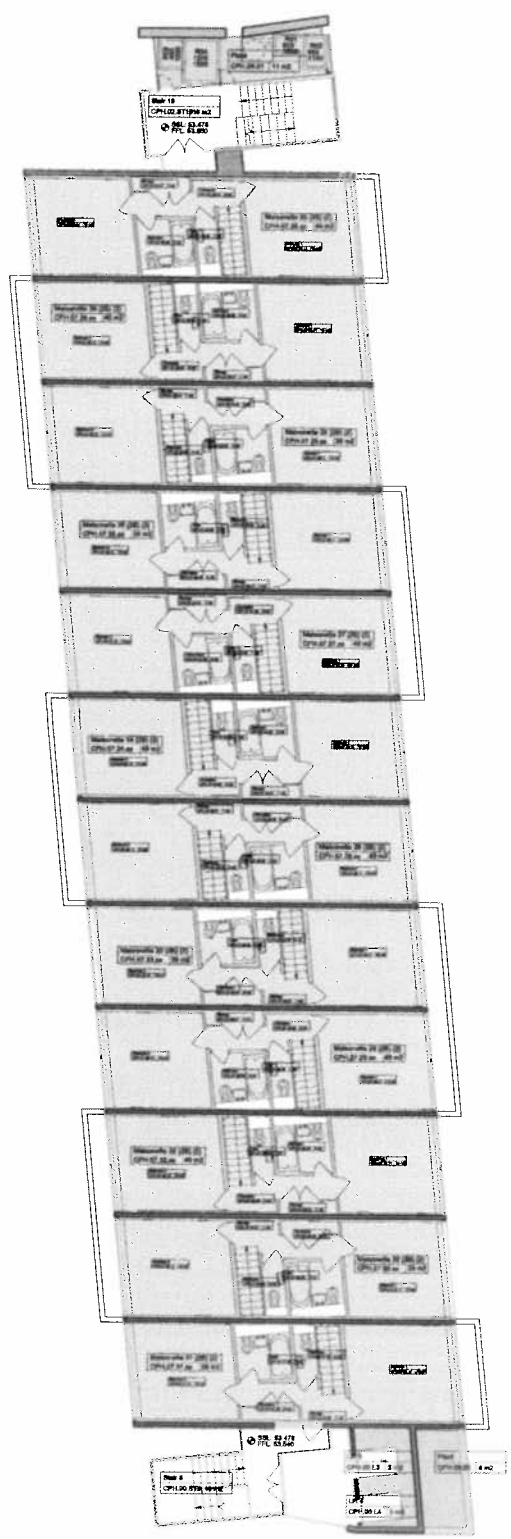
Client: British
101-103 New Oxford Street
London, WC1A 1DD

PROPOSED FLOOR PLAN
CENTRE SOUTH HOUSE

DATE: 5/52
DRAWN: CPH-18610
PL2

SCALE: 1:100
DATE: MAY 2012

7772mm 25ft 6in 4A 5 7772mm 25ft 6in 6 3886mm 12ft 9in 7 3886mm 12ft 9in 8 7772mm 25ft 6in 9 7772mm 25ft 6in 10 7772mm 25ft 6in 11 7772mm 25ft 6in 12 3886mm 12ft 9in 13 7772mm 25ft 6in 14



