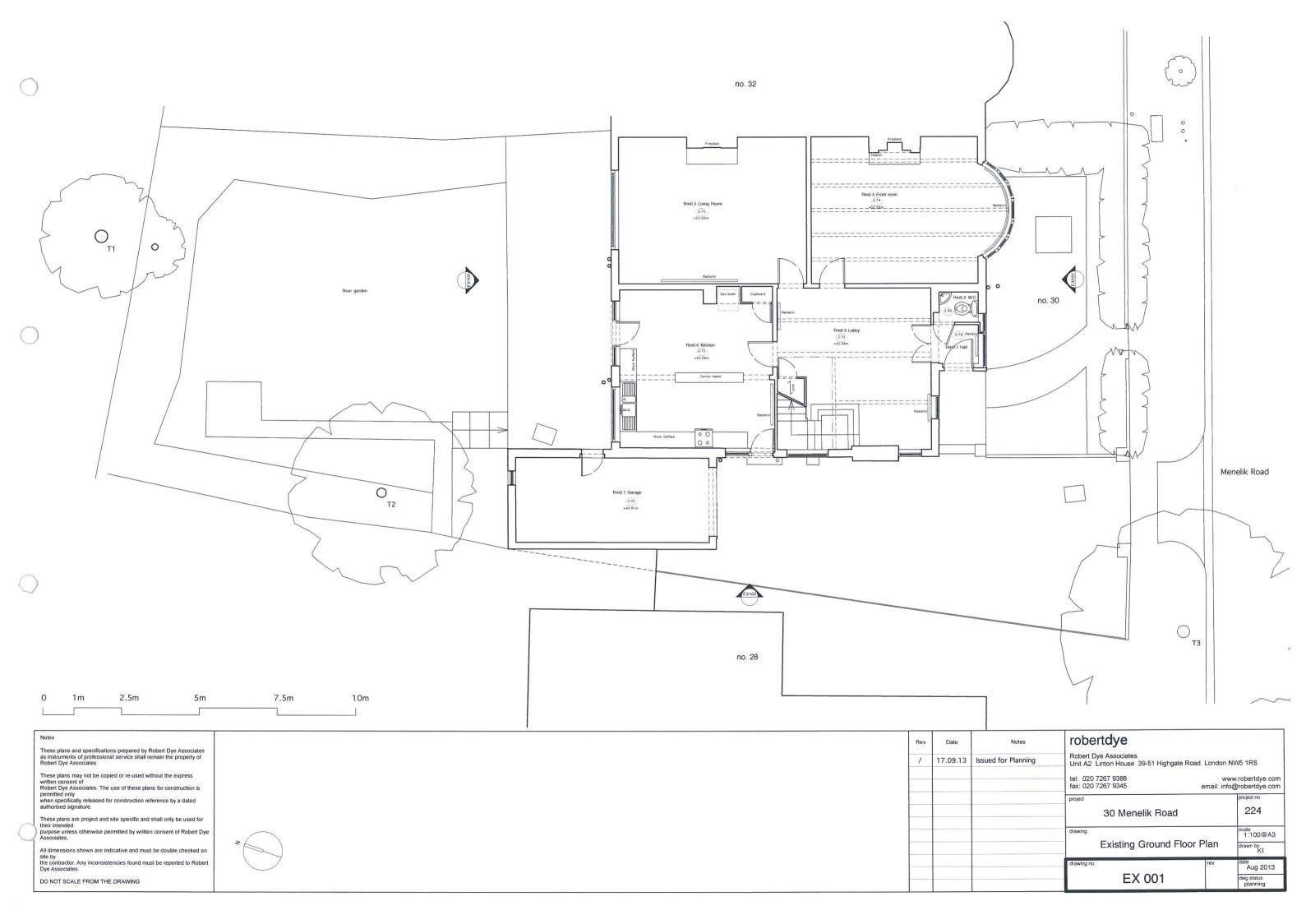
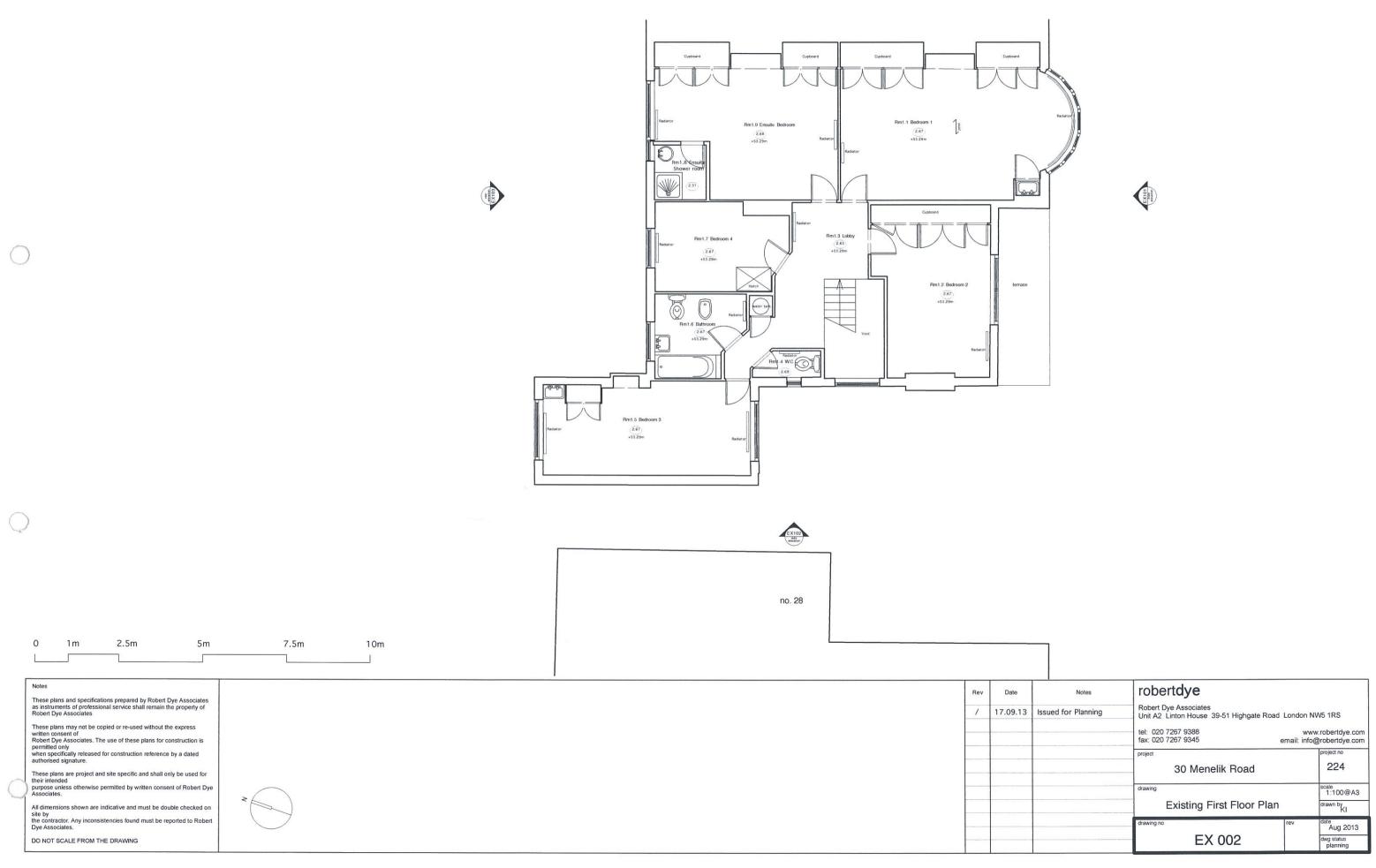
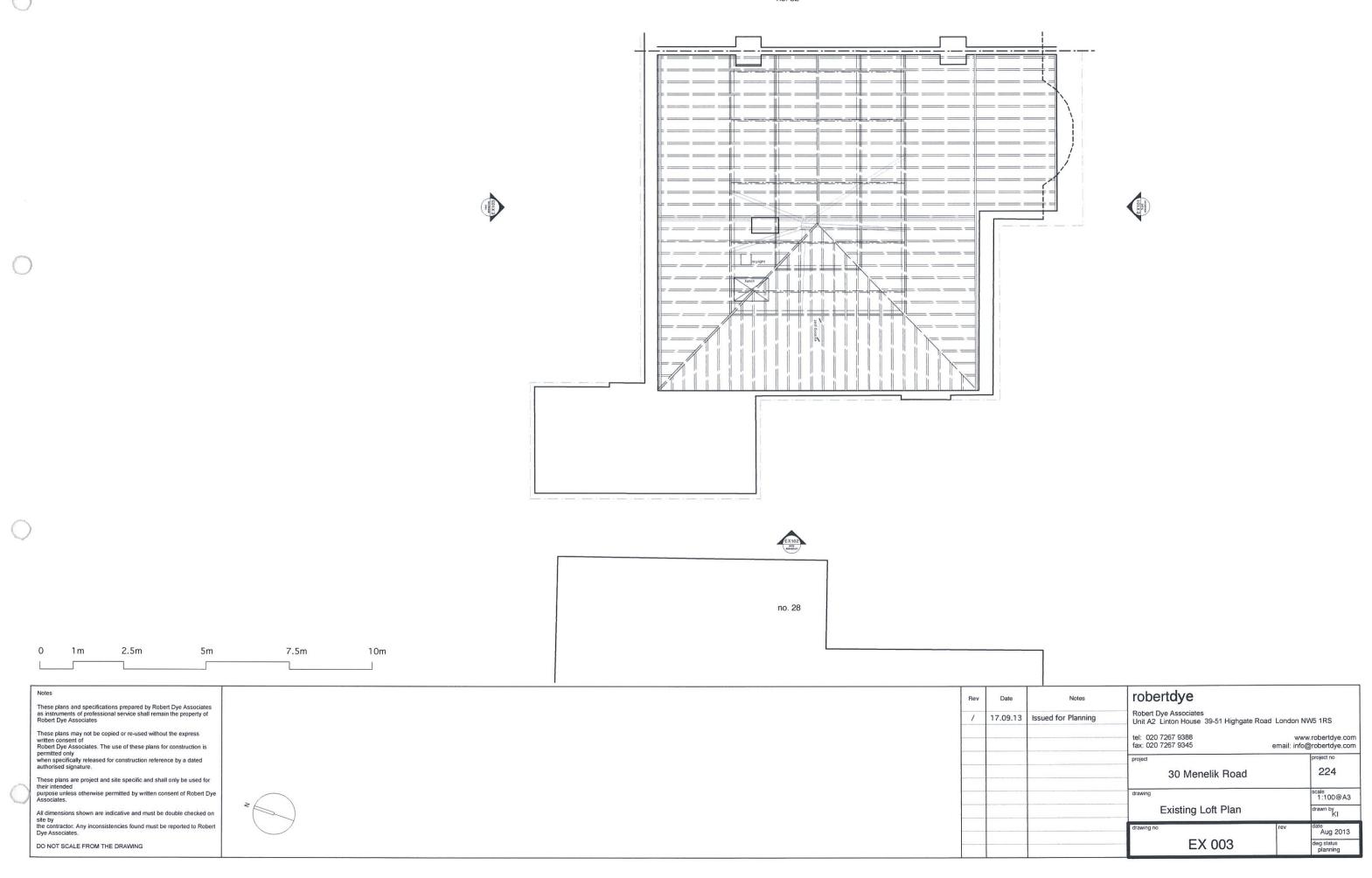
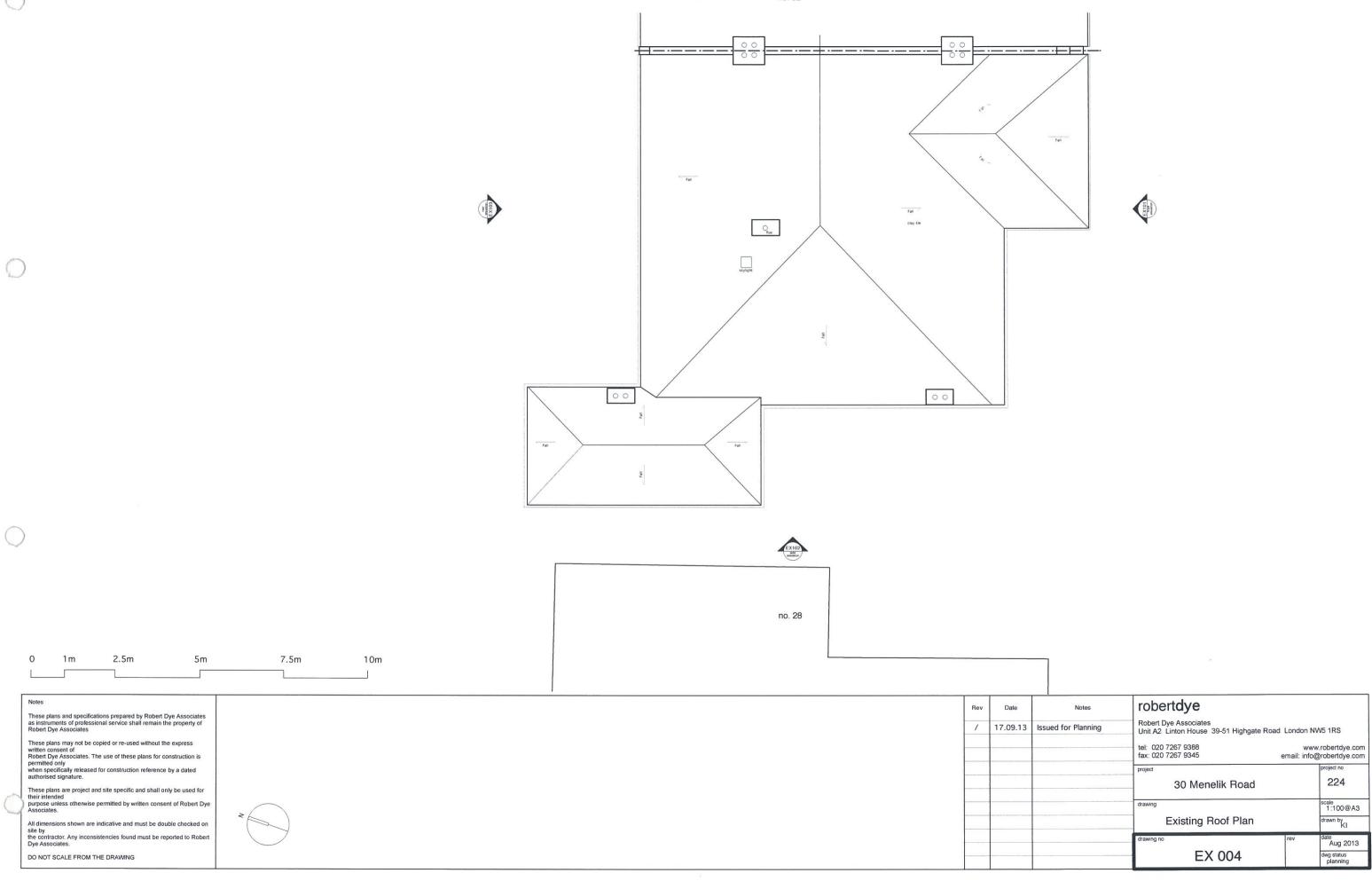
Practice Profile	page 3	
Photographs of the House	page 4	
EXISTING PLANS & ELEVATIONS		
Existing Site Location Plan	EX - 000	1:1250@A3
Existing Ground Floor Plan	EX - 001	1:100@A3
Existing First Floor Plan	EX - 002	1:100@A3
Existing Roof Plan	EX - 003	1:100@A3
Existing Front Elevation	EX -101	1:100@A3
Existing Side Elevation	EX -102	1:100@A3
Existing Rear Elevation	EX - 103	1:100@A3
PROPOSED PLANS & ELEVATIONS		
Proposed Ground Floor Plan	PD - 001	1:100@A3
Proposed First Floor Plan	PD - 002	1:100@A
Proposed Roof Plan	PD - 003	1:100@A
Proposed Front Elevation	PD - 101	1:100@A
Proposed Side Elevation	PD - 102	1:100@A
Proposed Rear Elevation	PD - 103	1:100@A













