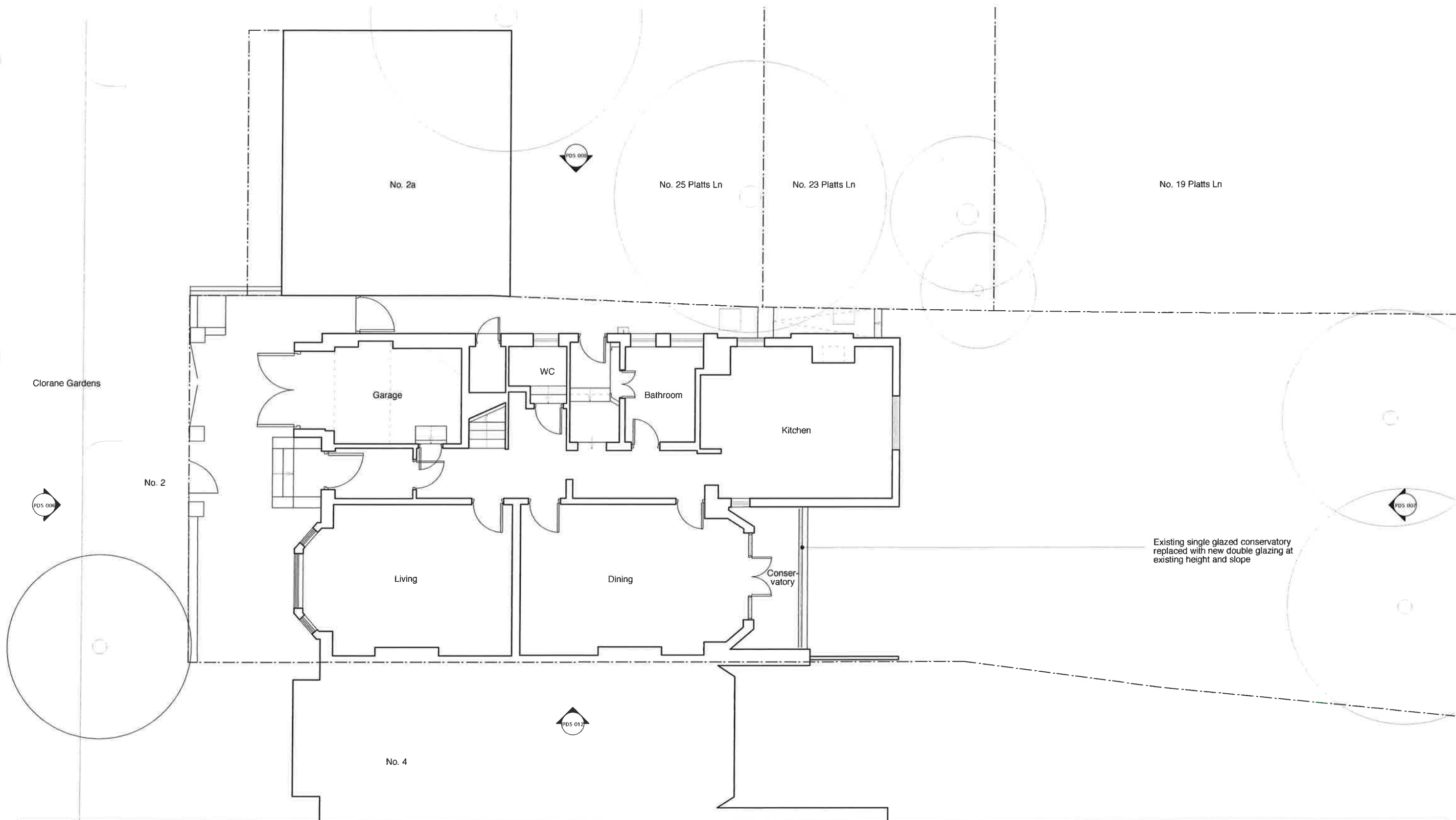


Certificate of Lawful Development, Ref.: 2013/0959/P, granted permission 18.02.2013 - Drawing List

