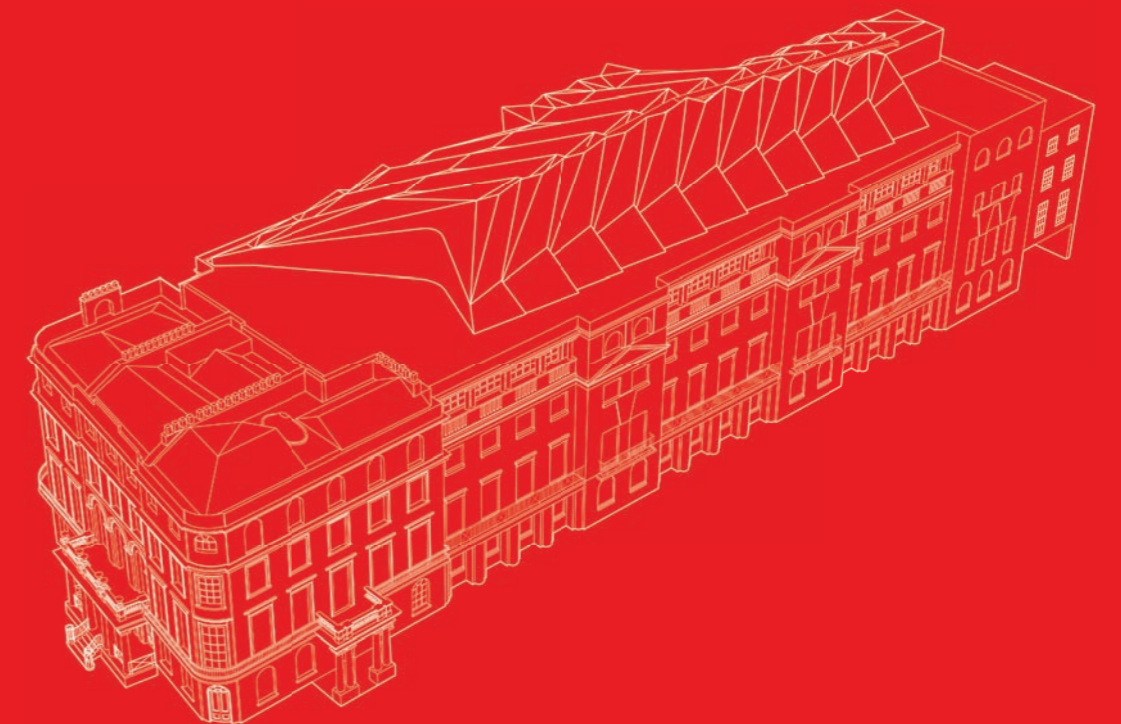


WHICH? HEADQUARTERS

2 MARYLEBONE ROAD AND 1-9 ALBANY STREET

DESIGN AND ACCESS STATEMENT

AUGUST 2013



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Kohn Pedersen Fox Associates (KPF)

Planning Consultant

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WSP UK Ltd

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Acoustic Logic

Rights of Light

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CDM Coordinator

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Site Surveyor

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Kitchen Consultant

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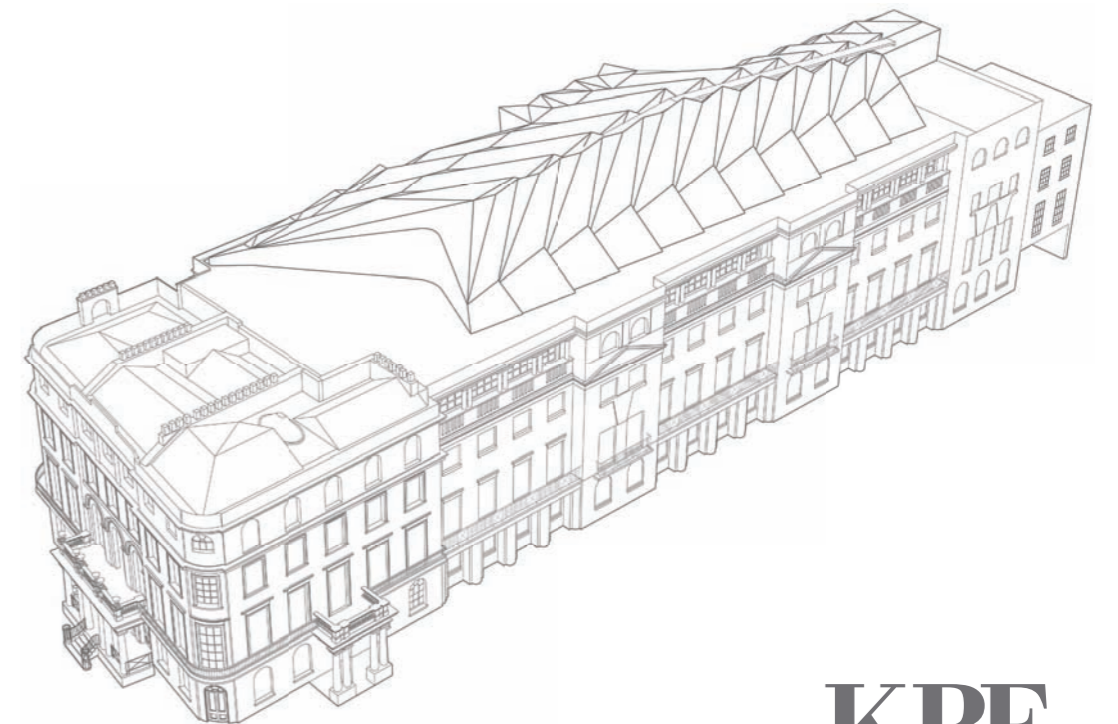
WHICH? HEADQUARTERS