0 1m 2.5m 5m 7.5m 10m

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robertdye

Robert Dye Associates

Unit A2 Linton House 39-51 Highgate Road London NW5 1RS

tel: 020 7267 9388 fax: 020 7267 9345 www.robe email: info@robe

project project no 224

drawing Scale 1:100@A3

Existing Front Elevation

drawing no rev

Aug 2013

drawn by

CLAY TILES CLAY TILES CLAY TILES PAINTED BRICK QUOINING PAINTED METAL FRAMED WINDOW

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www.robertdye.com email: info@robertdye.com

224 30 Menelik Road ale 1:100@A3

Existing Side Elevation

EX 102

Aug 2013 dwg status planning

drawn by



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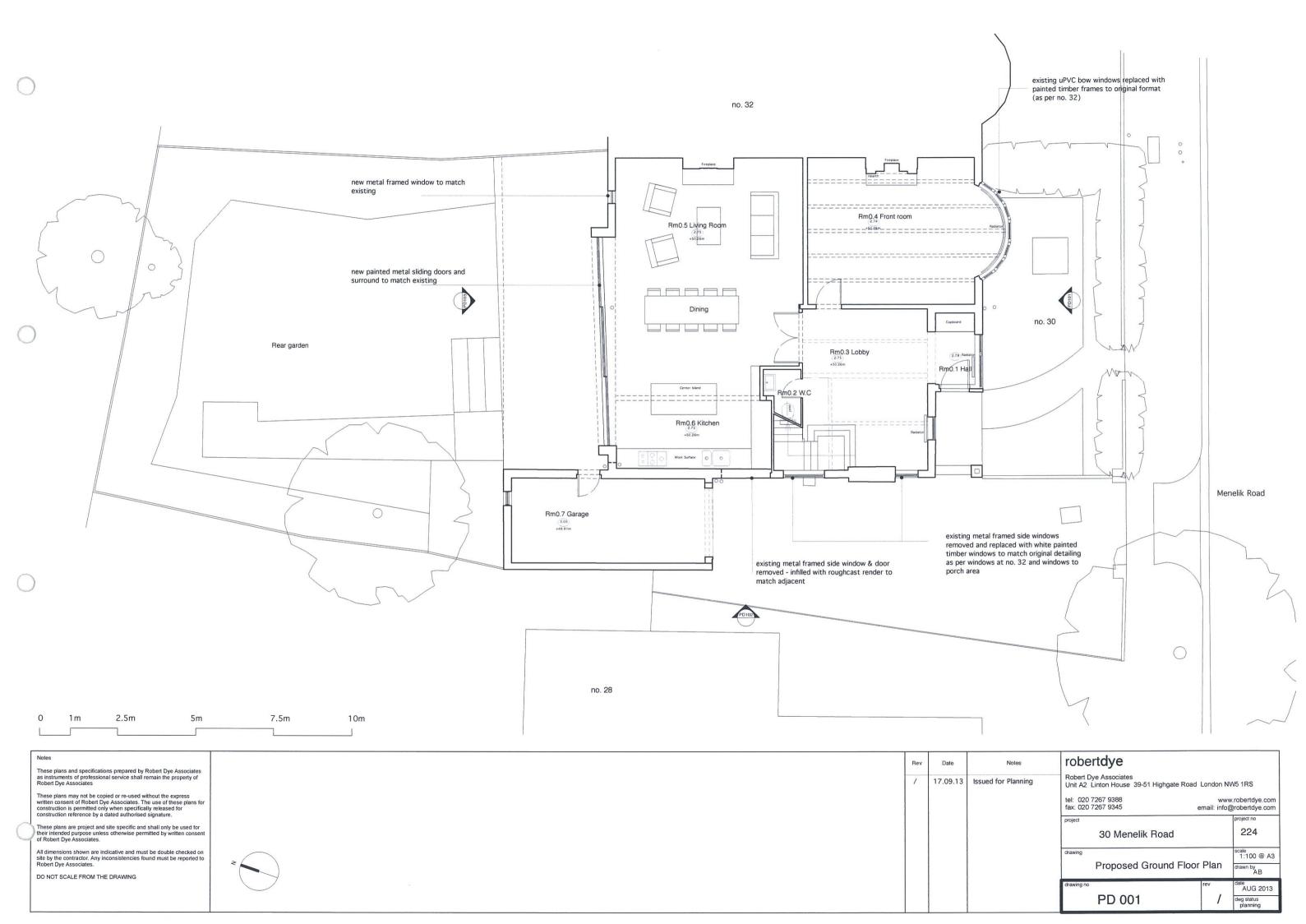
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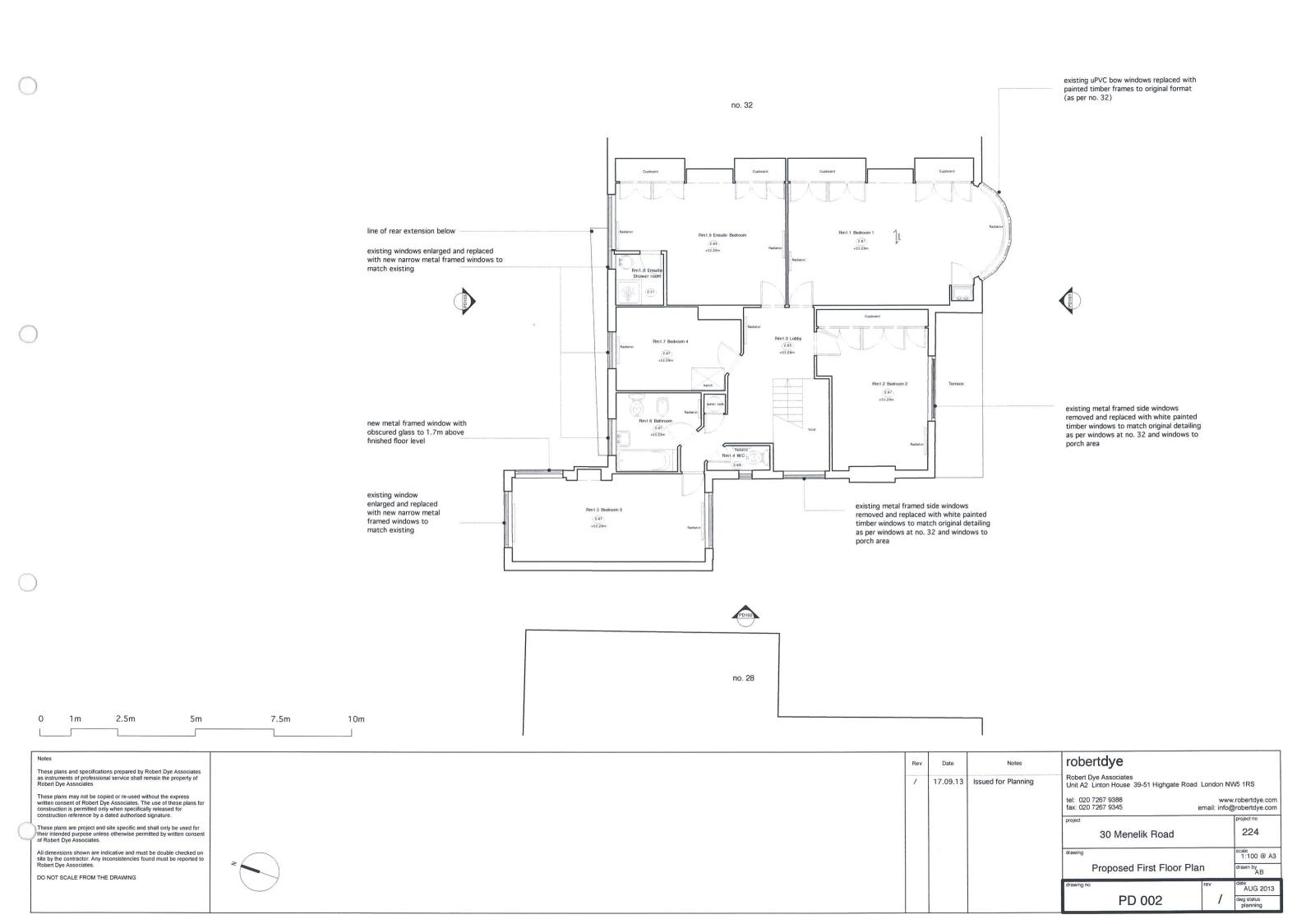
drawing