Replacement conservatory at rear of existing dwellinghouse

Proposed Ground Floor Plan	PD5 002	1:100@A3
Proposed First Floor Plan	PD5 003	1:100@A3
Proposed Roof Plan	PD5 005	1:100@A3
Proposed Front Elevation	PD5 006	1:100@A3
Proposed Rear Elevation	PD5 007	1:100@A3
Proposed Side Elevation	PD5 008	1:100@A3
Proposed West Elevation	PD5 012	1:100@A3



**Notes**

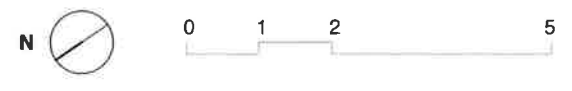
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**DO NOT SCALE FROM THE DRAWING**



**Planning Notes:**

For consented single storey extension & removed garage projection - See Planning Ref: 2012/3401/P

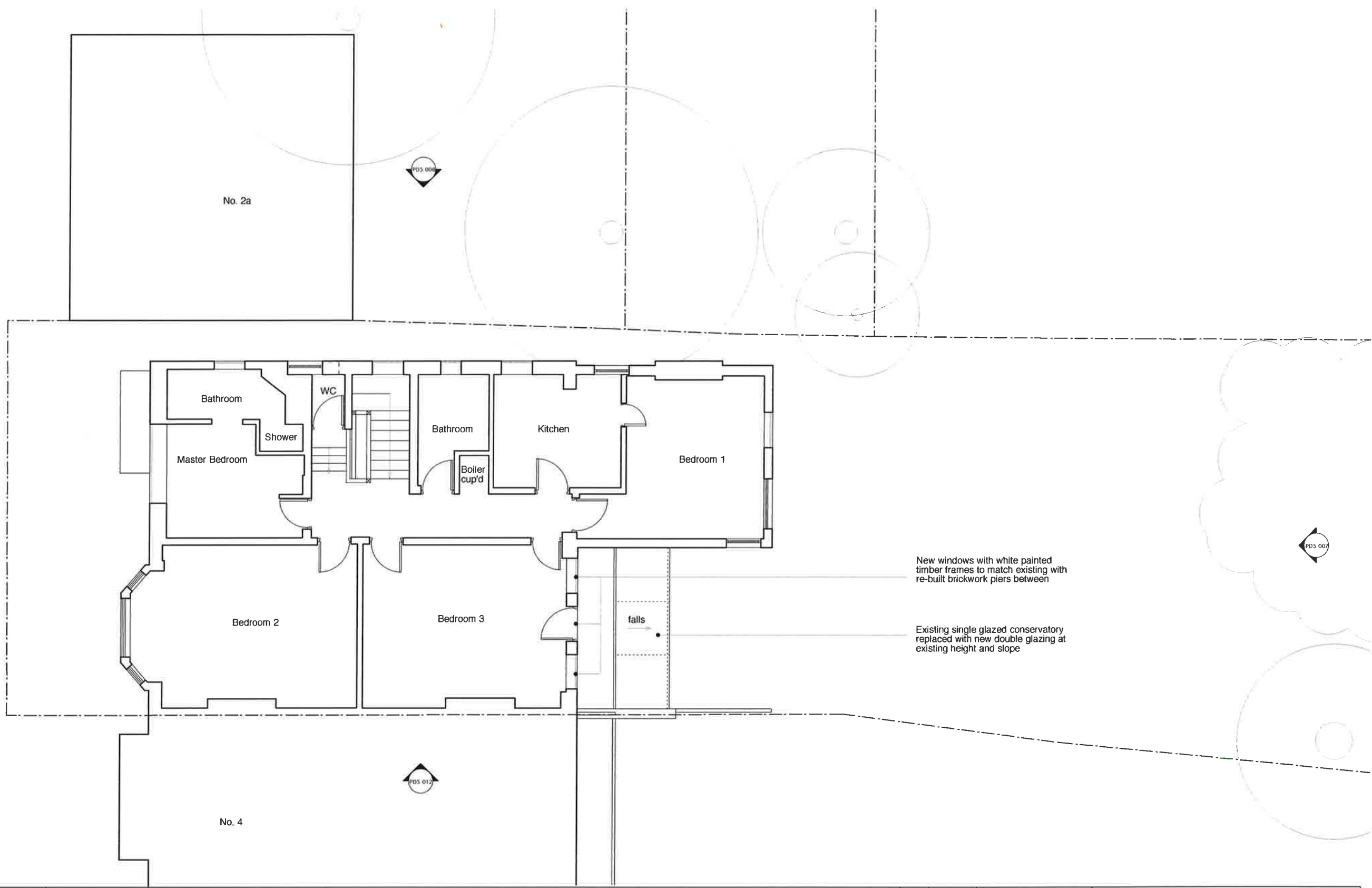
For consented incidental plant room - See Planning Ref: 2012/3821/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

