

**A180_DOC_001_ Planning, Design & Access Statement
Construction of basement and alterations to glazing and extensions
at ground and lower ground floors**

Revision 31/10/13 Planning Approval Submission



DESIGN AND ACCESS STATEMENT

SITE

Flat 1
15 Wedderburn Road
LONDON
NW3 5QS

APPLICANT

Mr D Wagner
Flat 1
15 Wedderburn Road
LONDON
NW3 5QS

LEAD DESIGNER

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LOCAL AUTHORITY

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1 INTRODUCTION



fig 1.1
Site Location Plan

2 SITE APPRAISAL

- ## 2.1 Location
- 1 The property is at the west end of Wedderburn Road on the corner with Akenside road.
 - 2 The site lies within the Fitzjohns/Netherhall Conservation Area.
 - 3 The site itself is not listed but is noted in the conservation area statement as a property which makes a positive contribution to the conservation area.

- 1 This Statement is to be issued in accordance with the Town and Country Planning Act and is in support of a planning submission to be made for 15 Wedderburn Road.
- 2 This submission is to seek permission in accordance with the guidelines laid out by the London Borough of Camden Planning department for permission for the construction of a basement and alterations to the ground and lower ground floors (unit 1).
- 3 There are two other flats within the building, unit 2 on the first floor and unit 3 on the second floor which are not the subjects of this application.
- 5 This proposal has been sensitively considered to address the character of the conservation area creating new areas in keeping with the neighbourhood and removing and replacing areas identified as poor quality or detrimental to the area.
- 3 The proposal will optimise the use and sustainability of the site through the provision of additional habitable space, modernisation of the building fabric and improvements to external amenity spaces.
- 4 High-quality design & construction will compliment and enhance the character of the area whilst the use of contemporary construction techniques to greatly improve environmental performance.
- 6 This document should be read in conjunction with the drawings and reports submitted with this application.



2 SITE APPRAISAL

2.2 Physical Context

- 1 Wedderburn Road is characterised by large red brick mansion houses and flats with white framed timber windows and large, gabled, roofs.
- 2 A number of properties are listed including the properties immediately east of the site (Nos 11-13 Wedderburn Road) which are two Grade II listed semi-detached properties.
- 3 The other adjacent property, to the south, 7 Akenside Road, is a single storey building which takes up the majority of the plot and sits immediately adjacent to the rear garden of No. 15 Wedderburn Road.
- 4 The character and appearance of properties to Wedderburn Road with a range of styles, scales and ages of building.

- 5 The boundary treatments along Wedderburn Road are generally brick walls with planting. There is also some remaining metalwork and some timber has been introduced.
- 6 The Wedderburn Road boundary to the site has a tall brick wall which is a continuation of the boundary wall on Akenside Road. This wall has a considerable amount of overhanging planting.
- 7 The site also has a front lightwell which is uncharacteristic of the area.
- 8 The parking and garage to the site are identified in the conservation area statement as detrimental to the area.
- 9 Other properties on the street have more attractive off-street parking. Perhaps the best examples are 3-5, which have far larger, attractive areas of parking with a sense of openness which benefits the street with increased views and light. They are also enhanced by the use of gravel rather than brickwork which softens the area.

- 10 None of the neighbours have windows facing directly towards the house or the garden.
- 11 The levels of the site vary by a storey from the North to the South due to the steep gradient of Akenside Road. Combined with the trees and garden wall this hides most of the rear of the dwelling from the street.

2.3 ACCESS

- 1 15 Wedderburn Road has 5 no offstreet parking spaces used by the 3 units. This unit has 2 of the off street parking spaces in a double garage and 2no. on-street parking permits on Wedderburn Road.
- 2 The unit is accessed by a gate adjacent to the garage. Access to properties on the street is predominantly directly from the pavement.
- 3 Unit 2 is accessed over the garage and unit 3 has an a front door by it's forecourt on the West of the site.

fig 2.1
Aerial View from the North



fig 2.2
Aerial View from the South



fig 2.3
Aerial View from the West



2.4 Layout

- 1 The existing property is set over the lower-ground, upper-ground, first and second floor levels, and has been subdivided in the past to form three self contained flats.
- 2 This application relates to the lowest unit (unit 1), a 3 bed dwelling set across the ground and lower ground floors.
- 3 Access to the unit is through a gate to the off-street parking to the west of the site adjacent to the garage.
- 4 The 3 bedrooms are distributed across both floors at front and rear with one only receiving north light from the front lightwell.
- 5 Living, kitchen and home-office spaces are at ground floor.
- 6 There is a swimming pool to the lower ground floor.
- 7 There is an existing terrace at ground floor level.

