

2.9 The bedroom and bathroom are in the basement. The bedroom (18sq m) has full height sliding doors (total area 5.98 sq m) on to the area to maximise natural light.

2.10 The two remaining basement rooms will continue to be used as storage rooms. Due to existing services shared with the rest of the building, these rooms will be kept locked and accessed by borough operatives only.

2.11 FLATS 3 AND 5: The remaining 4 flats are built beyond the curtilage of the main Crowndale block; only these two are identical. The building steps back from the boundary by 1.5m in order to safeguard the roots of the nearby sycamore and to create very attractive amenity space on both levels – a terrace at ground level, a balcony above. These are enclosed at the street end by louvres set, like the railings for Flat 2, perpendicularly to reduce the view in but to allow the view out.

2.12 Both flats have two bedrooms (11.7 & 10.95 sq m) and the K/L/D is 26.9 sq m.

2.13 FLAT 4: The windows of this flat are on the amenity space on the Chalton St elevation. Those to the bedrooms (11.5 & 7.65 sq m) are treated as single punched openings; the K/L/D (29 sq m) by contrast has doors and windows in a full height glazed screen. The low wall along the pavement line is topped by a railing to safeguard privacy.

2.14 In addition the K/L/D has a long, high level, slot window onto Goldington Crescent.

2.15 FLAT 6: A further step back in part of the first floor central section of the Chalton St elevation creates a roof terrace which opens off the K/L/D (32 sq m) via a glazed screen opening on to the terrace. There is also a horizontal window facing the street.

2.16 The two bedrooms, on the Goldington Crescent side, overlooking the main entrance, are 12.3 & 8.6sq m.

### **3.0 ARCHITECTURAL AND TOWNSCAPE DESIGN CONSIDERATIONS**

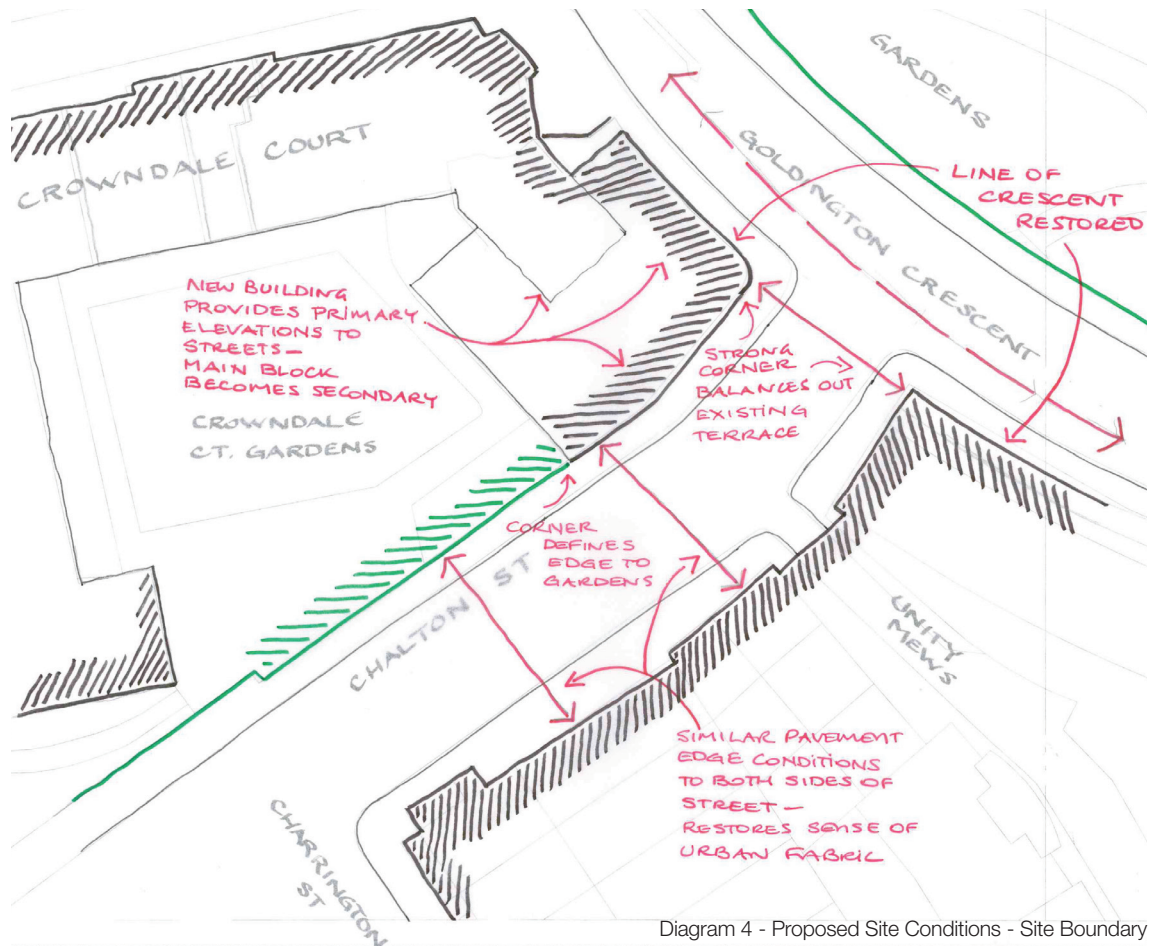
3.1 The design of the building is a conscious attempt to bridge the gaps between several diverse conditions, identified above, that exist when newer larger scale buildings are introduced into the fabric of smaller scale terraced streets.