**robertdye**  
 Robert Dye Associates  
 Unit A2 Linton House 39-51 Highgate Road London NW5 1RS  
 tel: 020 7267 9388 www.robertdye.com  
 fax: 020 7267 9345 email: info@robertdye.com

project	2 Clorane Gardens	project no	218
drawing	Proposed Ground Floor Plan	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 002	rev	/
		date	Feb 2013
		dwg status	PD



**Noles**

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**Planning Notes:**

For consented single storey extension & removed garage projection & balustrades - See Planning Ref: 2012/3401/P

For consented incidental plant room - See Planning Ref: 2012/3821/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

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project	2 Clorane Gardens	project no	218
drawing	Proposed First Floor Plan	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 003	rev	/
		date	Feb 2013
		dwg status	PD



New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.

New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.

Skylight



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**DO NOT SCALE FROM THE DRAWING**



**Planning Notes:**

For consented dormer -  
See Planning Ref: 2012/3401/P

For consented skylights -  
See Planning Ref: 2012/5619/P

Rev	Date	Notes

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project	2 Clorane Gardens	project no	218
drawing	Proposed Roof Plan	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 005	rev	/
		date	Feb 2013
		dwg status	PD

New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.



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DO NOT SCALE FROM THE DRAWING



**Planning Notes:**

For consented removal of garage projection & removal of paint from brickwork - See Planning Ref: 2012/3401/P

For consented basement extension - See Planning Ref: 2011/6239/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

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 fax: 020 7267 9345 email: info@robertdye.com

project	2 Clorane Gardens	project no	218
drawing	Proposed Front Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 006	rev	/
		date	Feb 2013
		dwg status	PD





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**Planning Notes:**

For consented single storey extension & blocked window -  
See Planning Ref: 2012/3401/P

For consented windows & skylights -  
See Planning Ref: 2012/5619/P

For consented incidental plant room -  
See Planning Ref: 2012/3821/P

Rev	Date	Notes

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project	2 Clorane Gardens	project no	218
drawing	Proposed Rear Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 007	rev	/
		date	Feb 2013
		dwg status	PD

New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.

New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.



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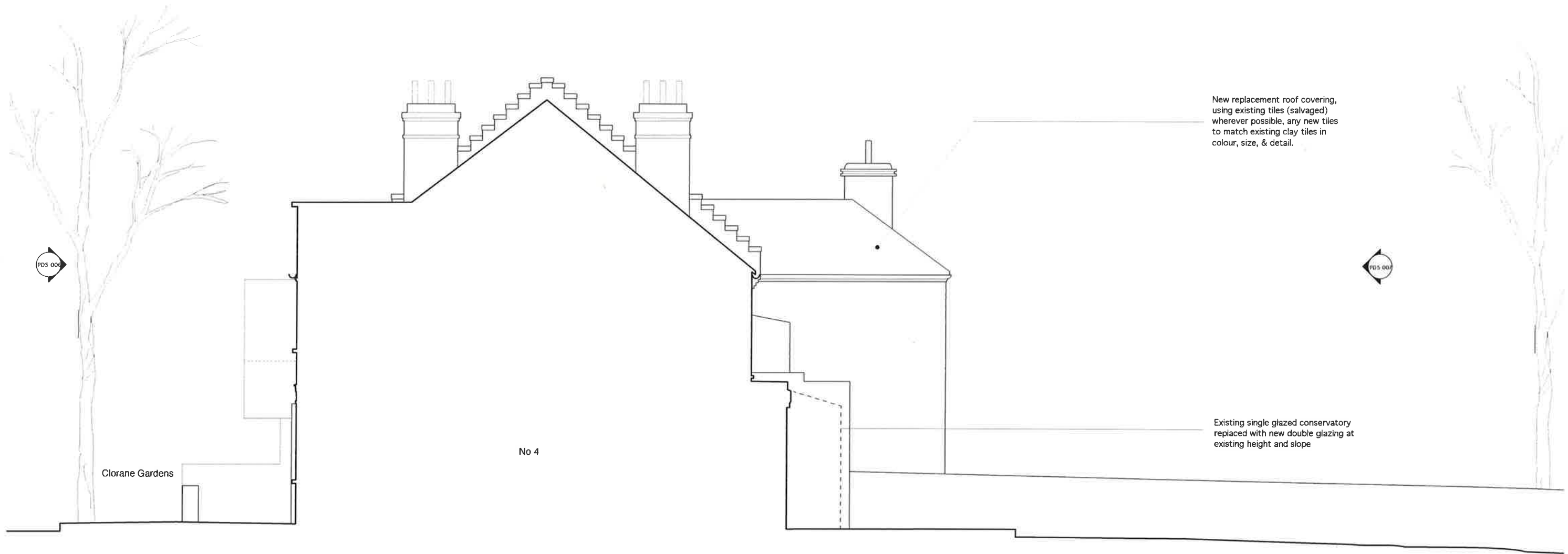
**Planning Notes:**

