

NEW FLATS AT 17 GOLDINGTON CRESCENT, NW1 1UA

DESIGN AND ACCESS STATEMENT

MADOC ARCHITECTURE

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1.0 EXISTING CONDITION & LOCAL CONTEXT

1.1 The site is located at the south-eastern end of Crowndale Court, a local authority housing block built in the late 1940s or early 1950s. It consists of a building, formerly the Prince Albert pub, and a narrow strip of land around it. About one third of the building extends below the block.

1.2 Crowndale Court forms a strong street frontage on Crowndale Road. It is roughly “C” shaped in plan, and encloses a large area of garden to the rear. One long side of this garden is flanked by Chalton St. The garden is principally a large area of lawn with mature trees and overgrowth around the perimeter.

1.3 The housing block is built as a concrete frame with 13” infill (assumed) solid brick walls. Examination of the pub structure shows that it was built after the main building frame was erected. It is faced with different bricks, although the walls are similarly 13” thick; its roof is beam and block construction.

1.4 The site is on the corner between Goldington Crescent and Chalton St. The pub itself lacks any architectural merit. It is a plain box parked partly under the main block, its overall form and volume do nothing to contribute to Crowndale Court. It also contributes little to the immediate urban context.

1.5 Much of the local area was rebuilt after WW2. A common weakness of redevelopments of this period is that they are set back from the road, which takes away how the character of a street is read. The effect on Goldington Crescent is a case in point: the central section of original houses remains, but it is awkwardly isolated. The buildings at either end do not follow the pavement line on either the crescent, the two junctions that come into it, or the two ends.

1.6 The buildings at both ends fail to provide “bookends” that would otherwise mean that the street would read as a crescent.

1.7 A consequence of this is that the taller parts of the buildings at both ends are dominant and add to the problems caused by the lost street line by drawing the visual emphasis away from pavement level.

1.8 The south side of Chalton Street is a good example of how the simple formula of keeping to the street line creates urban character: it reads as a complete urban block. The pub by contrast – low and set back, means there is no bookend to the corner, and the integrity of the north side of the street is much weaker than the south.