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DESIGN AND ACCESS STATEMENT

Author: Kohn Pedersen Fox Associates

Date: August 2013



KPF

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1.0 INTRODUCTION

1.1 Executive Summary

On behalf of Which? Ltd., this Design and Access statement has been prepared by KPF in conjunction with the consultant team listed on the cover sheet.

The purpose of this document is to support the Planning Application for the proposed development of 2 Marylebone Road & 1-9 Albany Street.

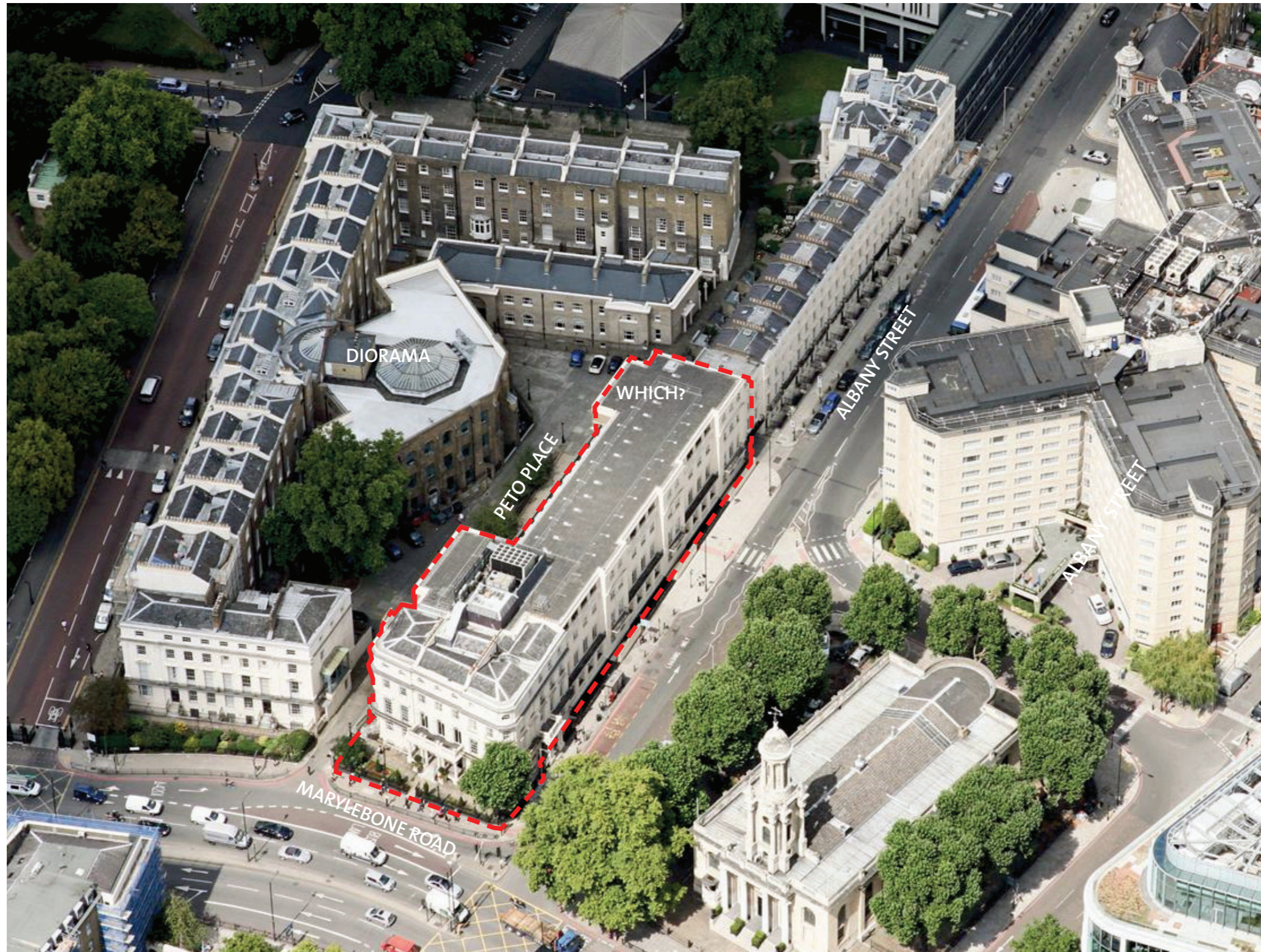
It outlines the history and evolution of the design proposals as well as the final design and also explains the approach and proposals with regard to accessibility and inclusive design.