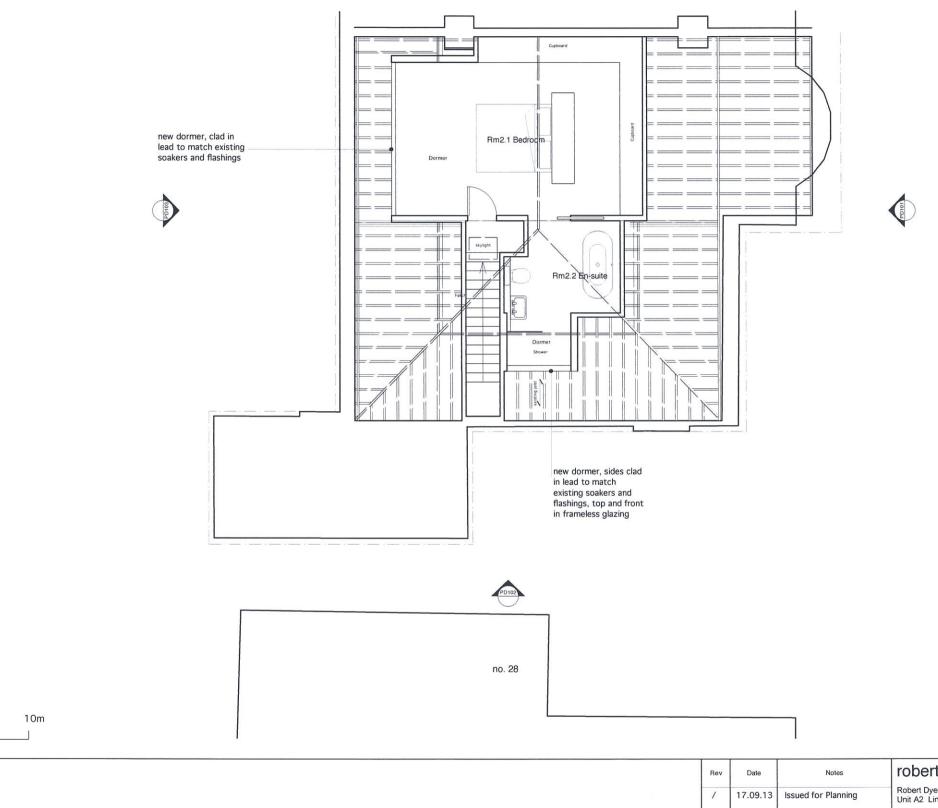
1:100@A3 Existing Rear Elevation drawn by KI

EX 103

Aug 2013 dwg status planning







1m

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2.5m

5m

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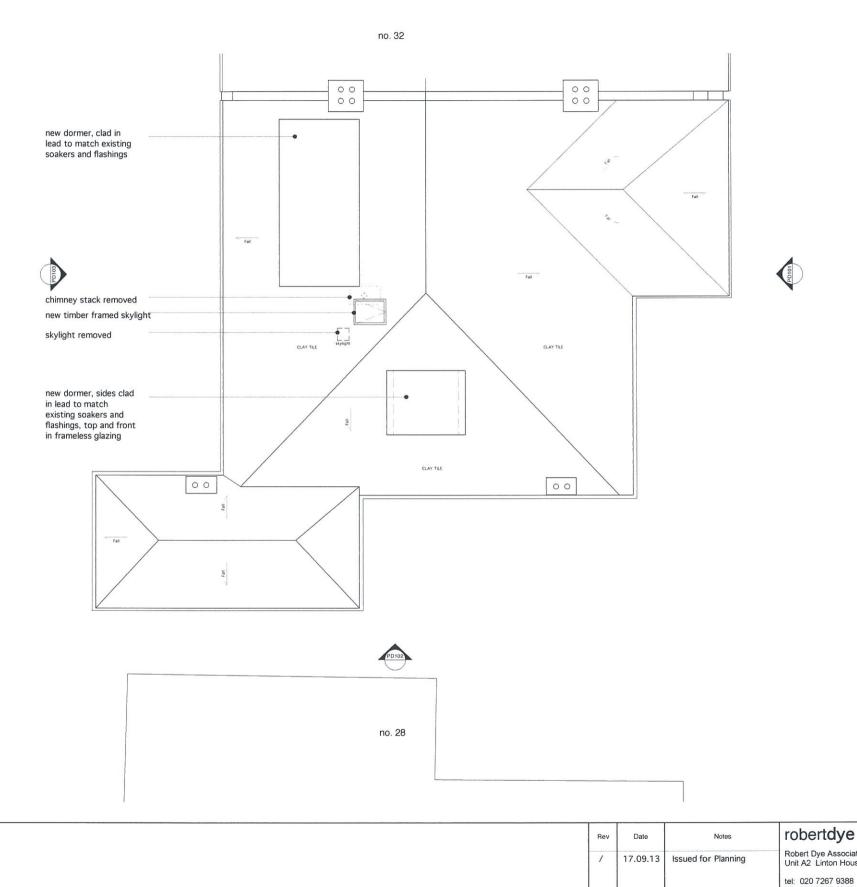
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			tel: 020 7267 9388 fax: 020 7267 9345	www.robertdye.c