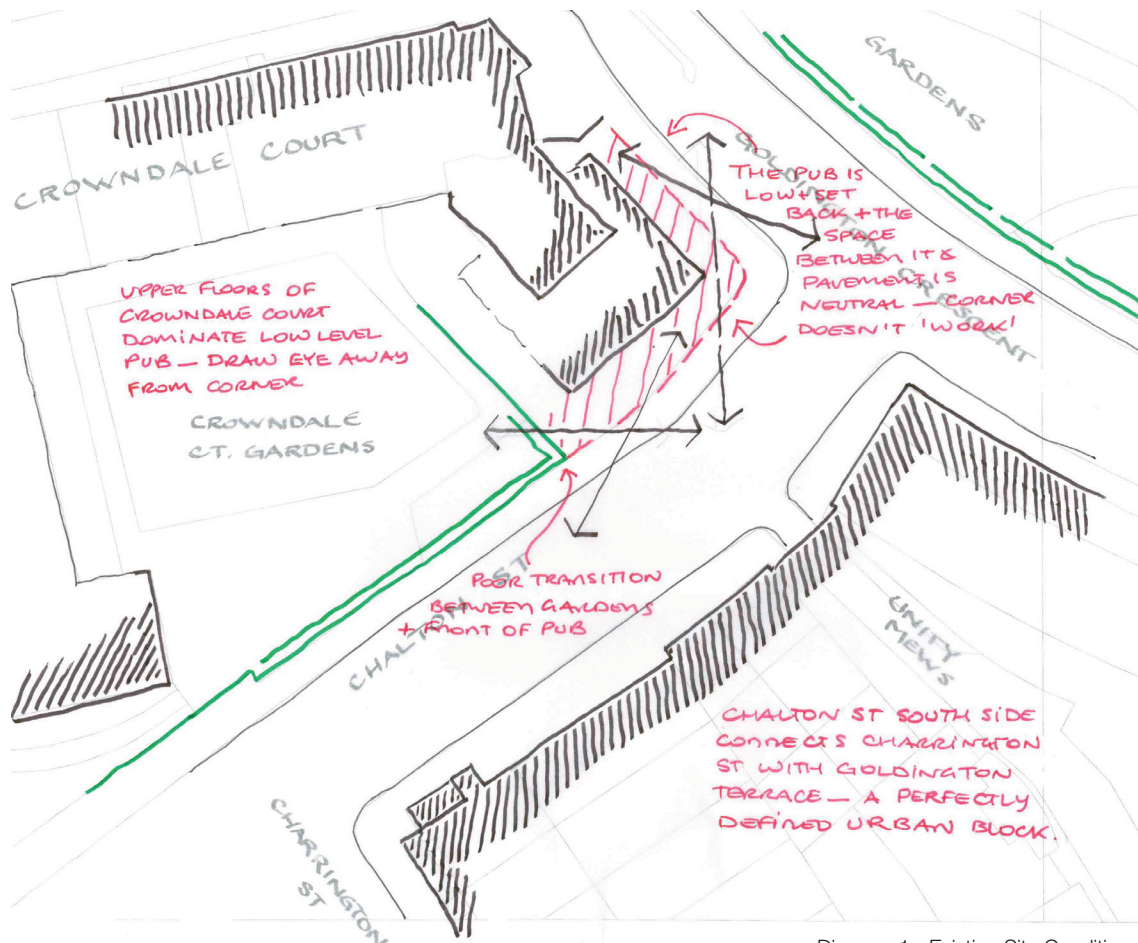


Diagram 1 - Existing Site Conditions

1.9 What makes up the south side of Chalton Street are the gable ends of Goldington Crescent, and Charrington St and the recently added Unity Mews, all built on, or very close to the pavement line. All of these are linked by the garden walls and railings between. The urban block they form can clearly be read, and this gives this side of the street its character.

1.10 The railings to Crowndale Court gardens have similar attributes, being built on the pavement line and backed up with overgrowth and a screen of trees. The effect peters out at the junction with the pub, due to the indeterminate nature of the space which surrounds it.

1.11 The problem with the curtilage is well illustrated by the existing planning permission, which converts the pub into three flats. It fails to carve from it any form of attractive or defensible space that would benefit either the new residents or the streetscape.

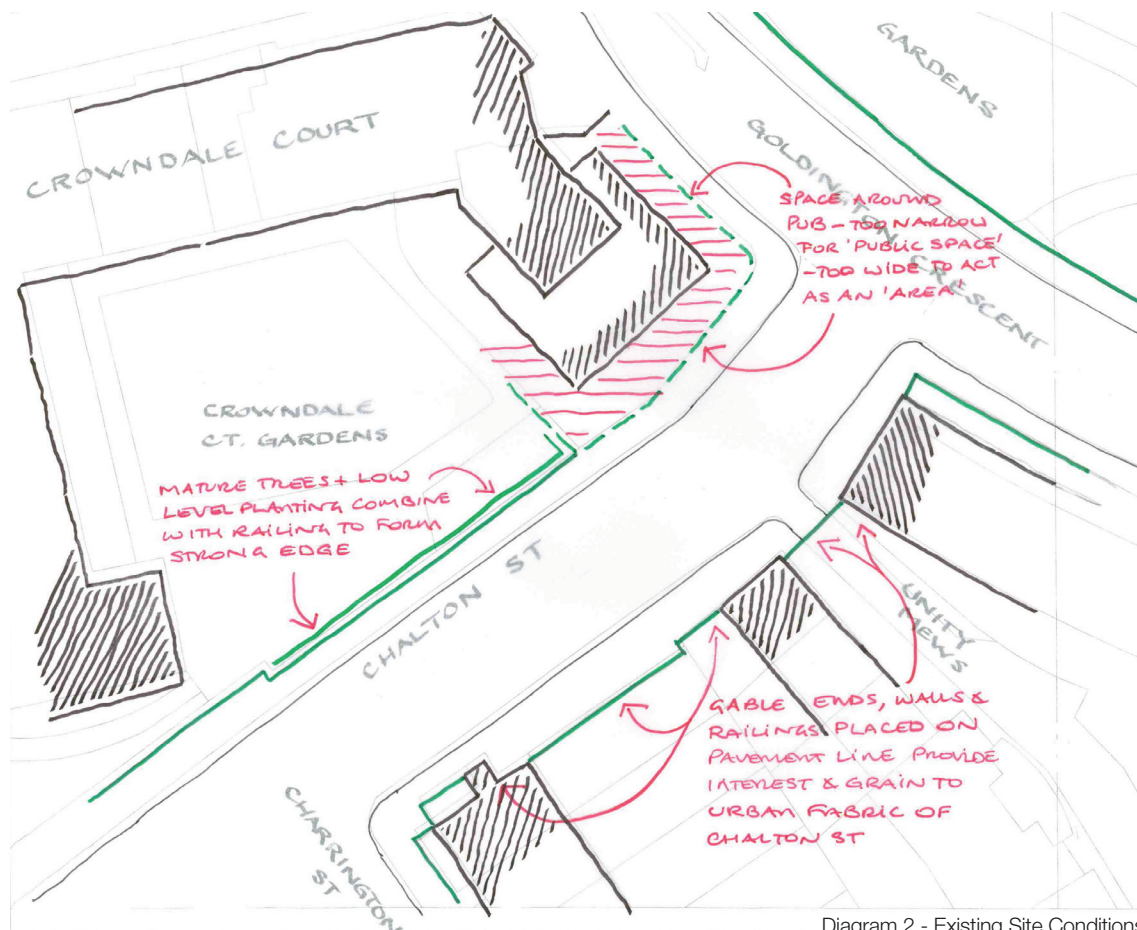


Diagram 2 - Existing Site Conditions

1.12 In addition to the ground floor space in the pub, there is a small three room basement that provided tap room and plant space shared with the block of flats above. There is a delivery shaft which extends between the ground floor wall and the pavement to the Crescent. It is covered by a steel lift-up access cover. The two rear rooms in the basement have small windows opening on to a small area for ventilation.