- For consented single storey extension, removal of garage projection & roof dormer - See Planning Ref: 2012/3401/P
- For consented windows & skylights - See Planning Ref: 2012/5619/P
- For consented incidental plant room - See Planning Ref: 2012/3821/P
- For consented basement extension - See Planning Ref: 2011/6239/P

Rev	Date	Notes

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project	2 Clorane Gardens	project no	218
drawing	Proposed Side Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 008	rev	/
		date	Feb 2013
		dwg status	PD



New replacement roof covering, using existing tiles (salvaged) wherever possible, any new tiles to match existing clay tiles in colour, size, & detail.

Existing single glazed conservatory replaced with new double glazing at existing height and slope

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**Planning Notes:**  
 For consented single storey extension & roof dormer - See Planning Ref: 2012/3401/P  
 For consented windows & skylights - See Planning Ref: 2012/5619/P  
 For consented incidental plant room - See Planning Ref: 2012/3821/P  
 For consented basement extension - See Planning Ref: 2011/6239/P

Rev	Date	Notes

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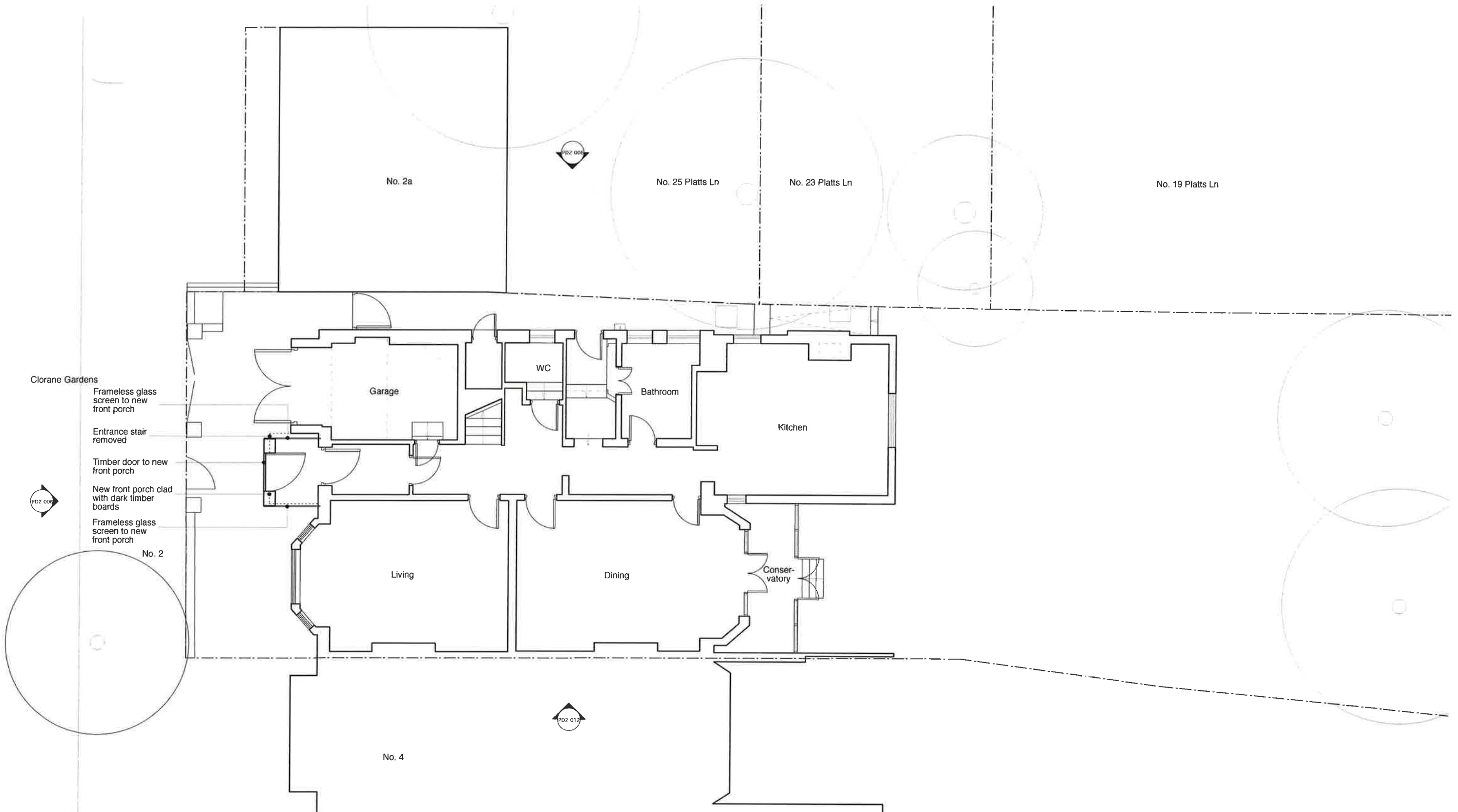
project	2 Clorane Gardens	project no	218
drawing	Proposed West Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD5 012	rev	/
		date	Feb 2013
		dwg status	PD



Certificate of Lawful Development, Ref.: 2013/0960/P, granted permission 18.02.2013 - Drawing List

Erection of front porch to existing dwellinghouse.

Proposed Ground Floor Plan	PD2 002	1:100@A3
Proposed First Floor Plan	PD2 003	1:100@A3
Proposed Front Elevation	PD2 006	1:100@A3
Proposed Side Elevation	PD2 008	1:100@A3
Proposed West Elevation	PD2 012	1:100@A3



Clorane Gardens

- Frameless glass screen to new front porch
- Entrance stair removed
- Timber door to new front porch
- New front porch clad with dark timber boards
- Frameless glass screen to new front porch

PD2 002

PD2 001

PD2 012

**Notes**

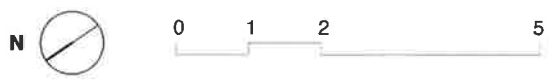
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**Planning Notes:**

For consented single storey extension & removed garage projection - See Planning Ref: 2012/3401/P