3.2 The new building is built out to the pavement line on both Goldington Crescent and on Chalton Street, which ties it in with the original fabric of the street and, architecturally, provides a strong corner to balance out that at the end of the original Crescent houses.

3.3 As noted above, the presence of the taller block above the pub has a dominant effect on the street. This will be mitigated by the new smaller scale building screening these upper floors and making them less prominent.

3.4 The combination of reinforced street frontage, emphasised street corner and the toning down of the visual impact of the taller block will strongly enhance the setting of the crescent of Listed Buildings. The new building will correspond with the general massing of Unity Mews to respect the primacy of the original listed terrace within the composition of the street.

3.5 The new building introduces to the north side of Chalton Street elements identified above that give the south side its architectural and townscape interest. The loose, indeterminate spaces are removed, replaced with an elevation which restores the street line and defines the end of Crowndale Court gardens. There will be qualitative balance between both sides of Chalton Street.



3.6 The taller, 2 storey section of the new building is achieved by blocking one of the two windows to the living room of the ancillary flat. This window currently looks over the flat roof of the pub. Its cill is about 200mm above the asphalt, and the parapet around the roof is just over half the height of the window. The view is less than enticing, so the tenants keep the drapes shut all day.



Obstructed View. Window to existing flat, to be blocked

3.7 The second window opens onto the Crowndale Court garden. It is 1.84 sq m, and the room is 17.9 sq m, so as a single window it conforms the Building Regulations.

3.8 This window is currently easily accessed from the main roof of the pub by would-be intruders climbing up from the street side. The additional story will close off this route.

3.9 Similarly the ease of access to the Flat 7 windows overlooking Goldington Crescent will be limited by the increased size of the building, and the improvement in passive surveillance of the street. The distribution of windows round the elevations mean that the immediate environs of the new building can be discreetly overseen by the residents.

