

## 5.0 DESIGN PROPOSALS

### 5.7 Sustainability

#### Summary

The environmental strategy sets a series of performance targets for the development. Thornton Reynolds and KPF have developed the environmental strategy in conjunction with input from the design team. The mix of new construction and refurbishment across the scheme requires different assessments for the various components of the development. The design will incorporate best practice standards respectful of listed buildings and Conservation Area constraints, with proposals developed in collaboration with the heritage specialist and in consultation with the London Borough of Camden.

#### Overall:

- Energy usage of the new build area is entirely offset by energy improvements to the building as a whole;
- Design of the new build elements optimizes solar gain without resulting in overheating;
- 2008 BREEAM pre-assessments have been conducted targeting a result of 'Excellent' for offices.

#### Green features:

- Green roof;
- Green wall;
- Bio-diverse planting;
- Roof photovoltaics.

More detailed information is available in the 'Sustainability Statement (Energy Statement & BREEAM Pre-Assessment)' prepared by Thornton Reynolds.

**Note, final materials to be approved by London Borough of Camden Planners.**



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### 5.8 Green

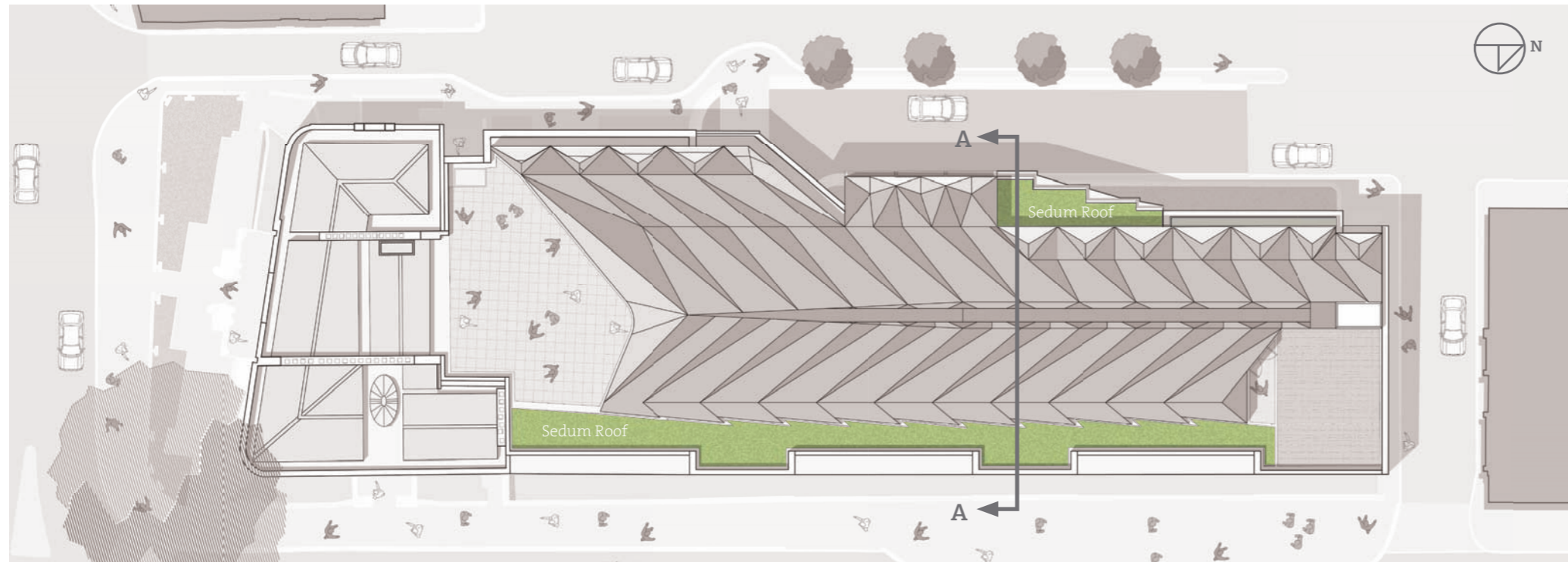
#### 5.8.1 Sedum Roof

There will be no negative change in the site's ecological value as a result of the development. An ecologist will be appointed and will work with the design team to ensure ecological value is increased on site.

