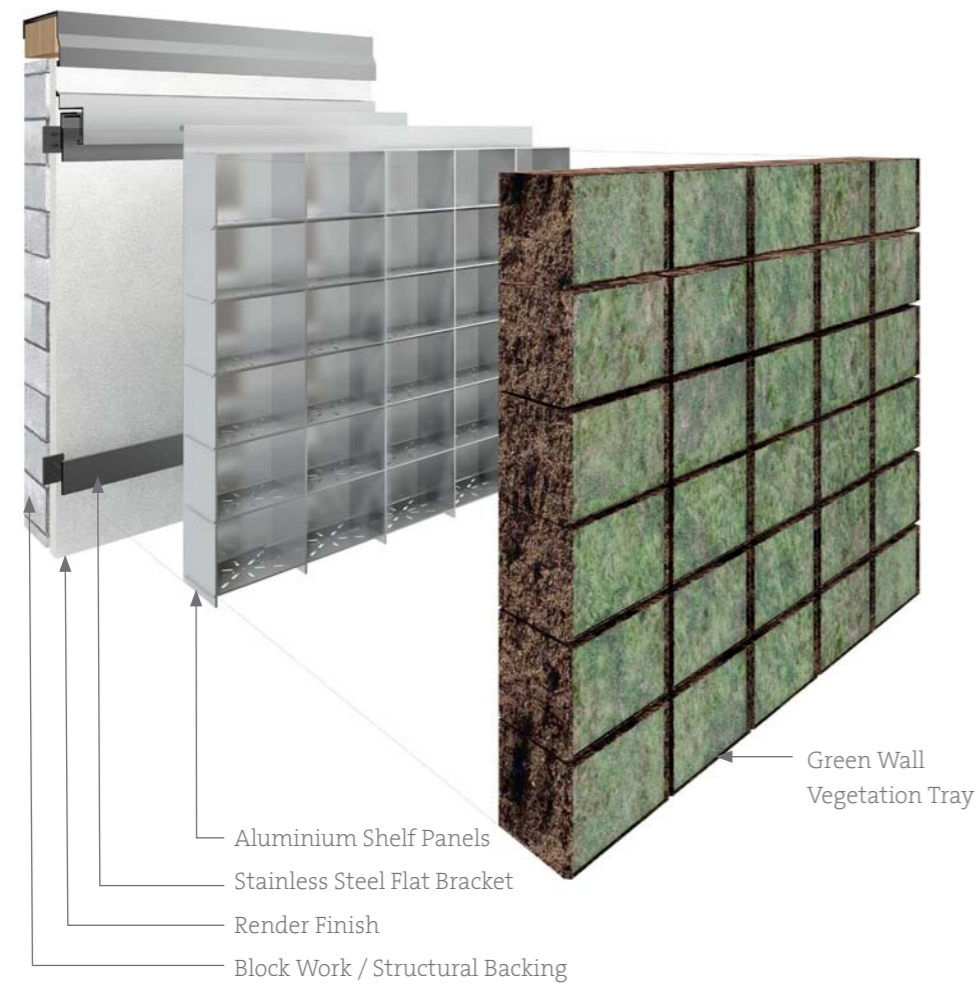


5.0 DESIGN PROPOSALS

Green Wall - Option 1

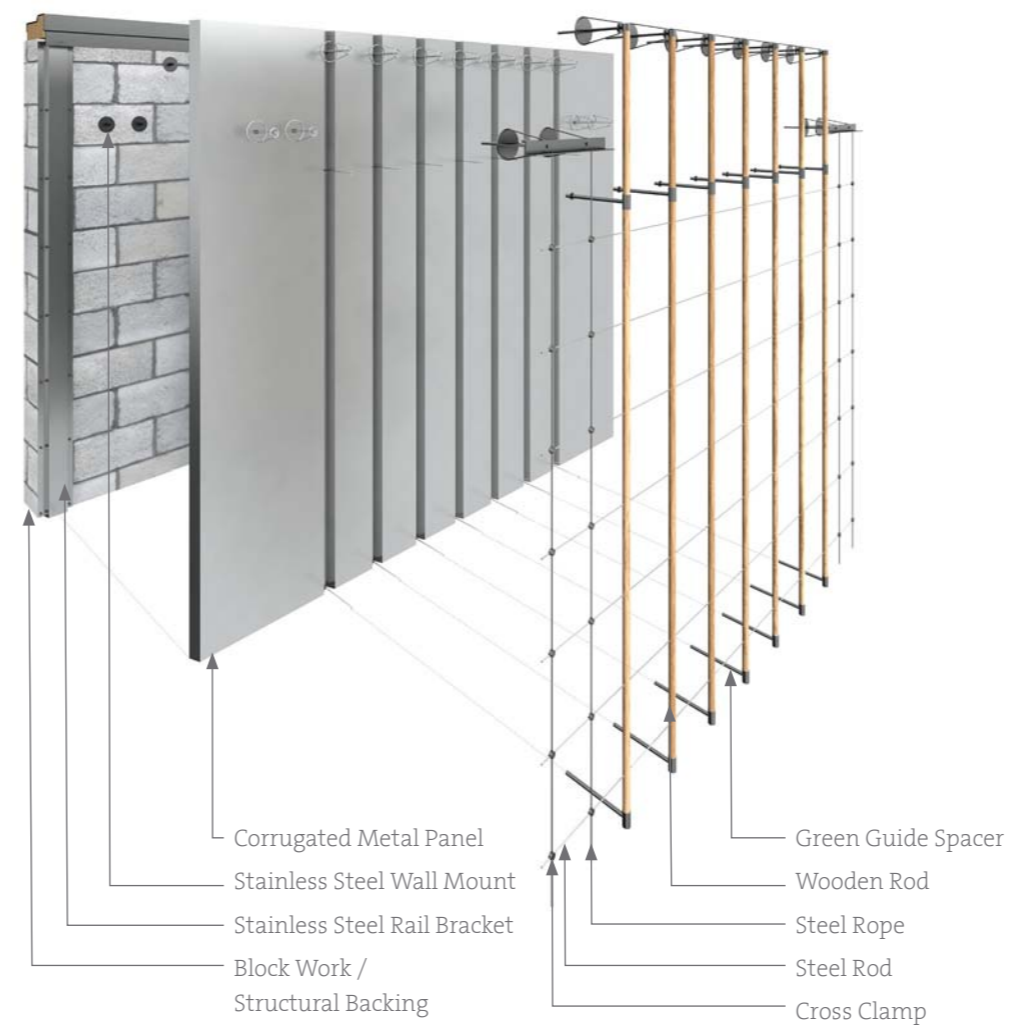


Green Wall - Option 1 - Exploded Detail



Green Wall - Option 1 - Precedent

Green Wall - Option 2



Green Wall - Option 2 - Exploded Detail



Green Wall - Option 2 - Precedent

5.8 Green

5.8.2 Green Wall

To minimize views out of the lifts towards the Diorama, a green wall is proposed to the passenger lift external wall.

There are two options considered for the green wall:

Option 1 is a vibrant, living, green wall system with vegetation trays inserted into a metal substructure with an integral irrigation system.

Option 2 is a modern, architectural interpretation of the green wall with a lightweight system of thin timber and steel rods providing the support for green 'crawlers'.

Both green wall options seek to achieve the relevant BREEAM 'Land Use and Ecology' credits through the specification of plants within the system.

Please refer to KPF planning drawings A-650 & A-651 for further details on the green wall.

Note, final materials to be approved by London Borough of Camden Planners.

