

refer to the proposed drawings for the location of all new doors,
where notes indicate doors to be removed all historic architraves are to be retained
GROUND FLOOR DOOR KEY (DGxx)

DG01:
Georgian style decorative fanlight
with some historic glass,
may be a later addition (see
"London's Georgian Houses" by
Andrew Byrne)

DG02:
6 panelled timber door hall side,
inner flush door,
decorative architrave with Acanthus
leaf mouldings to frieze on hall side,
hardboard pediment to be removed

DG03: door & frame to be moved
6 panelled timber door,
modern architrave

DG04:
6 panelled timber face hall side,
modern flush face office side,
profiled architrave on office side,
decorative architrave with lion
head motifs on hall side

DG05:
modern flush door,
profiled architrave office side

DG06: to be removed
modern wood vertically boarded
door matching panelling in stairs

DG07: to be removed
modern door with
obscure glazed vision panel
to be replaced with new handed
timber framed fully glazed door

DG08: to be removed
modern flush timber door,
clear fanlight above

DG09: to be removed
modern flush timber door,
clear fanlight above

DG10: to be removed
modern flush timber door,
clear fanlight above

DG11: to be removed
modern 6 panelled timber door

DG12:
new door

GROUND FLOOR
ROOFLIGHT KEY (RLxx)

RL01: to be removed
modern rooflight

RL02: to be removed
modern rooflight

RL03: to be removed
modern rooflight

RL04: to be removed
modern rooflight

RL05: to be removed
modern rooflight
BASEMENT DOOR KEY (DBxx)

DB01:
4 panelled (2 glazed lights) door

DB02:
modern wood vertically boarded
door matched to panelling in stairs

DB03:
modern timber glazed door

DB04: to be removed
modern flush timber door

DB05: to be removed
4 panelled (1 obscure glazed light) door
to be replaced with new timber framed
fully glazed door