CONSTRUCTION

TO BE SUBMITTED TO THE ARCHITECT

DATE: 10/10/12

BY: RICK MATHER ARCHITECTS LLP

CONTRACT: RICK MATHER ARCHITECTS LLP

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/12	ISSUED FOR PERMIT

LEGEND

CONSTRUCTION

EXISTING STRUCTURE

NEW STRUCTURE

REMOVAL STRUCTURE

REVISIONS

DATE: 10/10/12

BY: RICK MATHER ARCHITECTS LLP

CONTRACT: RICK MATHER ARCHITECTS LLP

PLANNING

RICK MATHER ARCHITECTS LLP

121 Center Street, Suite 100, New York, NY 10013

TEL: 212.512.1234 FAX: 212.512.1235

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PROJECT

101-103 New Oxford Street

London, WC1A 1DD

PROPOSED FLOOR PLAN

101-103 New Oxford Street

CENTRE POINT HOUSE

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/12	ISSUED FOR PERMIT

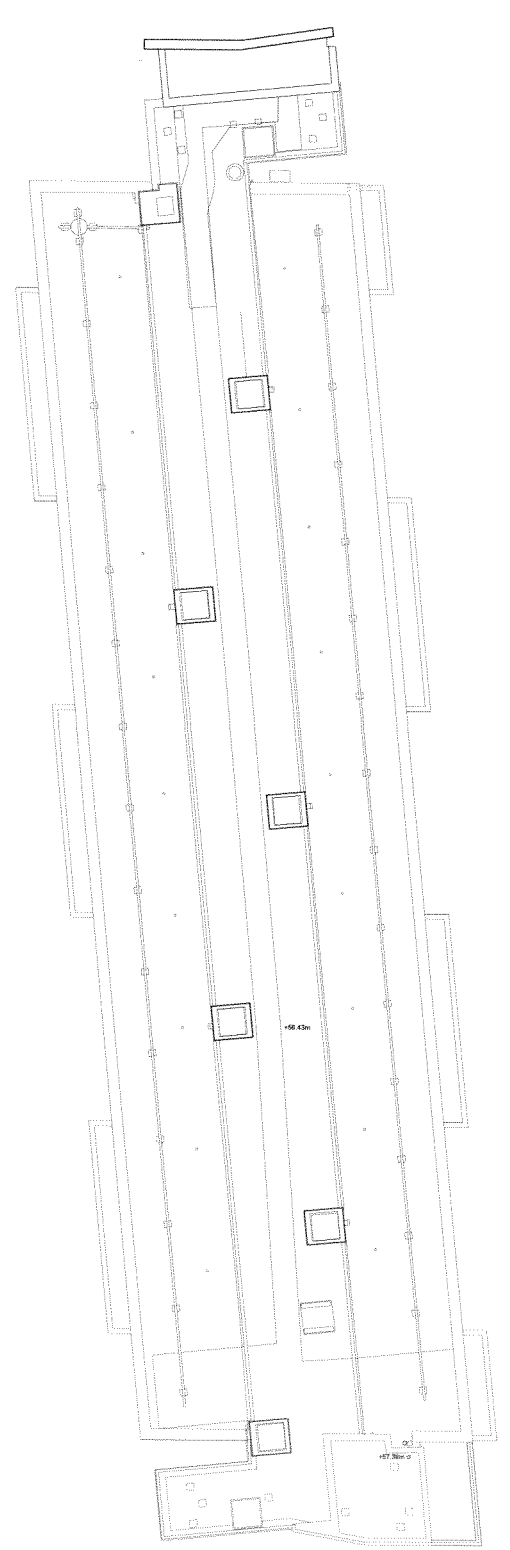
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DATE: 10/10/12

BY: RICK MATHER ARCHITECTS LLP

CONTRACT: RICK MATHER ARCHITECTS LLP

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DATE: 10/11/2022
DRAWN BY: J. M. M.
CHECKED BY: J. M. M.
DATE: 10/11/2022

AREA KEY

INTERIOR
EXTERIOR
PLANT
CIRCULATION
COMMON
SPACE OF HOUSE
OFFICE
RESIDENTIAL ALARM

KEY

EXTERIOR
DOORING STRUCTURE
PLANT
CIRCULATION
COMMON
SPACE OF HOUSE
OFFICE
RESIDENTIAL ALARM

STATUS

1

KEY PLAN

1

PROPOSED FLOOR PLAN

101-103 New Oxford Street
London, WC1A 1DD

Centre Point
101-103 New Oxford Street
London, WC1A 1DD

PROPOSED FLOOR PLAN

101-103 New Oxford Street
London, WC1A 1DD

RICK MATHER ARCHITECTS @

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T: 020 7764 1177 F: 020 7297 7828
RMA@rickmatherarchitects.com www.rickmatherarchitects.com