The Design and Access statement should be read in conjunction with the other supporting documentation submitted with the planning application.

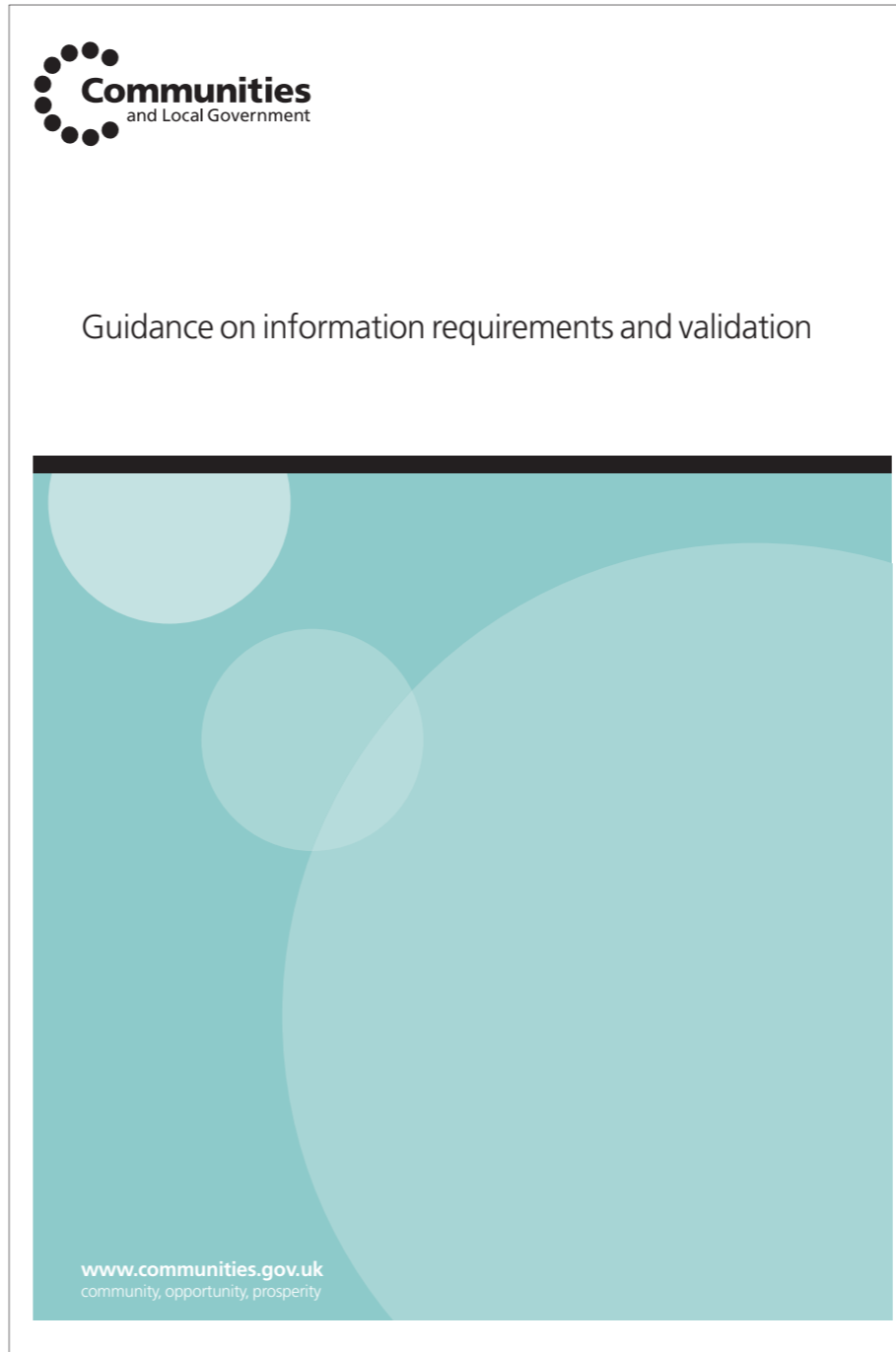
The proposal includes:

- The removal of the original 1980s core within the modern office block in order to increase the amount of open plan office space and to increase and improve circulation between the listed and the 1980s buildings;
- This is achieved by relocating the core to extended areas facing Peto Place comprising two main elements:
 - New vertical circulation
 - New meeting rooms
- The first, second and third floors will be marginally extended to the west to accommodate additional work stations;
- A roof extension at fourth floor to provide Which?'s own conference facility and additional meeting space;
- Retention of principal historic fabric of significance in the 2 Marylebone Road building and restoration of its original silhouette at roof level;
- Landscaping and screening to the new level 4 terrace;
- A rejuvenated courtyard to Peto Place animated through a new bridge link entrance over the existing ramp access to the basement.