5.0 DESIGN PROPOSALS

5.9 External Envelope

5.9.1 New Areas of Façade – Roof Cladding

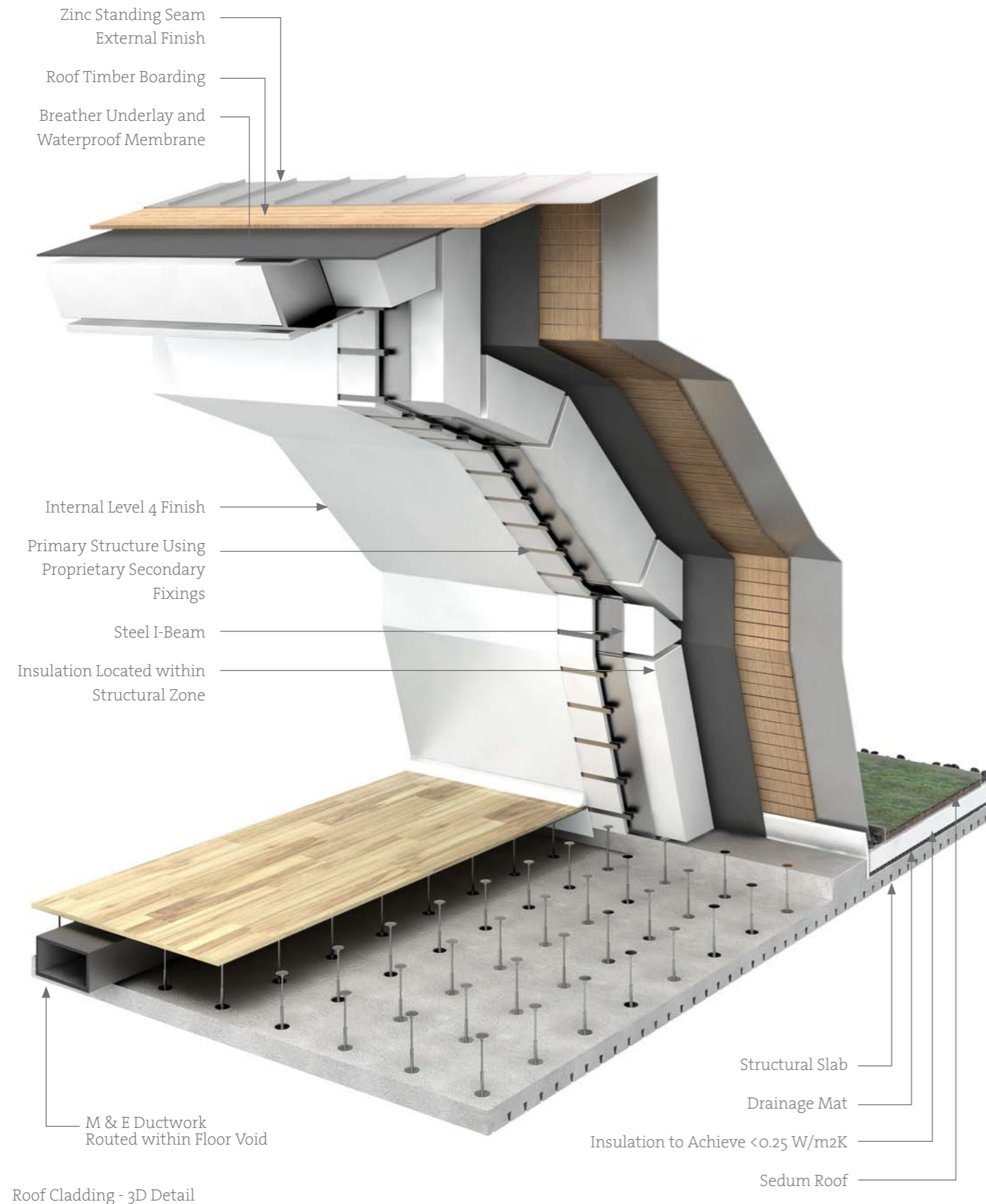
A zinc, standing seam, system has been adopted for the roof cladding to mimic the appearance of the slate roofs present in the vicinity. Glazed sections are inserted into the zinc form at the relevant locations to allow natural light into the space within.

The advantages of using the zinc, standing seam system are as follows:

- Better Integration of architecture;
- British Board of Agreement certificated;
- Provides complete air tightness;
- Quick and safe to install;
- Simple, efficient roof detailing;
- Minimal cleaning and maintenance.

Please refer to KPF planning drawing A-656 for further details on the roof cladding.

Note, final materials to be approved by London Borough of Camden Planners.



Zinc Roof Precedents

5.0 DESIGN PROPOSALS

5.9 External Envelope

5.9.1 New Areas of Façade – Peto Place

As discussed in section 4.2.3, there is great opportunity within the existing 1-9 Albany Street west elevation to provide an interesting tapestry of new façade materials that will help rejuvenate the Peto Place public realm.

Green Wall

Two concepts for a green wall system are being considered to the external face of the new passenger lifts at levels 1, 2 and 3.

Fins

An arrangement of vertical fins fixed to a glazed unitized system is adopted to the face of the additional meeting and extended working areas at levels 1, 2 and 3. The exact material of the fins is to be agreed with the London Borough of Camden and will integrate with the materials in the existing vicinity.