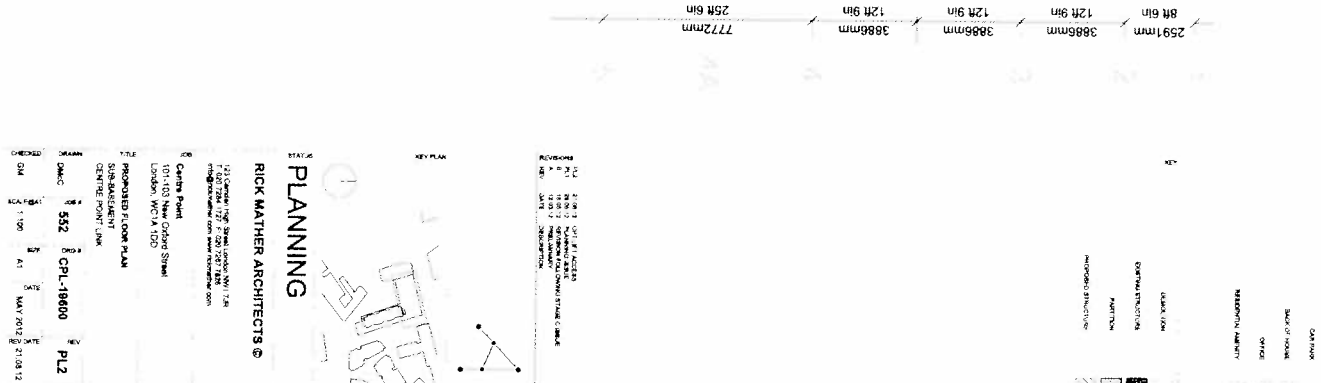
REVISION

PL 1 21.06.12 REVISION NORTH EAST
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PL 100 21.06.12 REVISION NORTH EAST

CREATED: 10/11/2022
GMM

552 CPH-18613 PL2

10/11/2022



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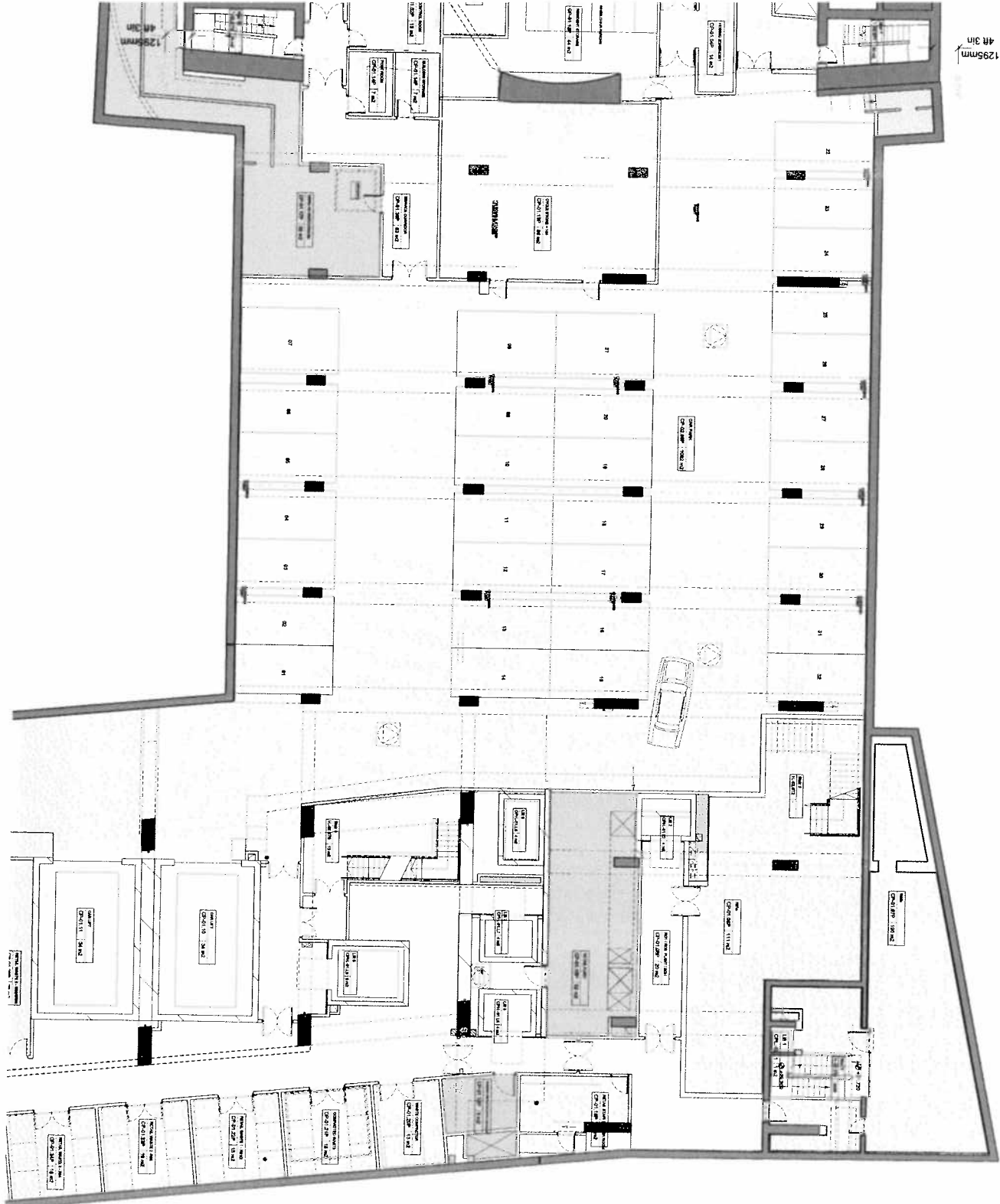
PROMOTED IN LOW PLAIN
SUBSISTENT
CENTRE POINT LINK