DB06: to be removed
4 panelled (1 obscure glazed light) door

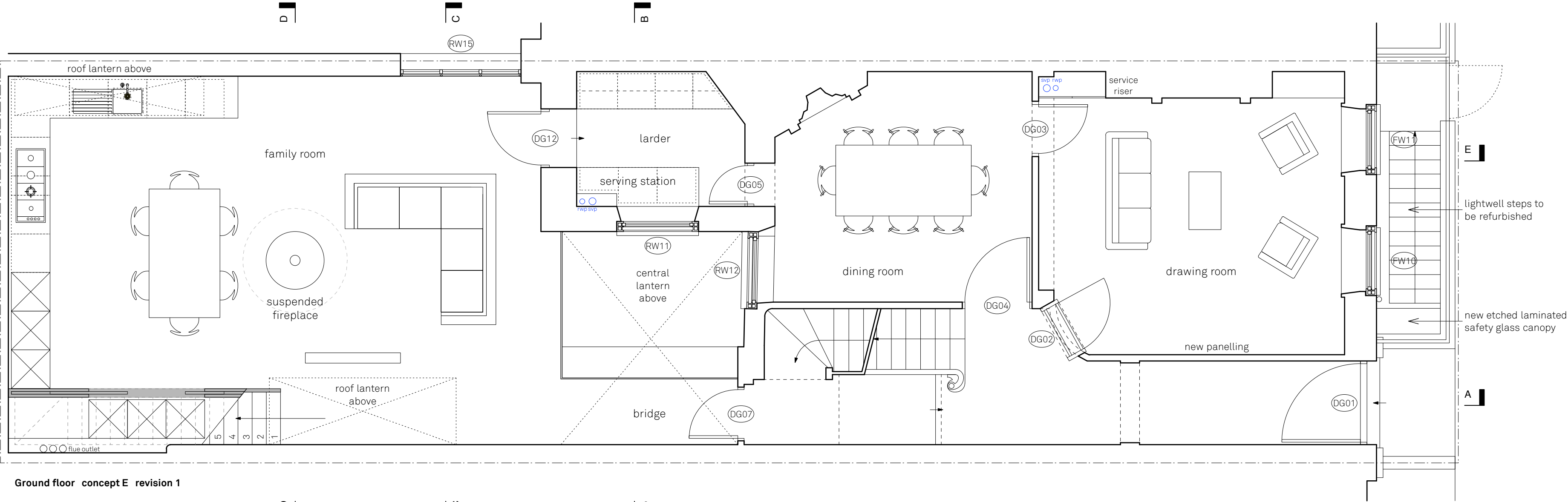
DB07: to be removed
timber glazed door

DB08:
metal door

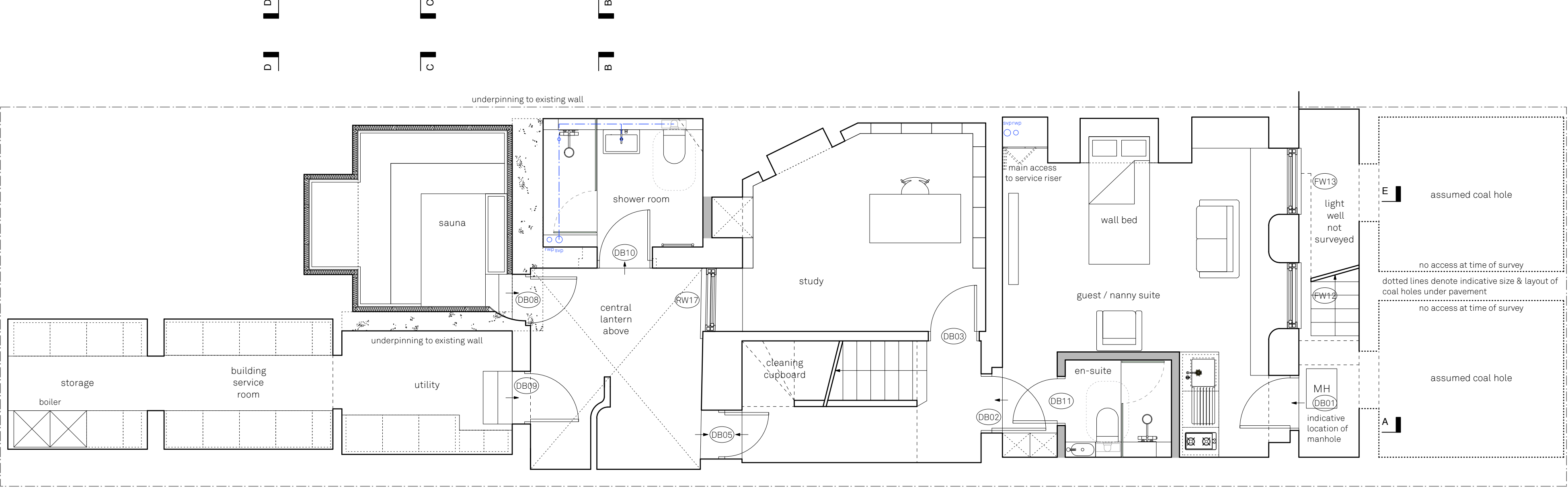
DB09: to open into courtyard
metal door

DB10:
new door

DB11:
new door



Ground floor concept E revision 1



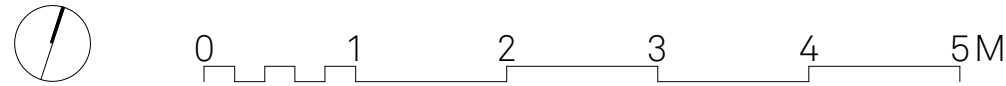
Basement concept E revision 1

Refer to SE reports dated March & June 2013

Ground floor: Existing joists span direction assumed to be the same as above. Floor occupied at time of SE site visit

Basement: Floor build-up likely to be of stone / concrete construction. Floor occupied at time of SE site visit

--- line denotes existing solid timber trimmer beam supporting joists



key
hatch denotes new walls

Floor finishes

No floor levelling to be carried out. Proposed floor finishes to be original timber floors.
Existing floorboards in poor condition or modern floorboards to be removed & replaced
with appropriate alternative. If required floorboards to be carefully taken up & relaid
with tighter gap.

ALL PANELLING, INCLUDING PANELLING EXPOSED DURING CONSTRUCTION WORKS, TO BE RETAINED & REPAIRED

Proposed Basement & Ground Floor Plans

34 Great James Street

Drawn By CM
Scale 1:50@A2
Status planning

Paul Archer Design Ltd

Issue Notes
A design revised
B planning comments included
C conservation comments included

Date
07.12.12
18.06.13
05.09.13

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design

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