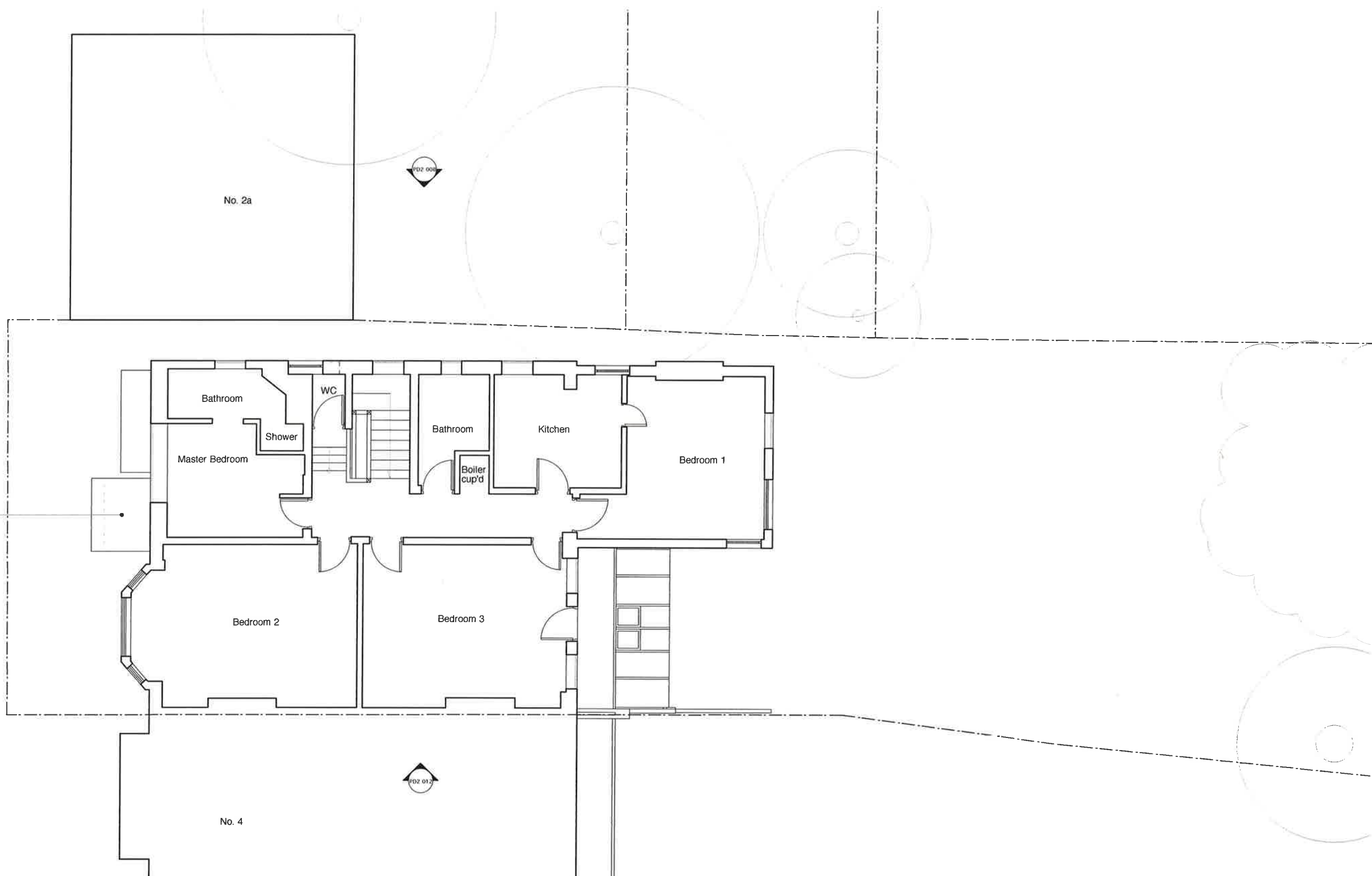
For consented incidental plant room - See Planning Ref: 2012/3821/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

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 fax: 020 7267 9345 email: info@robertdye.com

project	2 Clorane Gardens	project no	218
drawing	Proposed Ground Floor Plan	scale	1:100 @ A3
		drawn by	KI
drawing no	PD2 002	rev	/
		date	Feb 2013
		dwg status	PD



Glass roof to new front porch



**Notes**

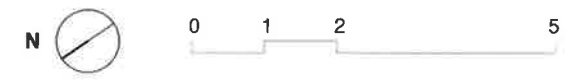
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**Planning Notes:**

For consented single storey extension & removed garage projection & balustrades - See Planning Ref: 2012/3401/P

For consented incidental plant room - See Planning Ref: 2012/3821/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

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tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project	project no
2 Clorane Gardens	218
drawing	scale
Proposed First Floor Plan	1:100 @ A3
	drawn by
	KI
drawing no	date
PD2 003	Feb 2013
rev	dwg status
/	PD



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**Planning Notes:**

For consented removal of garage projection & removal of paint from brickwork - See Planning Ref: 2012/3401/P