DAC 552 CPL-18600

PL2

NEW

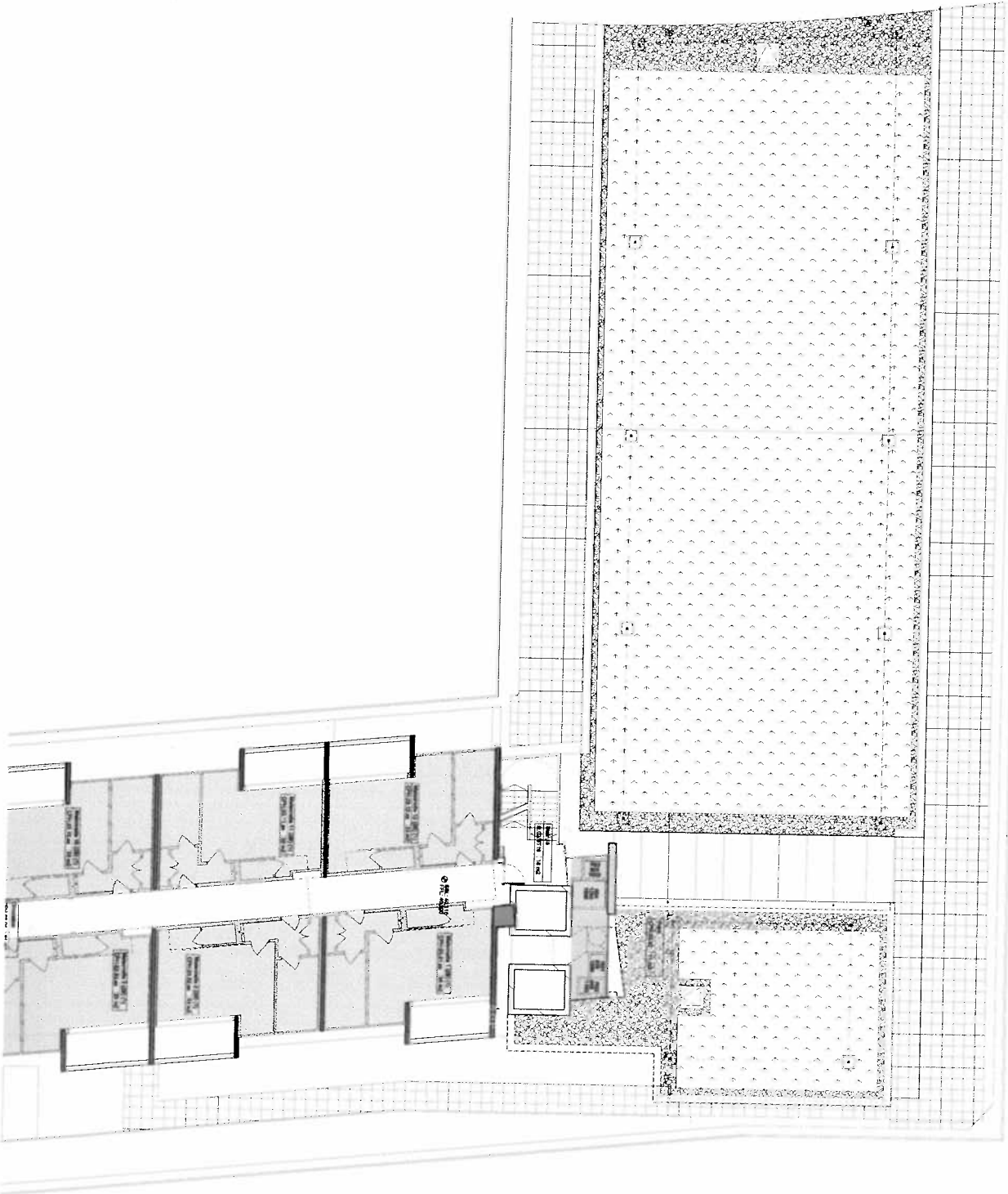
DATE MAY 2012 21.08.12



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