The building extension and renovation is required in order to meet Which?'s specific strategic needs as set out in detail in the accompanying planning statement.



Aerial Perspective Of Application Site



1.0 INTRODUCTION

1.2 Purpose of the Design and Access Statement

The Design and Access statement is a document that explains the process and thinking behind the proposed development. It is intended to assist the Borough in determining the application and to ensure:

- Good design;
- Thoughtful design processes have been applied;
- Sustainable approaches have been applied to the design;
- Better understanding of the analysis which underpins the design;
- Stakeholders involve themselves more directly in the planning process.

This statement has been prepared using the guidance set out in; 'Design and Access Statements: How to write, read and use them' published by the Commission for Architecture and the Built Environment in 2006.

It has been structured to explain the following key subjects:

- Understanding and integration into the district and site context;
- Approach to design;
- Detailed explanation of the proposals;
- Proposals for the public realm;
- Inclusive approach to access to ensure the building and public realm are accessible to a broad spectrum of the public.

2.0 PROJECT SUMMARY

2.0 PROJECT SUMMARY

2.1 Background

KPF were appointed by Which? in August 2012 to prepare concept design proposals with the intention of submitting a planning application for:

2 Marylebone Road & 1-9 Albany Street

This Design and Access Statement outlines the design development and detailed proposals for 2 Marylebone Road & 1-9 Albany Street, the existing office headquarters of Which? Ltd.

The application is a stand alone application and will create significant public realm as well as regenerate Peto Place. The detailed scope of this application is described later in this document.



Street View of the Application Site Looking North

2.0 PROJECT SUMMARY

2.2 Client Background - Which?

Which?'s HQ is located at 2 Marylebone Road and 1-9 Albany Street, Regent's Park, London NW1 4DF. The planning design includes a new auditorium to the existing roof and a new glazed lift enclosure facing Peto Place.

Which? provides consumer advice and campaigns on a wide variety of key consumer issues. Recent campaigns include The Big Switch where we collectively saved almost 38,000 consumers over £8.2 million on their energy bills. Which? is expanding and changes in working practices and staff structure are a result of a rapid shift towards digital publishing.

The existing office space is unsuitable to accommodate increased staff numbers and business changes including:

- Space to accommodate work in new areas of consumer interest such as Which? University, the new, free website designed to help students make more informed decisions about their higher education choices;
- Space for extra staff as Which? expands its business through its internet site and mobile phone technology;
- An attractive environment to help recruit and retain the highly skilled staff needed to operate in a digital publishing sector;
- Lobbying and engagement is important to Which? and the proposed auditorium means that Which? can undertake these activities and host events on site.

Please refer to the planning statement for additional information about Which? Ltd and their statement of need.