Glazing

The passenger lifts at ground floor and level 4, to the base and head of the green wall, will be glazed with a material infill (okalux) to allow light to pass through into the spaces within while simultaneously minimizing views to the exterior.

Zinc

The zinc, standing seam system to the roof allows the form to shimmer in the light and blend with its surroundings. Visible in glimpses from Peto Place, the zinc roof will appear as a typical mansard roof, predominant in the area.

Please refer to KPF planning drawing A-221 for further information on the proposed Peto Place elevation.

Note, final materials to be approved by London Borough of Camden Planners.



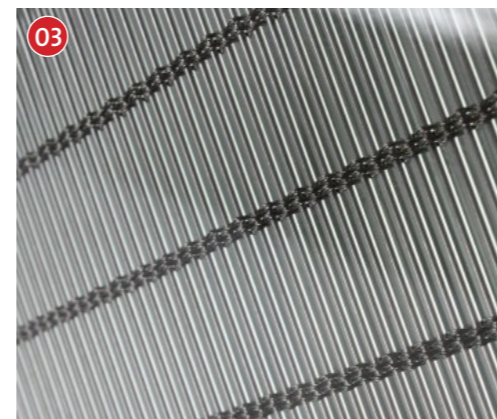
Proposed Peto Place Elevation



Timber Fins



Green Wall



Glazing with Okalux



Zinc Roof Cladding

5.0 DESIGN PROPOSALS

5.9 External Envelope

5.9.2 New Areas of Façade – Fourth Floor External Finishes

As discussed in section 4.2.4, the external surface treatment on the fourth floor has been designed to incorporate the requirements of the London Borough of Camden and the client.

Paving

A large tenant accessible terrace is provided to the south of the fourth floor, adjacent to the listed building existing roof. The terrace is paved in high quality, durable paviors and there is a handrail provided prevent falls from height.

Sedum

Two areas of sedum roof exist on the fourth floor – a strip to the east along Albany Terrace and a smaller, separate zone to the northwest of the fourth floor. The specification of sedum mix will be advised upon by an appointed ecologist and will achieve the required BREEAM credits.

Ballast

Interstitial areas, including those that border the paved terrace and sedum roofs, will be filled with high-grade, 40-60mm diameter ballast.

Please refer to KPF planning drawing A-105 for further information on the proposed fourth floor external finishes.



View into 4th Floor Landscaped Terrace

Title

5.0 DESIGN PROPOSALS

5.10 Entrances + Routes

5.10.1 Marlybone Road Entrance

The following proposals are being sought to improve the existing building main entrance sequence at Marlybone Road:

- Eliminate the modern glazed security screen and curved dry lining wall within the listed building ground floor to allow entrance views north;
- Remove the passenger lifts and washrooms at the threshold of the 1980s extension and the listed building thereby physically and visually opening up the ground floor;
- Relocate the reception area from the listed building to the 1980s extension bringing people further into the building;
- Provide a ground floor coffee shop and break out area that must be passed through to access the new passenger lift bank;
- Re-finish the internal walls, floors and expose the ceiling to the 1980s extension delivering a larger, cleaner and newer entrance space.



01 Corner of Marylebone Road & Albany Street



02 Marylebone Road Entrance



03 View through Listed Building to the Main Reception



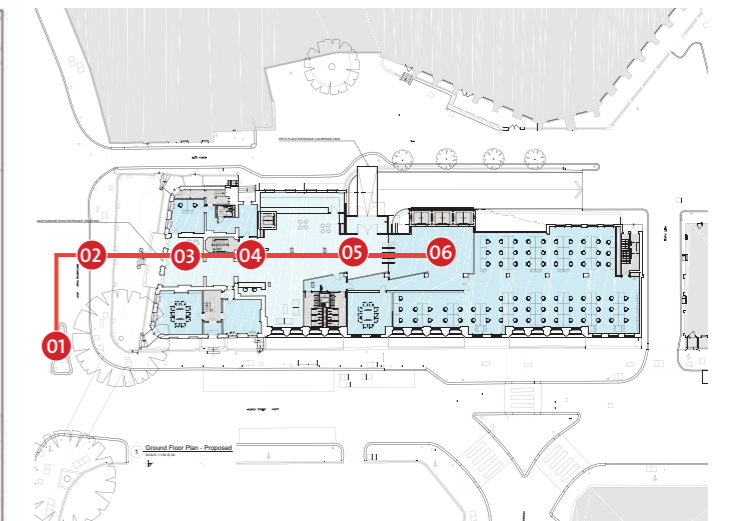
04 Reception and Ground Floor Entry Gallery