For consented basement extension - See Planning Ref: 2011/6239/P

For consented windows & perforated brickwork - See Planning Ref: 2012/5619/P

Rev	Date	Notes

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tel: 020 7267 9388	www.robertdye.com
fax: 020 7267 9345	email: info@robertdye.com
project	project no
2 Clorane Gardens	218
drawing	scale
Proposed Front Elevation	1:100 @ A3
	drawn by
	KI
drawing no	rev
PD2 006	/
	date
	Feb 2013
	dwg status
	PD





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Planning Notes:

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For consented windows & skylights - See Planning Ref: 2012/5619/P

For consented incidental plant room - See Planning Ref: 2012/3821/P

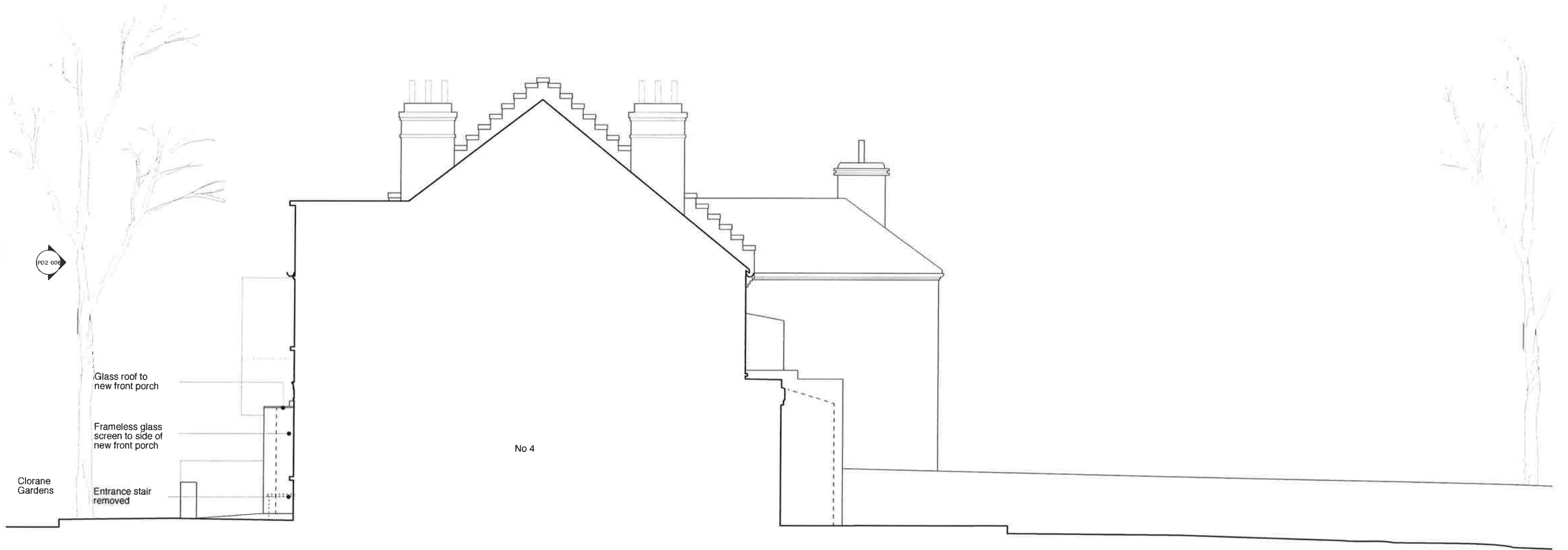
For consented basement extension - See Planning Ref: 2011/6239/P

Rev	Date	Notes

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 tel: 020 7267 9388 www.robertdye.com  
 fax: 020 7267 9345 email: info@robertdye.com

project	2 Clorane Gardens	project no	218
drawing	Proposed Side Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD2 008	rev	/
		date	Feb 2013
		dwg status	PD





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For consented windows & skylights - See Planning Ref: 2012/5619/P

For consented incidental plant room - See Planning Ref: 2012/3821/P

For consented basement extension - See Planning Ref: 2011/6239/P

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 fax: 020 7267 9345 email: info@robertdye.com

project	2 Clorane Gardens	project no	218
drawing	Proposed West Elevation	scale	1:100 @ A3
		drawn by	KI
drawing no	PD2 012	rev	/
		date	Feb 2013
		dwg status	PD