Which? Product Testing



Current Building Visitor Entrance



Current Office Floor



Current Which? Main Conference Room

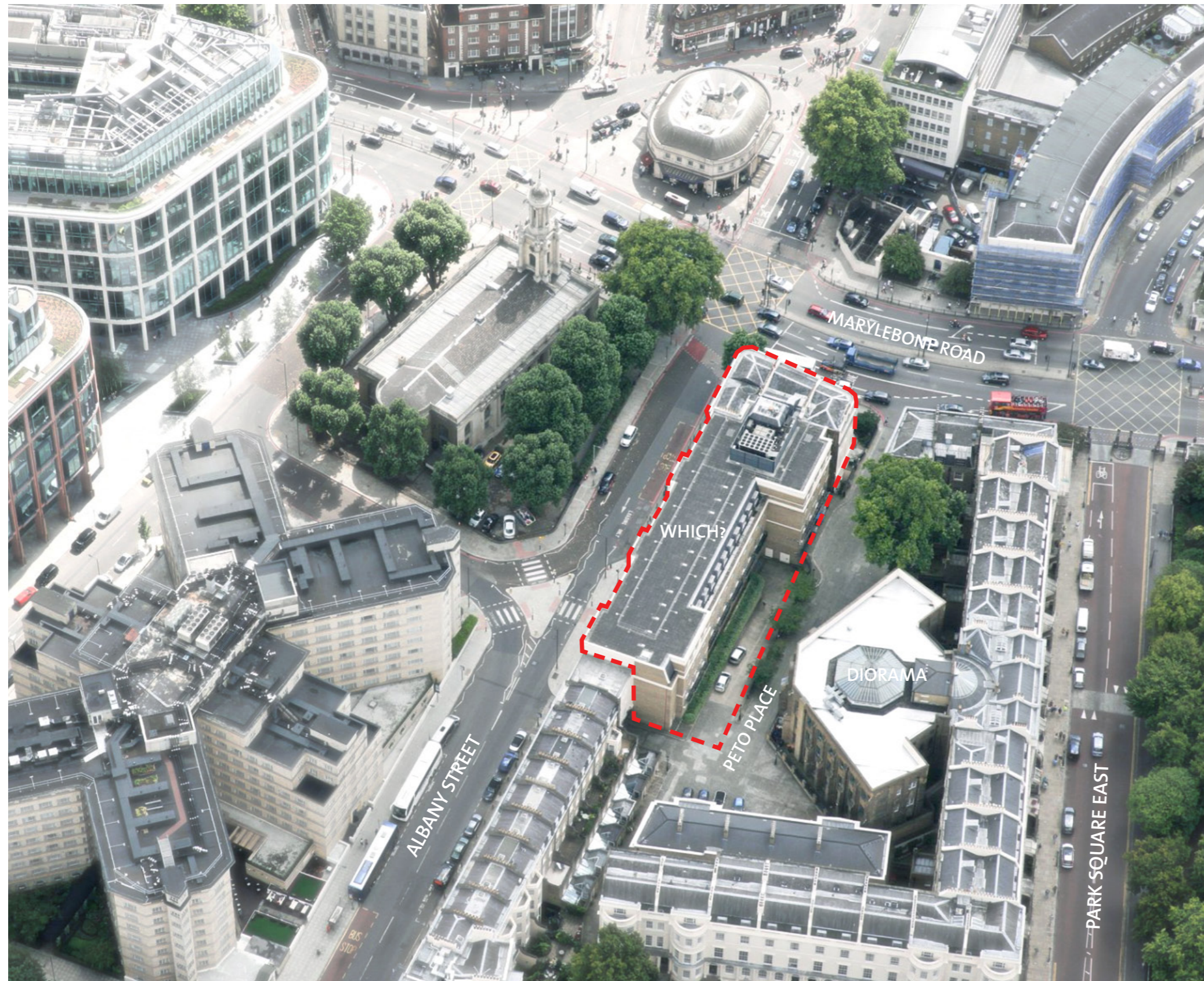
2.0 PROJECT SUMMARY

2.3 Which? - Summary and Conclusion

Which? undertakes a wide range of activities, advising and campaigning on behalf of consumers. Which? has recently expanded, and will continue to expand into new areas of consumer interest. There are a number of implications of this which affect the way Which? uses the existing building, which is becoming increasingly deficient:

- Additional space is needed to incubate and accommodate work in new areas of consumer interest such as research into universities and fees;
- Additional space will also be needed to accommodate anticipated increases in staff numbers;
- Additional space is needed to accommodate changes in working practices arising from the rapid increase in the use of digital publishing;
- A high-quality and attractive environment is required to help recruit and retain the highly skilled staff needed to operate in a sector where digital publishing is becoming more important;
- Lobbying and engagement with key decision makers is becoming increasingly important to Which?, and the proposed auditorium means that Which? can undertake these activities on site.

All of the above is needed to maintain and then enhance Which?'s ability to pursue its charitable mission. In doing so, Which? can enhance its influence in campaigning on behalf of consumers, keeping vested interests in check and 2 Marylebone Road & 1-9 Albany Street and Camden will become strongly associated with the charitable mission pursued by Which?.



Aerial Perspective of the Application Site Looking South

2.0 PROJECT SUMMARY

2.4 Wider Public Realm Masterplan

The Which? building is located in the London Borough of Camden at the corner of Marylebone Road and Albany Street. The main entrance to the site is situated on Marylebone Road and access to the basement level is provided via a ramp off Peto Place.

The building is in a highly accessible location with Great Portland Street, Regent's Park, Baker Street and Warren Street tubes a short walk away giving direct access to a majority of London Underground Lines. Numerous bus services pass in front of the site along Marylebone Road. Mainline stations at Euston and Kings Cross-St Pancras are a short walk away.

Located within a predominantly residential enclave, 2 Marylebone Road & 1-9 Albany Street benefits from the open space provided by Regent's Park and the public courtyard within Peto Place to the west.