05 View towards Security Turnstiles



06 Office Passenger Lift Lobby



5.0 DESIGN PROPOSALS

5.10 Entrances + Routes

5.10.2 Peto Place Entrance

The following proposals are being sought to provide a new, dynamic entrance to the building on Peto Place:

- Construct a bridge link over the basement ramp connecting Peto Place with the 1980s building;
- Deliver a glazed portico lobby to the new entrance;
- Provide sufficient signage and lighting to direct visitors and employees to the new entrance.



Corner of Peto Place and Marylebone Road



Peto Place



Peto Place Entrance



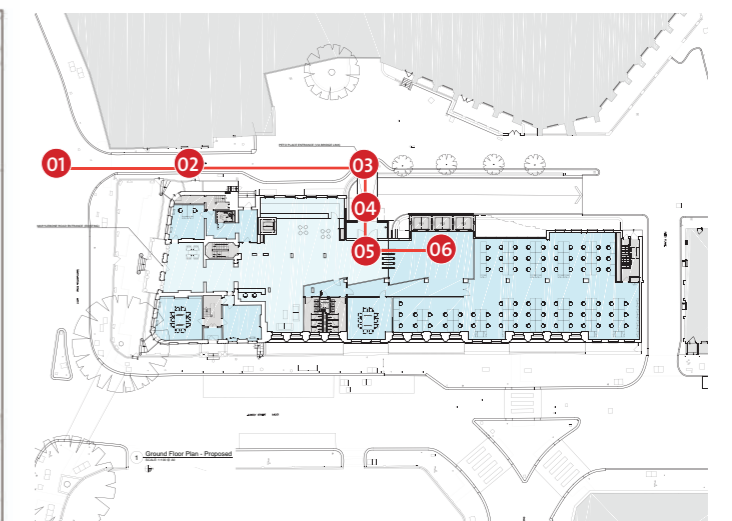
Bridge Link and Glazed Portico



View towards Security Turnstiles



Office Passenger Lift Lobby



6.0 PUBLIC REALM PROPOSALS

6.0 PUBLIC REALM PROPOSALS

6.1 Analysis and Wider Key Design Objectives

The public realm proposals have been developed with input from the London Borough of Camden and English Heritage.

The following Secured by Design principles are being adopted:

01 *Marylebone Road Entrance*

A public amenity space, with soft and hard landscaping, located within a gated enclosure, greets visitors and users as they approach the existing 2 Marylebone Road entrance.

02 *Peto Place Entrance Approach*

A low-key public amenity space and pleasant stopping space on the new route from Marylebone Road to the Peto Place entrance.