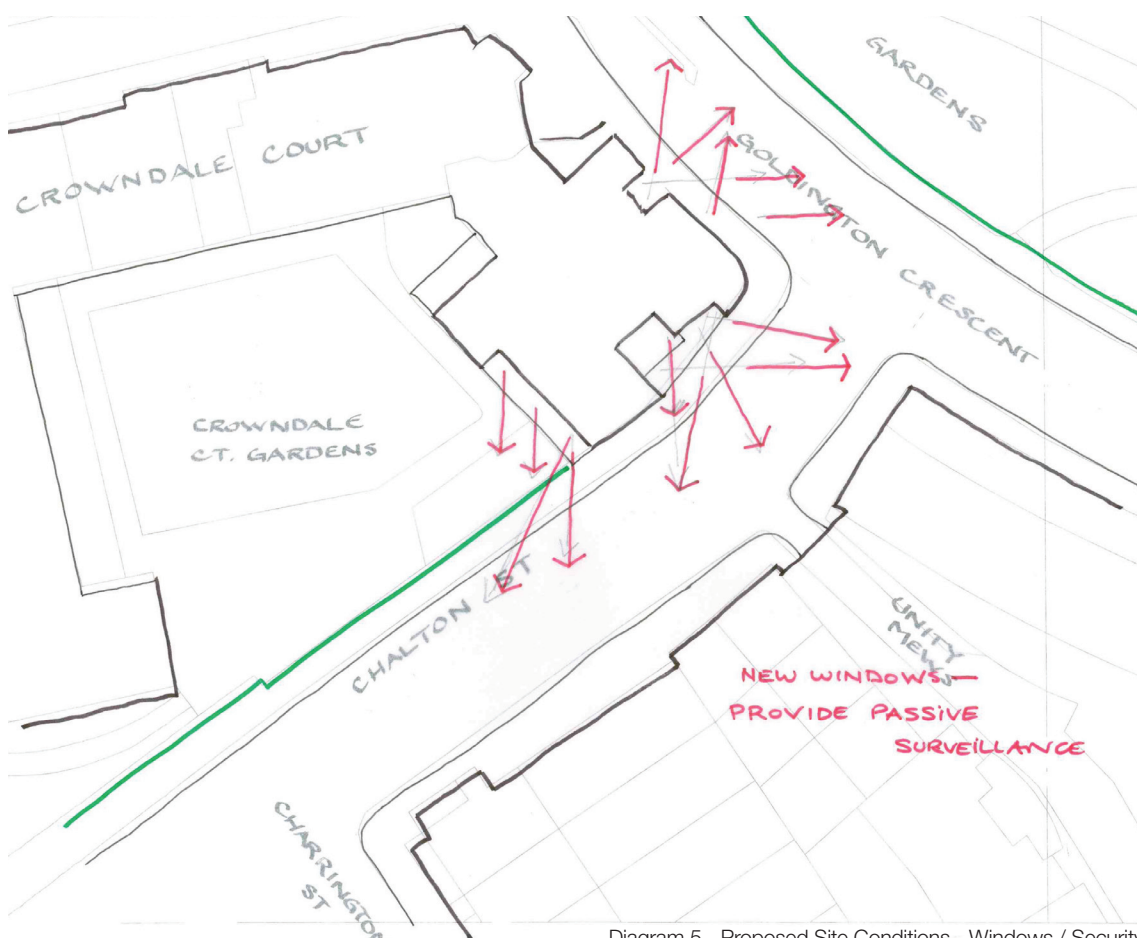


Diagram 5 - Proposed Site Conditions - Windows / Security

3.10 The amenity spaces provide open spaces around the perimeter of the building for five of the six flats.

3.11 The terrace to Flat 4 provides a secure zone for the rooms by setting the windows away from the street edge by 1.5 metres. The low wall and railings provide further security. The pavement in front begins to rise up Chalton St. The differentiation between internal floor level and external grade lends further distinction to the separation between public and private.