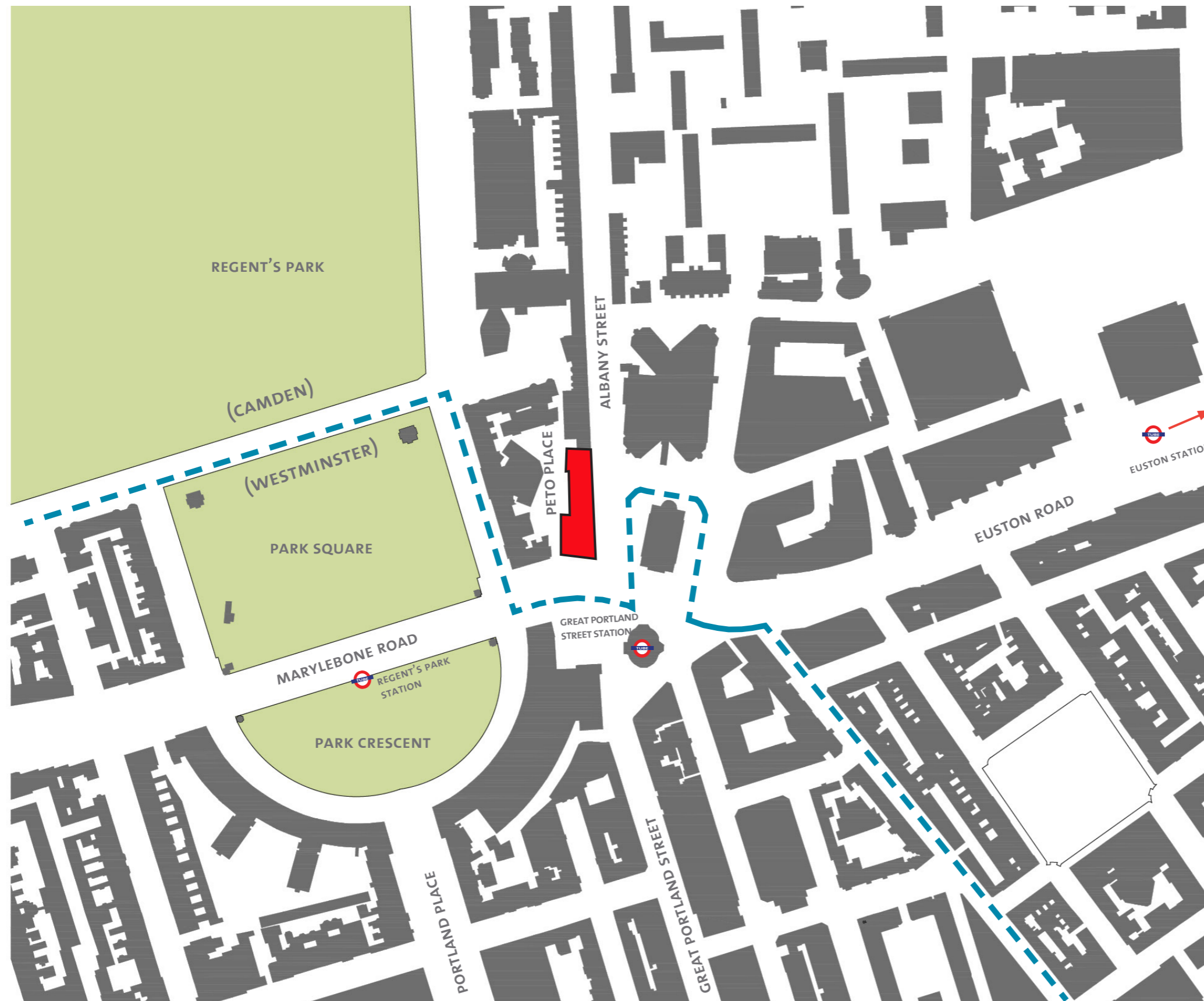


Figure Ground

2.0 PROJECT SUMMARY

2.5 The Proposals and Project Credentials

The proposal is to revitalize the existing building Which? currently occupy at 2 Marylebone Road and 1-9 Albany Street through the addition of a new fourth floor conference facility and refurbishment of the existing office floor plates. This will create increased office space to allow Which? to expand and to accommodate its expanding lobbying and events programme more efficiently on the premises. It is hoped this will substantially raise the profile of Which?, providing them with their own flexible conference facility.

Additionally, the proposal includes an upgrade to the public realm in this area through the rejuvenation of Peto Place with new building facades and a new side entrance.

The scheme is primarily comprised of the following:

- Conversion of the unused 1980s rooftop into an exciting new multifunctional space;
- Landscaping and screening to new fourth floor terrace.
- Removal of the existing 1980s lift core to improve the entry sequence;
- Maximise the existing internal office space by relocating the lift core and WCs to the Peto Place elevation;
- New entrance at ground floor off Peto Place;
- Peto Place public realm improvements.

Project Areas:

Existing GEA

- Total: 66,812 sqft | 6,207 m2

Proposed GEA

- Total: 77,500 sqft | 7,200 m2



Physical Model - View Looking Northwest



Physical Model - View Looking West



Physical Model - View Looking Southeast



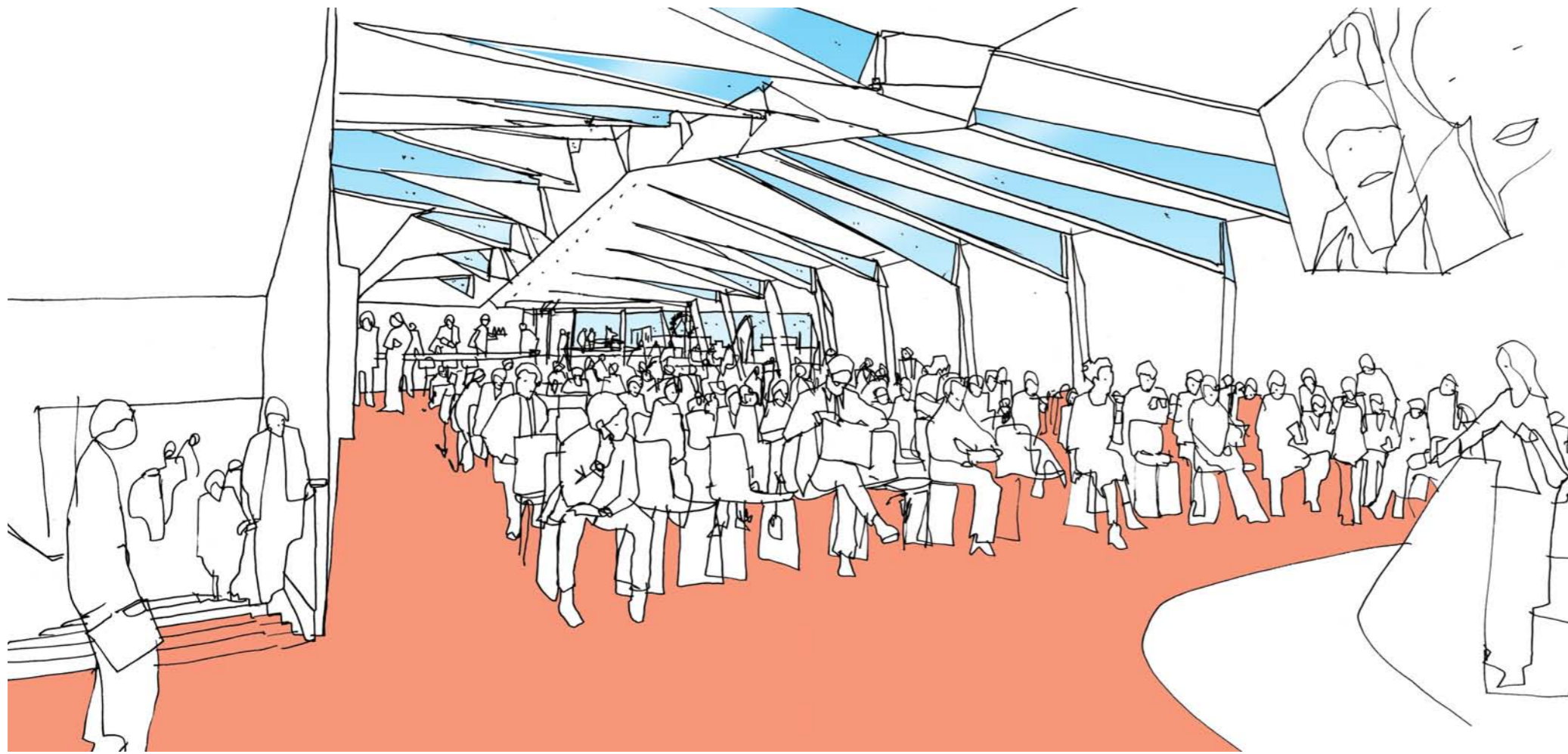
Physical Model - View Looking Northeast

2.0 PROJECT SUMMARY

2.6 Principle Objectives

The following key objectives have been established with the client and design team as being the primary drivers for the design proposals:

- Improve the entry sequence to the building and ground floor permeability;
- Expand the amount of meeting space;
- Increase the occupation density;
- Provide a multifunctional space on the top floor for hosting events. The proposed space can also be used for a staff canteen and internal workshops and presentations;
- Enhance the ageing mechanical and electrical systems;
- Remove the internal core so the listed building will be connected to, and uninterrupted from the 1980s extension to a larger open plan layout.



Illustrative Sketch of the Level 4 Flexible Conference Space

3.0 SITE AND HERITAGE

3.0 SITE AND HERITAGE

3.1 Existing Site and Context

Located in the London Borough of Camden and bound by Marylebone Road to the south and Albany Street to the east. The Which? building is to the southeast of Regent's Park separated by Peto Place and Park Square East – a row of Grade II listed Nash Terraces.

The site is in a highly accessible location. Great Portland Street, Regent's Park, Baker Street and Warren Street tubes are a short walk away giving direct access to a majority of London Underground Lines. Numerous bus services pass in front of the site along Marylebone Road. Mainline stations at Euston and Kings Cross-St Pancras are a short walk away.