e.com 224 30 Menelik Road scale 1:100 @ A3 drawn by AB

Proposed Loft Plan

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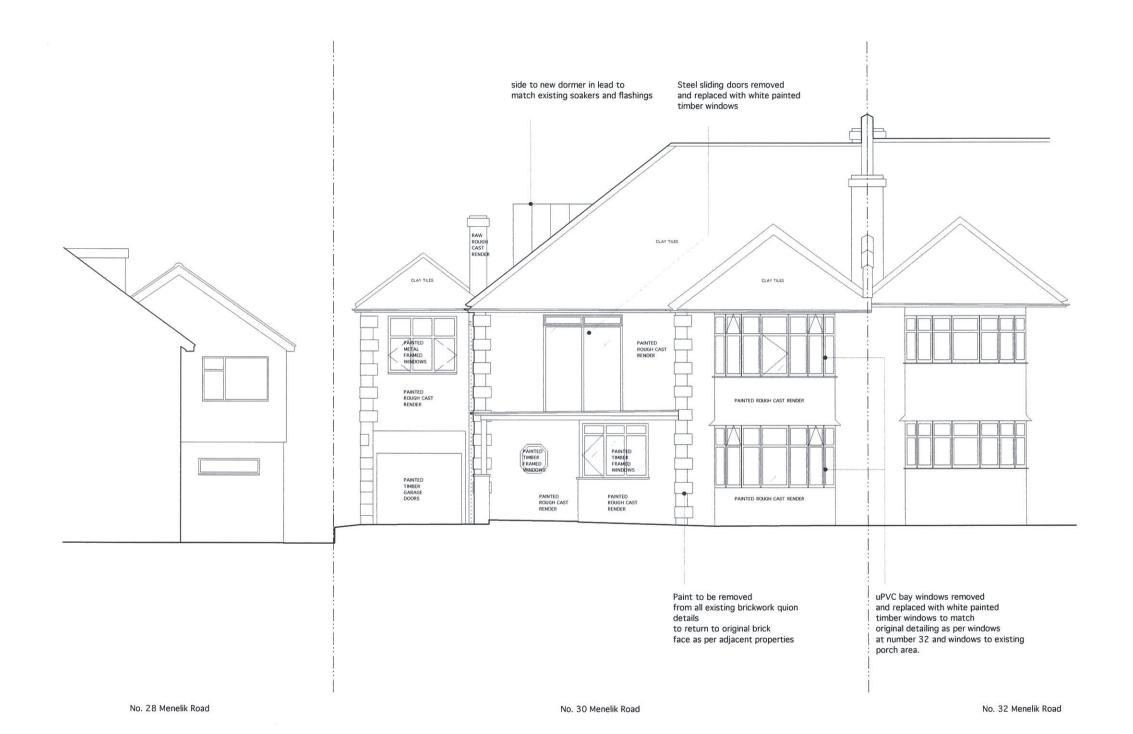
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1101	Date	140.00	Tobolitayo
/	17.09.13	Issued for Planning	Robert Dye Associates Unit A2 Linton House 39-51 Highgate Road London NW5 1RS
			tel: 020 7267 9388 www.robertdys