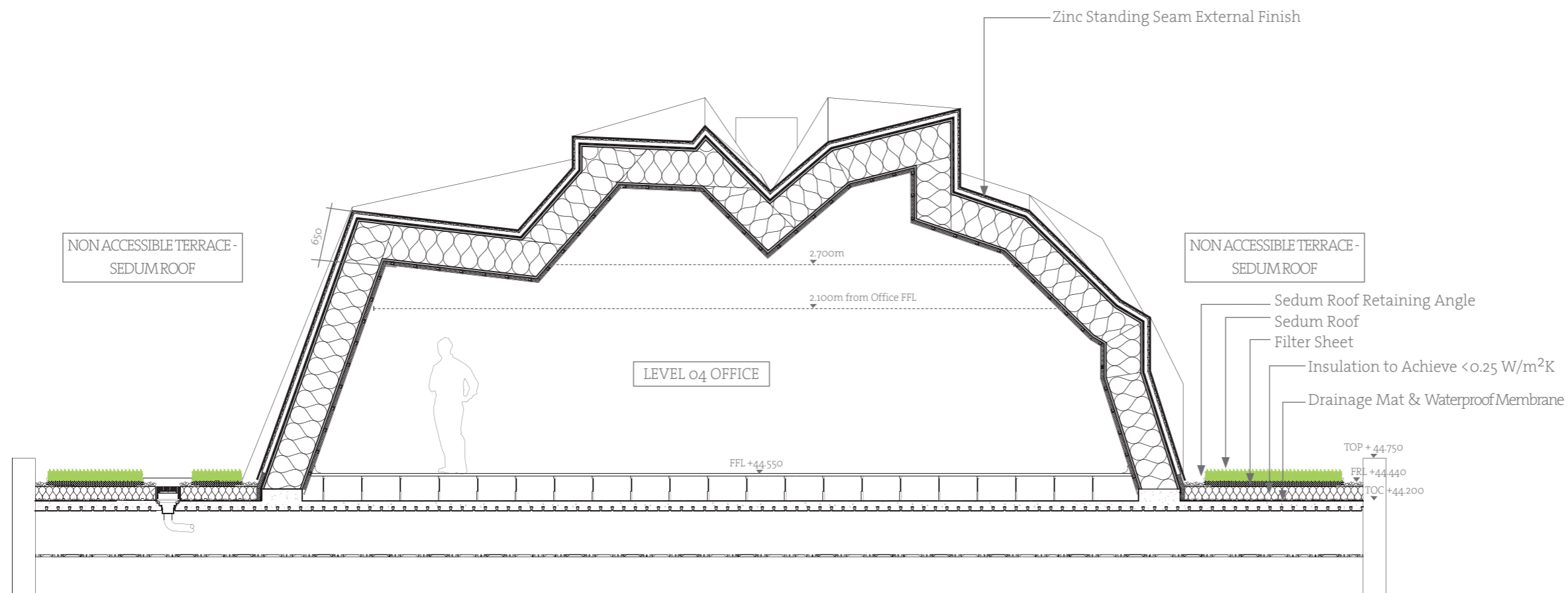
There is approximately 110m<sup>2</sup> of sedum roof proposed on level 4; a 90m<sup>2</sup> strip is located to the east of the level 4 office accommodation adjacent to the existing Albany Street parapet and an approximately 20m<sup>2</sup> zone is created to the north of the passenger lifts on the roof of the level 3 extended working areas.

The exact mix of sedum roof and its installation will achieve the relevant BREEAM 'Land Use and Ecology' credits.

Please refer to KPF planning drawing A-465 for further details on the sedum roof.



Sedum Roof Plan



Sedum Roof - Section AA