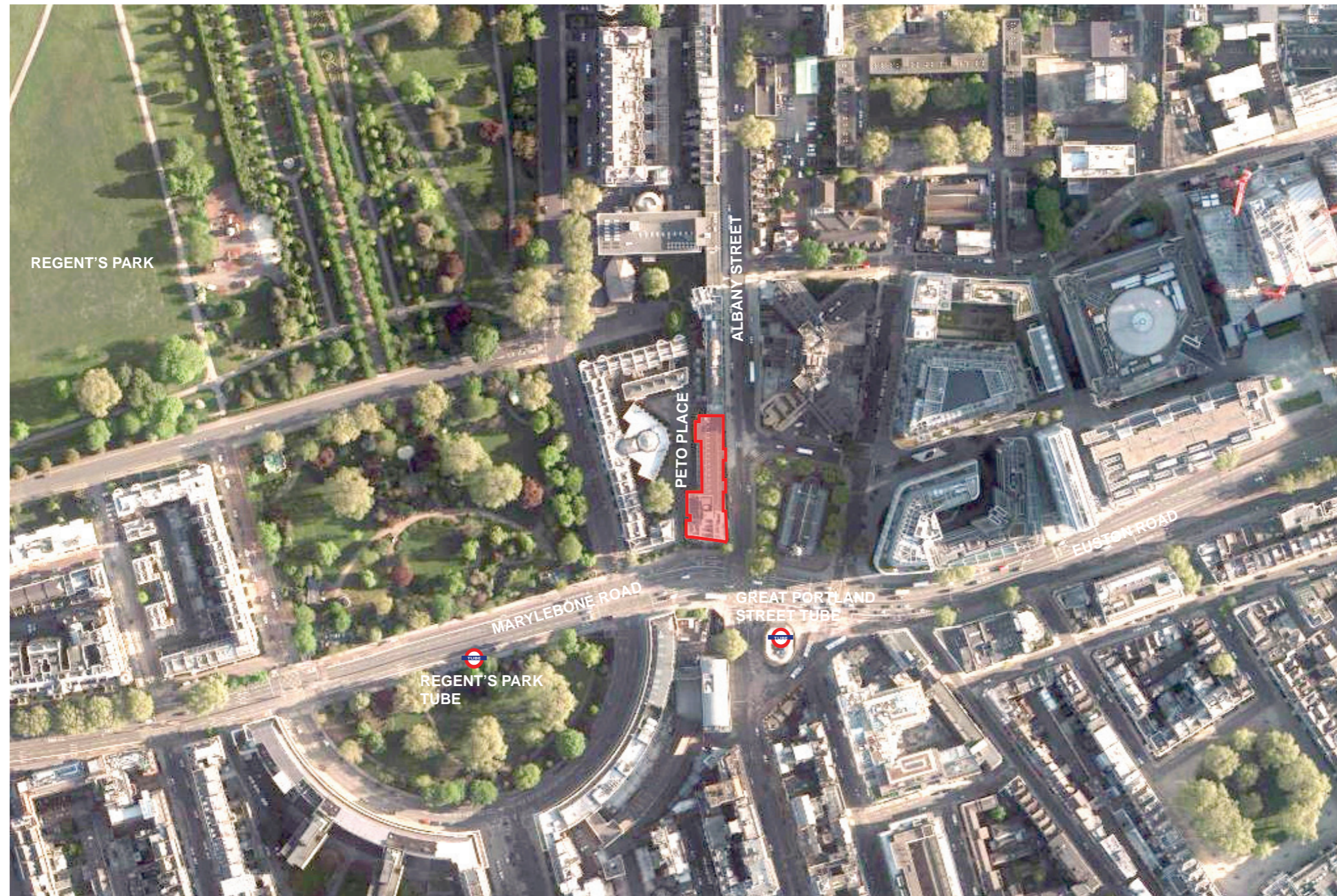
The application encompasses the Grade II* Listed building at 2 Marylebone Road and 1980 extension at 1-9 Albany Street.

2 Marylebone Road

No. 2 Marylebone Road is an early 19th Century white stucco Nash Terrace listed in the Grade II* category. It comprises three terrace houses over four floors with basement level. No. 2 was listed as part of its group value with the Regent's Park Nash Terraces. Although the building line at the rear has been eroded (it links directly into the modern buildings on Albany Terrace by way of doors and hallway), the plan form is otherwise relatively intact and the original stairs appear to have been retained.

1-9 Albany Street

The adjacent 1980s building along Albany Street is modern and of little architectural significance. The building is over four storeys above a basement car park which is accessed by way of a ramp from Peto Place to the rear. The historical façade echoes Nash Terraces, but replaced late Victorian buildings in a very different style.



Aerial View of Application Site



2 Marylebone Road



1-9 Albany Street



Peto Place Looking South



Peto Place Looking North

3.0 SITE AND HERITAGE

3.1 Existing Site and Context

3.1.1 Internal Conditions

Entrances

The main entrance to the existing building, approached from Marylebone Road, comprises a small, unimpressive reception and waiting area for visitors. The reception leads through the listed building to the 1980s extension to the north where a bank of two passenger lifts immediately greet visitors, blocking views and direct access to the northern extension of the building.

Office Space

The typical office floors are cramped, cluttered and poorly lit. The presence of the lift core at the threshold of the 1980s extension and listed building hinders collaboration whilst marginalising the two working areas.

Meeting Rooms

There are very few meeting rooms in the building, all with limited natural light and user capacity. The meeting rooms are often overbooked and are not conducive environments for important discussions with clients.



Entrance and Exits



Office Space



Meeting Rooms