03 *Peto Place Entrance*

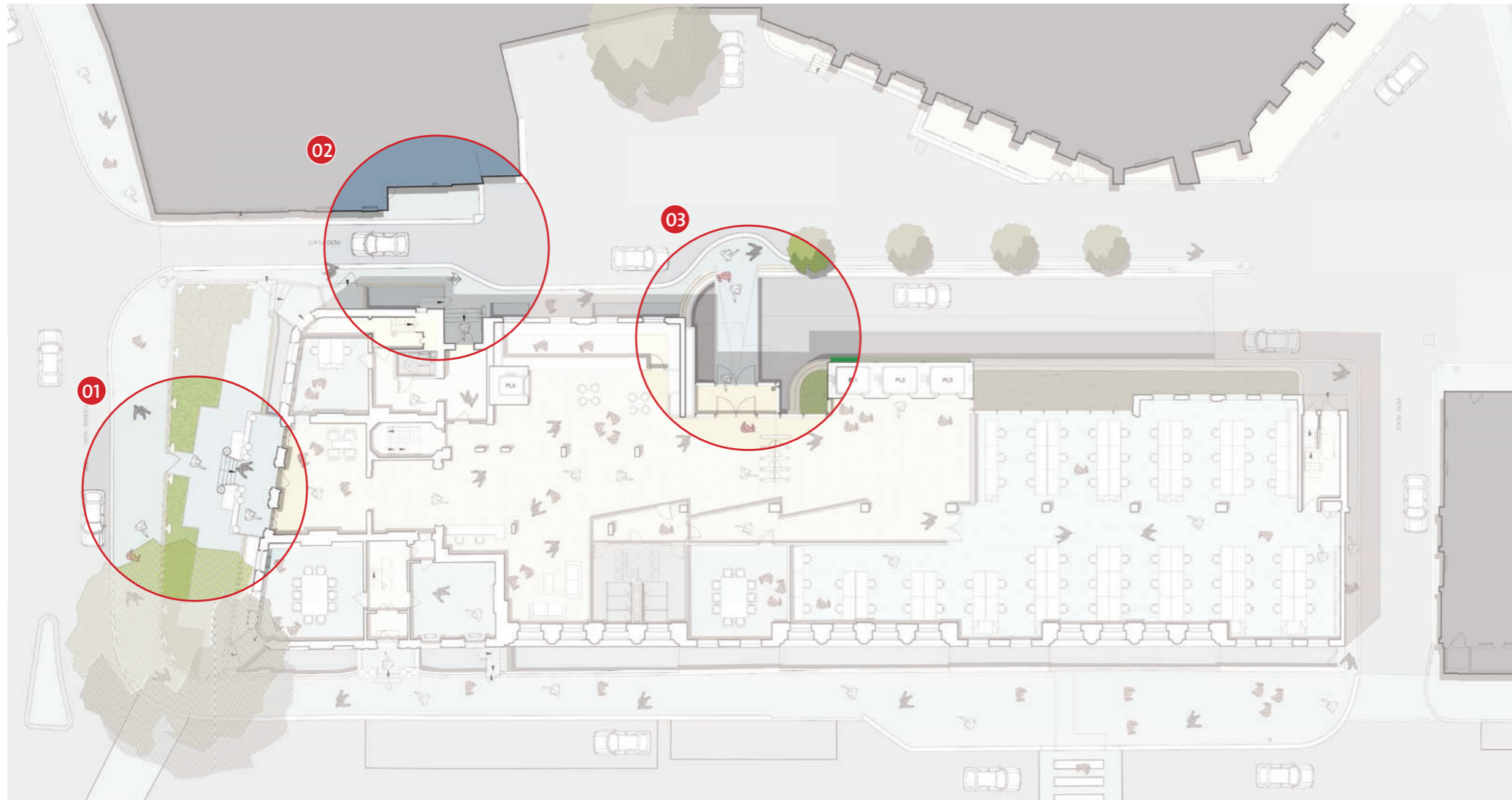
Adjacent to the new main public space of the proposal, the entrance will be signposted and appropriately lit to assist users.

Key Concepts:

- Continuity from surrounding streetscape;
- Build upon Regent's Park character;
- Create clear public quality and amenity;
- Establish a hierarchy of routes and spaces;
- Create appropriate thresholds;
- Design in flexibility [of layout and use];
- The ground plane and public spaces should have a character distinct from buildings;
- Varied and rich material palette: celebrate existing assets.

Considerations:

- Alignment, shape, width of passages;
- Courtyards & public spaces;
- Level changes;
- Paving and landscape;
- Lighting.



Proposed Ground Floor Plan



Marylebone Road Entrance



Proposed Peto Place and Second Entrance



New Building Entrance

6.0 PUBLIC REALM PROPOSALS

6.2 Security + Secured by Design

The existing Peto Place to the west of the site has been identified as public realm to which enhancements would provide an increased sense of security and deter unwanted behavior.