1.13 There is also a flat at first floor within the block. This was ancillary to the pub for the use of the landlord. This has three bedrooms and its own separate access from the external space to the south-west of the building.

1.14 There are two trees on the property, on the south-west boundary. These have been examined by Barrell Treecare, who confirm that they do not form an impediment to development. The sycamore in the adjacent communal gardens is of high standard. An air spade examination trench has been formed to inspect the extent to which roots from the tree encroach into the site. The implications for the foundations and the building are covered in the accompanying Barrell Treecare report.

2.0 PROPOSAL

2.1 The proposal is demolish the pub and build a new block of 6 flats. As in the previous permission, a separate entrance will be created for the self-contained first floor flat, this time opening directly onto Goldington Crescent. The flat will be refurbished but otherwise will receive little alteration.

2.2 Entry to the new block is located on Goldington Crescent. A secure gate opens on to an external space which is sheltered by the overhang of flat 6. Here there are lockable sliding doors to the bicycle store, in which the bikes are locked onto proprietary hangers.

2.3 The front door opens on to a short corridor which leads to a central hall off which all the flats are accessed.

2.4 FLAT 1: Created by extending the building line to the site boundary, the Kitchen/Living /Dining Room (K/L/D) (25.4 sq m) opens onto a patio garden (10.75 sq m). This is separated from the gardens of Crowndale Court with obscure translucent screens which will provide privacy, maximise daylight, mitigate the sense of enclosure and prevent any risk of overlooking the distant ground floor units of Crowndale Court.

2.5 The bedroom (17.3 sq m) will have three windows: the cills of the two which look out over Crowndale Court garden will be lowered to 750 AFFL; the window on the angled wall will feature obscure glazing to ensure no overlooking. The third window is currently a solid door which will be glazed to create a French door for access to the patio.

2.6 The wall on the site boundary will be the same height as existing to ensure no loss of view. The new roof will be raised so that in the new built part of the K/L/D there will be a 3m high ceiling; a large circular skylight will introduce plenty of sunlight throughout the day.

2.7 FLAT 2: This too is created by extending to the site boundary around the enlarged delivery chute. As with Flat 1, the new wall to the street is the same height as the existing so that the view out from Flat 7 is not impeded. Similarly the roof will be raised so the new built section of the K/L/D (34.7 sq m) will have a 3m ceiling. The glazing around the two sides of the new area will also be 3m, and further supplemented by a high level window to the street. This is set 2.2m above grade to ensure the residents' privacy. Architecturally, this is the most interesting room in the development – generously large, with a good sized kitchen and lots of windows for daylight.

2.8 The railings to the two sides of the area will be designed using flat steel sections fitted perpendicularly to limit the possibilities of overlooking.

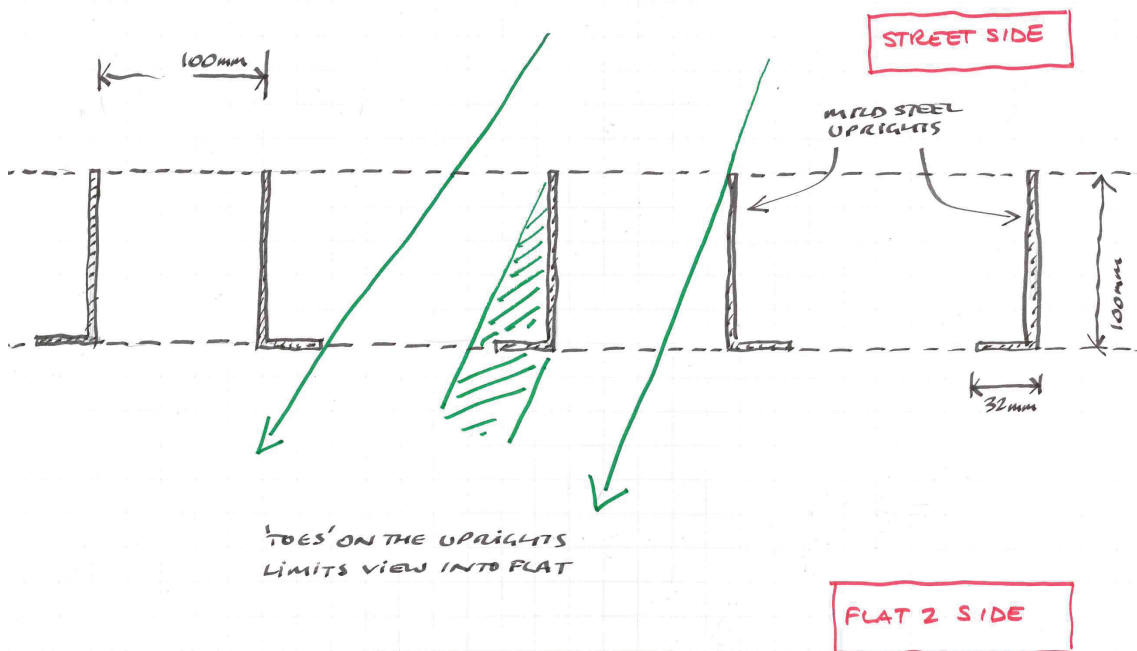


Diagram 3 - Railing Detail