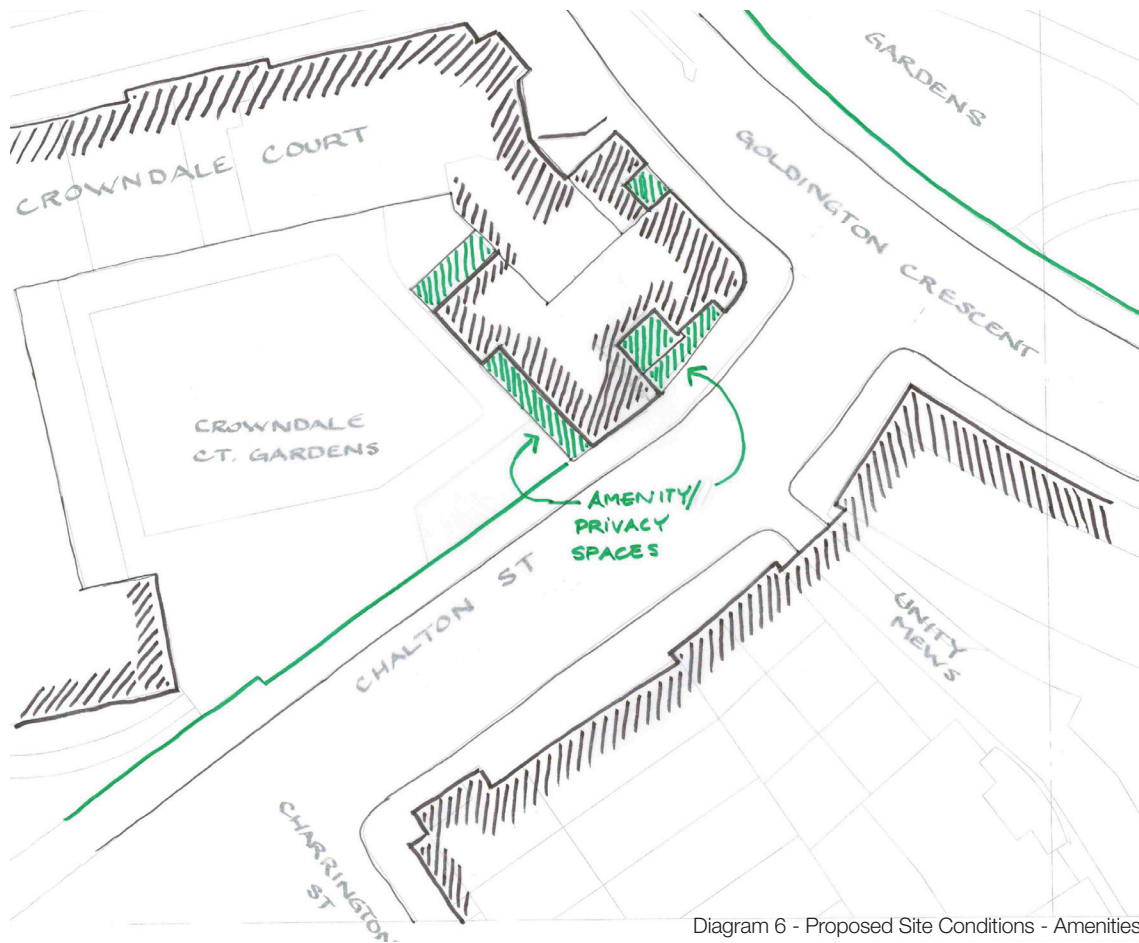


Diagram 6 - Proposed Site Conditions - Amenities

3.12 The elevations that wrap the building are strongly modelled. On Goldington Crescent the step between the one and two storey sections interlocks with the recess, which is composed of the external entrance under the overhang and the front area around which Flat 2 is wrapped.

3.13 The interlocked, recessed surfaces and evident entrance combine to create an elevation that actively engages with the street on the one hand, and its context on the other.

3.14 This continues on the Chalton Street elevation which is modelled to express the volume of the flats behind it. It shelves back firstly at ground and then at first floor to the wall that encloses the entrance hall. The building plan of two asymmetrical parts can be identified from the street. It emphasises the corners as the two bookends, further extending the analogy referencing the ends and corners of the street to the building itself.

3.15 The elevation to Crowndale Court gardens is of a different character. Its Northern half is largely solid and steps down to the translucent screens that enclose the patio of Flat 1. The Southern half, towards Chalton Street, is largely open. In contrast to the railings to the street, here the painted steel hand rails frame polished glass spandrels, so the view over the gardens can be fully enjoyed from inside. The balcony will, like the handrail and uprights, be made up in painted mild steel, with a mesh walkway surface to reduce shadowing the ground floor terrace.

## 4.0 LIFETIME HOMES

4.1 The building fulfils all 16 criteria for Lifetime Homes where relevant:

- 4.2 Criteria 1 & 2: Provision of 2 on-site parking bays with width exceeding 3300mm and length exceeding 4800mm.
- 4.3 Criterion 3: Approach to all entrances shall be level or gently sloping.
- 4.4 Criterion 4: The entrance shall be illuminated, have a level access over the threshold and have a clear opening width of 800mm and over the 300mm required internally for a pull zone. It will have adequate weather protection (entrance recessed into building).
- 4.5 Criterion 5: Communal stairs feature uniform rise and going conforming to the dimensions required by the Lifetime Homes guide. All handrails extend 300mm beyond the top and bottom and are 900mm high from each nosing. Step nosings are distinguishable through contrasting colours / brightness. And all risers are closed.
- 4.6 Criterion 6: All corridors are at least 900mm wide. All doorways are minimum 800 door leaf, with a minimum 300 nib on the pull side.
- 4.7 Criterion 7: There is turning space for a wheelchair in living & dining areas and elsewhere.
- 4.8 Criterion 8: There is living space on all entrance levels for all flats.
- 4.9 Criterion 9: There is a bedroom at the entrance level of all flats except flat 2 where the large living area could be used as a temporary bed-space, screened off with portable screens.
- 4.10 Criterion 10: The entrance level has an accessible WC compartment which conforms with the dimensions required by the Lifetimes Homes guide in all flats except Flat 2.
- 4.11 Criterion 11: All bathroom walls shall be capable of firm fixing and support for adaptations such as grab rails.
- 4.12 Criterion 12: The stair in Flat 2 will have a clear width of 900mm and be so designed to allow the installation of a chair lift.
- 4.13 Criterion 13: Structure above the main bathrooms and bedrooms shall be capable of supporting ceiling hoists and there is a reasonable route between bedroom and bathroom in all flats.
- 4.14 Criterion 14: The accessible bathrooms are sized in accordance with the requirements of Criterion 14 and shall be detailed to suit.
- 4.15 Criterion 15: The windows of the principal living spaces allow people to see out when seated.
- 4.16 Criterion 16: Service controls shall all be within a height of 450 to 1200mm AFFL and at least 300mm away from any corner.