Access and Movement

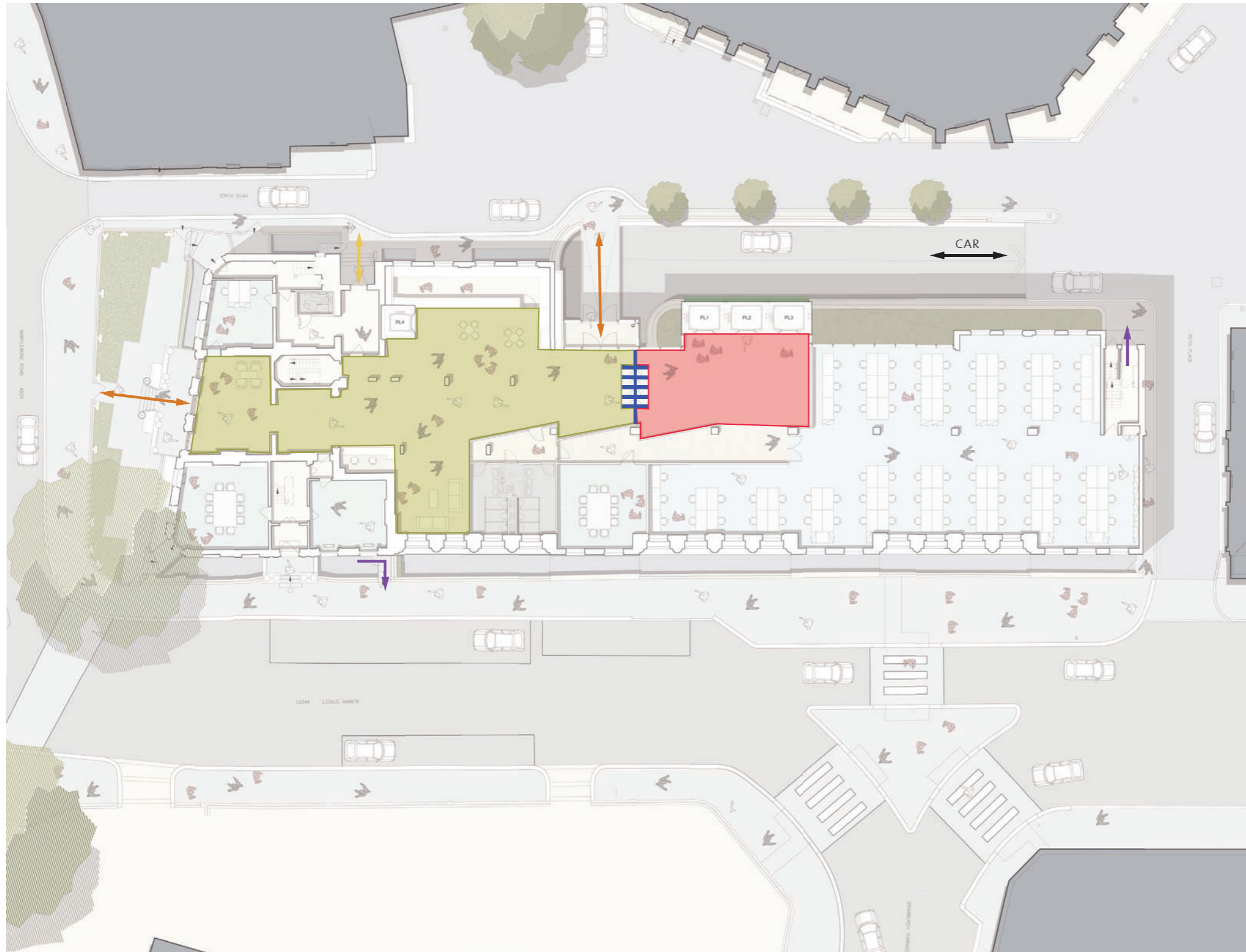
The existing Peto Place has an external courtyard that is open to the public throughout the day and night. This under-utilized space lacks activity or defined purpose.

Structure

By providing a ground floor entrance to the site off Peto Place a purpose integral to the development is given to this external space.

Surveillance

Improved lighting of the public realm adjacent to the new Peto Place entrance is proposed to enhance security and create a welcoming and legible public route.



- Primary Entry & Exit
- Secondary Entry & Exit
- Emergency Exit
- Public Accessible Lobby
- Restricted Access
- Key Card Turnstiles
- Key Card Car Basement Access