www.robertdye.com email: info@robertdye.com 30 Menelik Road

224 1:100 @ A3 Proposed Roof Plan drawn by AB

> AUG 2013 PD 004 dwg status planning



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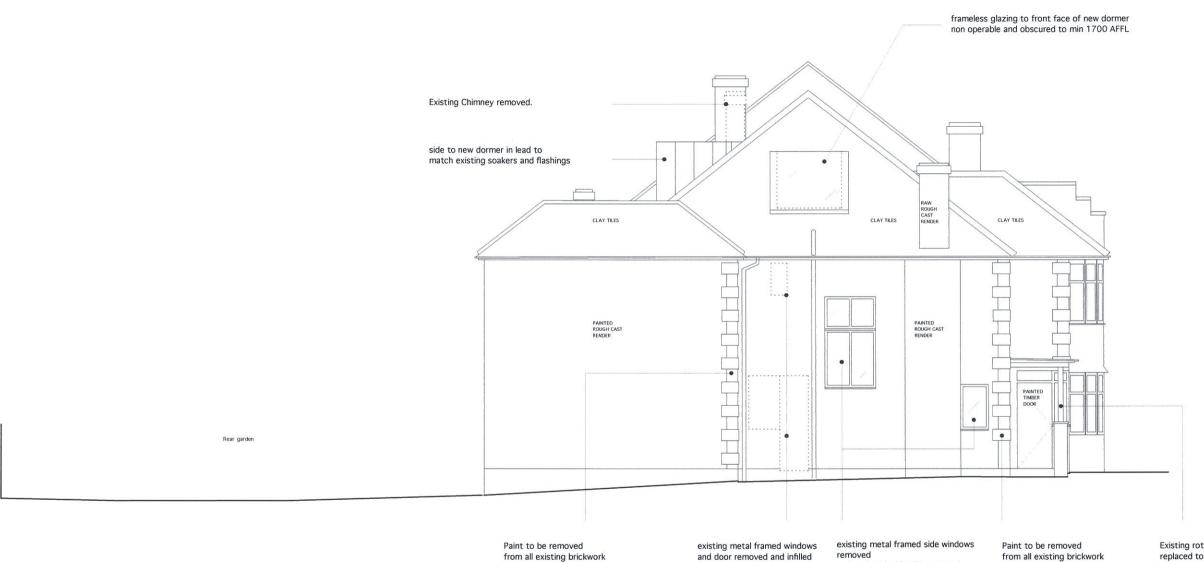
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tel: 020 7267 9388 fax: 020 7267 9345

0.7267 9388 www.robertdye.com 0.7267 9345 email: info@robertdye.com 30 Menelik Road 224

Proposed Front Elevation Scale 1:100@A3 drawn by KI

PD 101 / date Aug 2013 / dwg status glanging



quion details

to return to original brick

face as per adjacent properties

0 1m 2.5m 5m 7.5m 10m

and door removed and infilled removed and replaced with white painted with roughcast render to timber windows to match match adjacent

porch area.

from all existing brickwork quion details to return to original brick original detailing as per windows face as per adjacent properties at number 32 and windows to existing

Existing rotten timber post replaced to match

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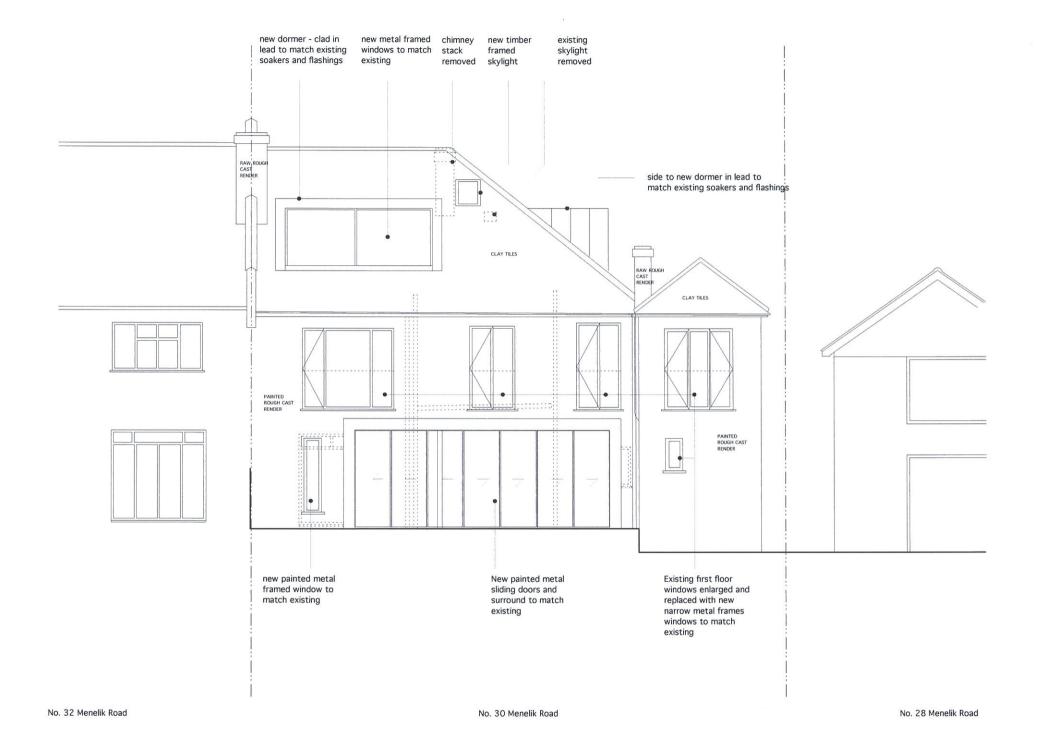
tel: 020 7267 9388 fax: 020 7267 9345

224 30 Menelik Road

Aug 2013

ale 1:100@A3 Proposed Side Elevation rawn by KI

PD 102 lwg status planning



1m 2.5m 5m 7.5m 10m

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awing scale 1:100@A3

Proposed Rear Elevation

PD 103

Aug 2013 dwg status planning

rawn by