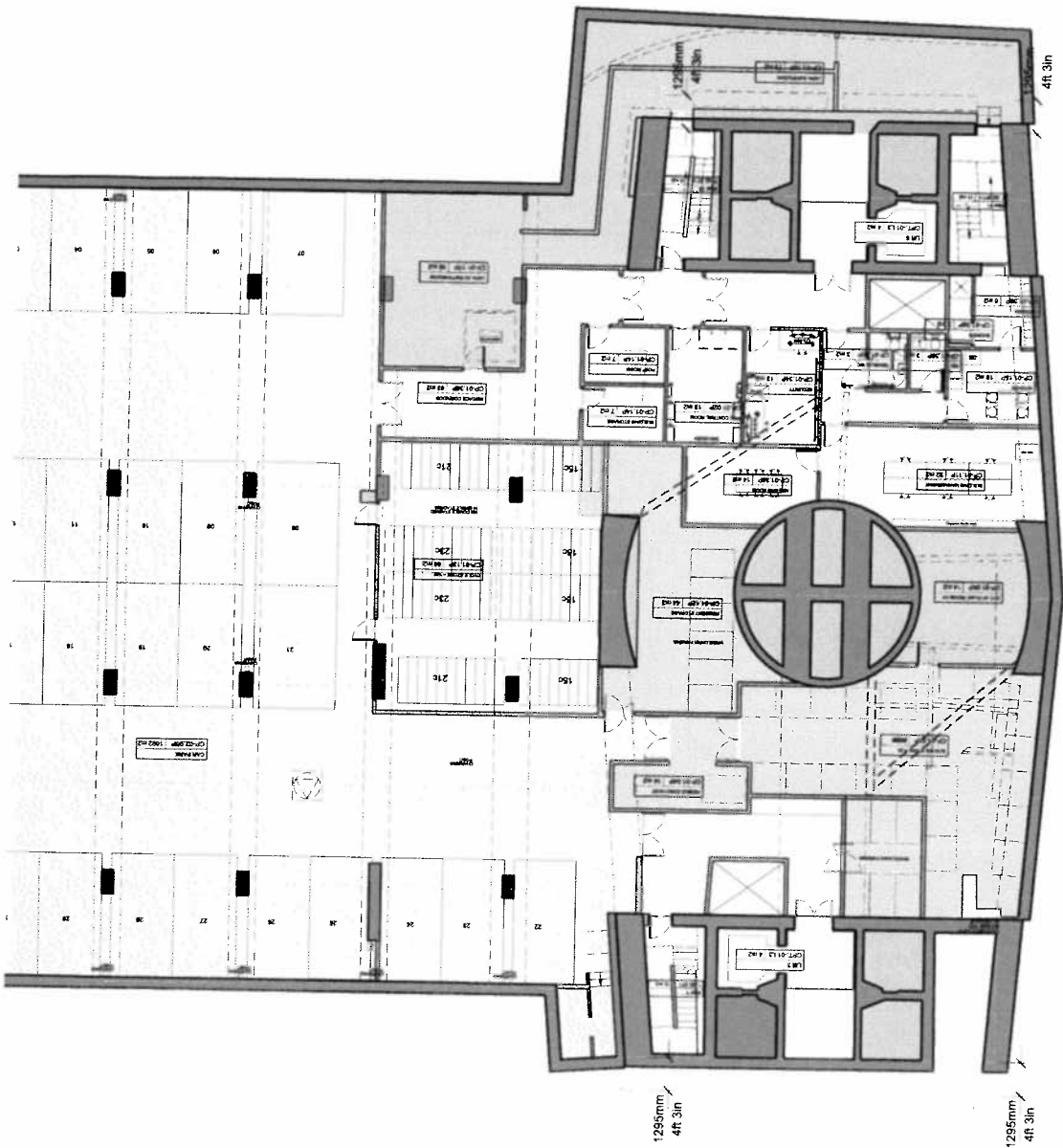
PROJECT: 101-103 New Oxford Street
 CLIENT: 552
 DATE: 10/10/10
 REV: 1