Building Entries and Security Zones

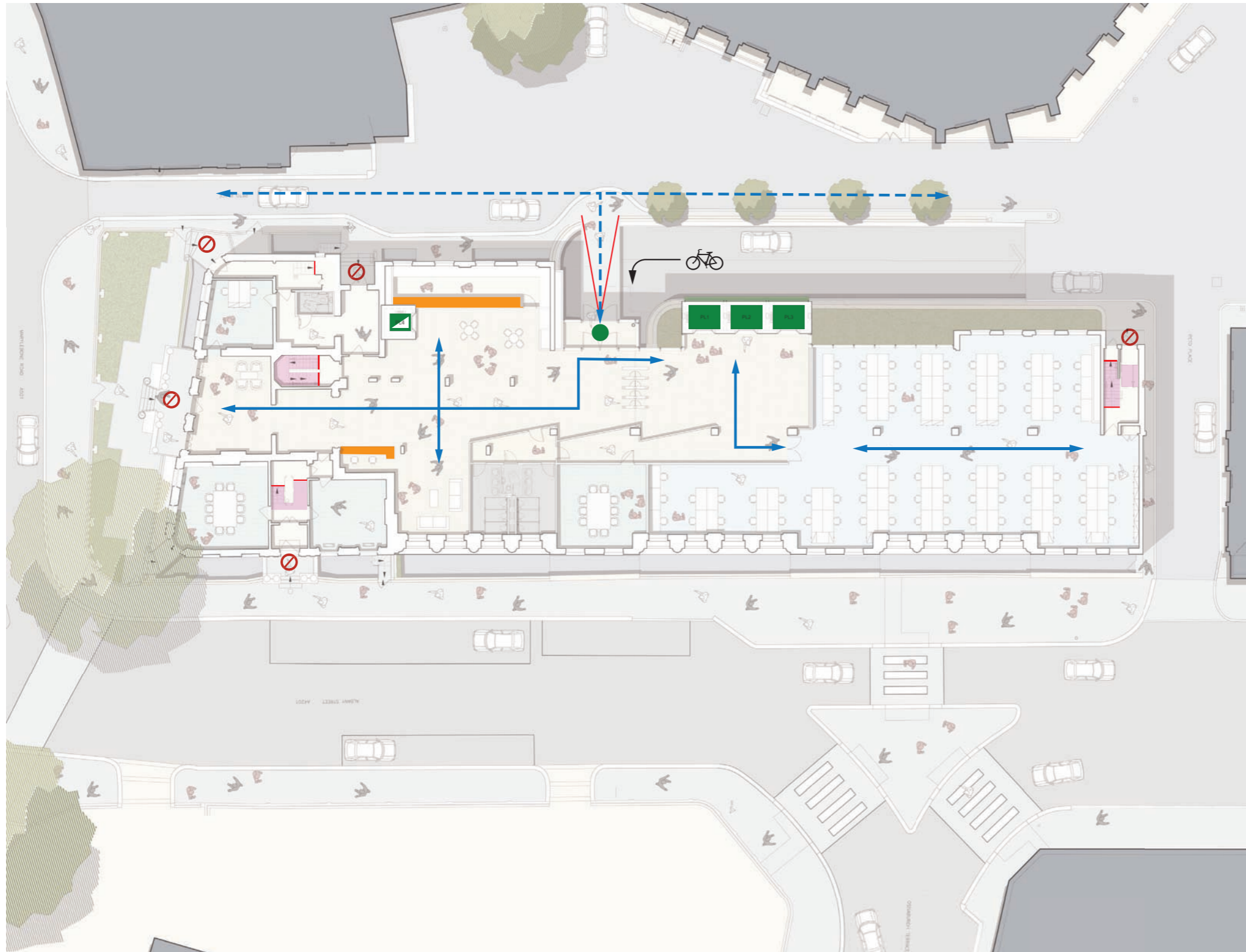
7.0 ACCESS AND INCLUSIVE DESIGN

7.0 ACCESS AND INCLUSIVE DESIGN

7.1 Access Statement

The access strategy addresses several key issues:

- It is an aspiration of the scheme to provide a new level entrance to the building on Peto Place via a ramped bridge link, designed and built to AD Part M, with a flush interface;
- The existing basement ramp is retained and will continue to provide safe bicycle, motorcycle and vehicular access to the parking areas;
- The ground, first, second, third and fourth floors will be served by new lifts designed and built to AD Part M;
- An ambulant disabled lift is installed to the southwest of the 1980s building providing access from basement to ground floor only;
- The existing stair cores and emergency exits within the listed building and 1980s extension maintained;
- The existing 2 Marylebone Road entrance is retained with existing stepped entry.



- ▬ External Wheelchair Accessible Route
- ▬ Internal Wheelchair Accessible Route
- ▬▬ Ramp $\leq 1:20$
- Accessible Entrance
- ⊘ Stepped Entry / Emergency Exit
- ▬ Step
- Passenger Lift
- ▬▬▬ Goods | Ambulant Disabled Lift
- ▬ Escape Stairs
- ▬ Reception / Cafe
- 🚲 Basement Bicycle | Motorcycle Parking

Proposed Ground Floor - Accessibility Plan

8.0 SERVICING AND PARKING