PLANNING

RICK MATHER ARCHITECTS

101-103 New Oxford Street
 London, WC1A 1DD

REV	DATE	BY	CHKD	APPD
1	10/10/10	552		



PLANNING

RICK MATHER ARCHITECTS ©

777 Capital Street, Suite 1000
London, W1A 1DD

Client: [Name]
Project: [Name]
Date: [Date]

552 CPT-18601 PL2

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/18	Initial Design
2	11/10/18	Revised Design
3	12/10/18	Final Design

LEGEND

- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED FLOOR PLAN
- PROPOSED PARKING
- PROPOSED LANDSCAPE
- PROPOSED PLANTING
- PROPOSED FURNITURE
- PROPOSED LIGHTING
- PROPOSED SIGNAGE
- PROPOSED SECURITY
- PROPOSED ACCESS
- PROPOSED EGRESS
- PROPOSED VENTILATION
- PROPOSED MECHANICAL
- PROPOSED ELECTRICAL
- PROPOSED PLUMBING
- PROPOSED STRUCTURAL
- PROPOSED FOUNDATION
- PROPOSED FOUNDATION WALL
- PROPOSED FOUNDATION FOOTING
- PROPOSED FOUNDATION PIER
- PROPOSED FOUNDATION COLUMN
- PROPOSED FOUNDATION BEAM
- PROPOSED FOUNDATION SLAB
- PROPOSED FOUNDATION RAFT
- PROPOSED FOUNDATION MAT
- PROPOSED FOUNDATION PAD
- PROPOSED FOUNDATION PIT
- PROPOSED FOUNDATION TOWER
- PROPOSED FOUNDATION WALL
- PROPOSED FOUNDATION FOOTING
- PROPOSED FOUNDATION PIER
- PROPOSED FOUNDATION COLUMN
- PROPOSED FOUNDATION BEAM
- PROPOSED FOUNDATION SLAB
- PROPOSED FOUNDATION RAFT
- PROPOSED FOUNDATION MAT
- PROPOSED FOUNDATION PAD
- PROPOSED FOUNDATION PIT
- PROPOSED FOUNDATION TOWER

NOTES

1. All dimensions are in millimeters (mm) unless otherwise stated.
2. All materials and finishes are to be as specified in the schedule of materials.
3. All construction is to be in accordance with the Building Regulations.
4. All structural elements are to be designed and constructed in accordance with the relevant standards.
5. All services are to be installed in accordance with the relevant standards.
6. All landscaping is to be installed in accordance with the relevant standards.
7. All furniture and fittings are to be installed in accordance with the relevant standards.
8. All lighting is to be installed in accordance with the relevant standards.
9. All signage is to be installed in accordance with the relevant standards.
10. All security measures are to be installed in accordance with the relevant standards.
11. All access and egress routes are to be clearly marked and unobstructed.
12. All ventilation and mechanical systems are to be installed in accordance with the relevant standards.
13. All electrical and plumbing systems are to be installed in accordance with the relevant standards.
14. All structural elements are to be designed and constructed in accordance with the relevant standards.
15. All services are to be installed in accordance with the relevant standards.
16. All landscaping is to be installed in accordance with the relevant standards.
17. All furniture and fittings are to be installed in accordance with the relevant standards.
18. All lighting is to be installed in accordance with the relevant standards.
19. All signage is to be installed in accordance with the relevant standards.
20. All security measures are to be installed in accordance with the relevant standards.

APPENDIX

1. SITE PLAN

2. FLOOR PLAN

3. SECTION

4. ELEVATION

5. PERSPECTIVE

6. MATERIALS

7. FINISHES

8. SCHEDULE OF MATERIALS

9. SPECIFICATIONS

10. CONTRACT DOCUMENTS

11. LEGAL DOCUMENTS

12. OTHER DOCUMENTS