fig 2.4.1
Sectional Diagram

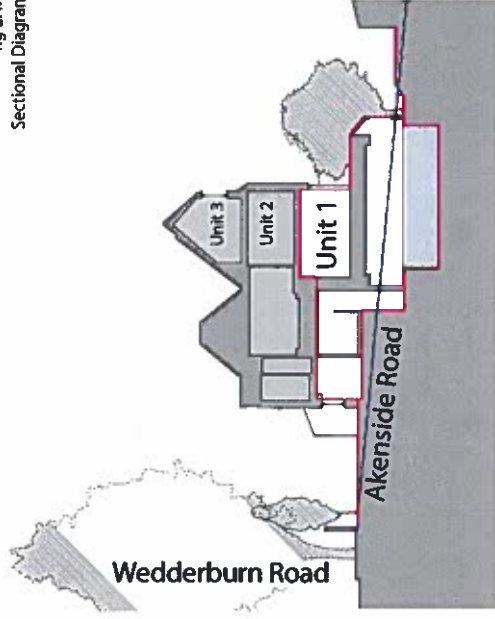


fig 2.4
Rear elevation of the site from Akenside Road



fig 2.5 Wedderburn Road, Front elevation of the site



fig 2.6
Metalwork, brickwalling and planting to 11 Wedderburn Road



fig 2.7
View of Parking to 3 Wedderburn Road



fig 2.8
Garage, bins and staircase



2.5 Historic Alterations

- 1 Several non-original alterations detract from the quality of both the streetscape and property.
- 2 The prominent garage, which is sited forward of the existing building line, obscures the property. The steel cantilevered staircase (providing access to unit 2) and herring bone brick flooring are also not attractive and detrimental to the streetscape.
- 3 The lower ground floor extension (circa 1970's) has a haphazard composition with no clear relationship to the property. The elevations are predominantly glazed with areas of UPVC glazed windows and large areas of rooflights.
- 5 The timber conservatory (circa 1980's) is to the west side of the property and forms an extension to the main hallway. There are significant areas of deterioration through poor quality materials.
- 6 All the rear ground floor windows have been altered or replaced with windows which do not match the originals to create doors to the terrace.



fig 2.5.2
Conservatory

2.6 Landscaping

- 1 This document should be read in conjunction with the arboricultural report.
- 2 The external spaces are predominantly hard paving with limited areas of planters and some gravel.
- 3 Access to the garden is limited with direct access only from 1 bedroom and the pool to the rear and the conservatory and garage to the side area.



fig 2.5.3
Existing rear extension

2.7 Evaluation

- 1 The main body of 15 Wedderburn Road demonstrates many of the key features of the conservation area; red brick, tall gabled roofs, prominent boundary walls.
- 2 These qualities have been significantly undermined at the ground and lower ground floors by alterations which have compromised both the property and the streetscape of the conservation area. The front is dominated by the garage and the rear haphazard.
- 3 The proposal should seek to restore the property by removing alterations out of keeping with the original building.
- 4 Any interventions should be developed from the details, materiality and appearance of the existing building.

fig 2.6.1
Rear garden with low quality trees and hard landscaping



4 DESIGN

4.1 Use

- 1 The proposal seeks to retain the residential use of the site.

4.2 Amount

- 1 The site will retain 3 no. units on the site.
- 2 The proposal seeks to add 2no. bedrooms to form a 5no. bedroom unit at Unit 1.
- 2 The alterations in size are only to the lowest flat and amount to an increase in GIA of 389 sqm.
- 3 The additional area is accommodated through the extension of the existing lower ground floor and the construction of a basement.

4.3 Layout

- 1 The current garage, identified as detrimental to the conservation area will be demolished and car parking displaced to the lower ground floor.
- 2 Current bedrooms are spread widely a part on both floors. The proposal will accommodate all the bedrooms together on the lower ground floor all with direct access to the garden.
- 3 A replacement swimming pool is proposed in the basement. All ancillary plant will also be located here with no external mechanical equipment required thus eliminating any detrimental impact on neighbours.
- 4 Living accommodation will be at the lower ground floor level. Access to the garden will be improved through new doors directly from the living room to the underused side garden.
- 5 The clearance requirements for car parking require the removal of the ground floor area currently accommodating the home office. This use is moved to the new extension set in from the location of the existing garage.

4.4 Access

- 1 Pedestrian access is relocated to the street in keeping with nearby properties
- 2 The position of vehicular access and the existing cross-over are retained.
- 3 All on-site parking, other than the parking for Unit 1 will be retained.
- 4 A new ramp provides access to parking at the lower ground floor level.
- 5 Due to the grade and curve of the ramp the visibility will be limited.
- 6 The ramp provides one way access and is for the sole use of this unit.

fig 4.1
Detrimental areas to be removed; garage, front lightwell, conservatory & rear extension



fig 4.2

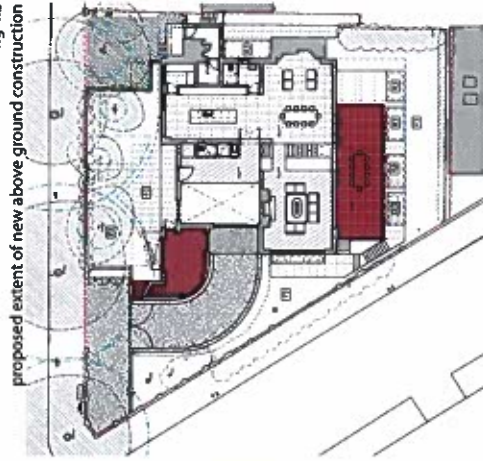


fig 4.3

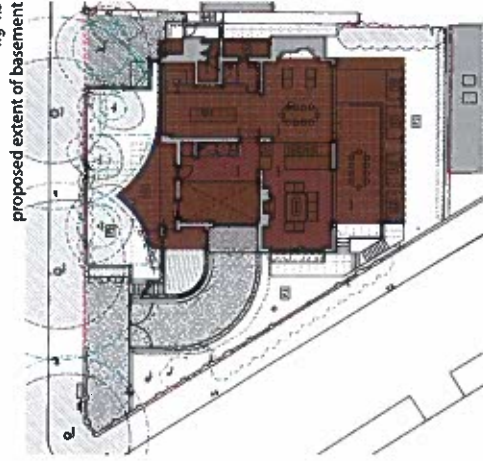
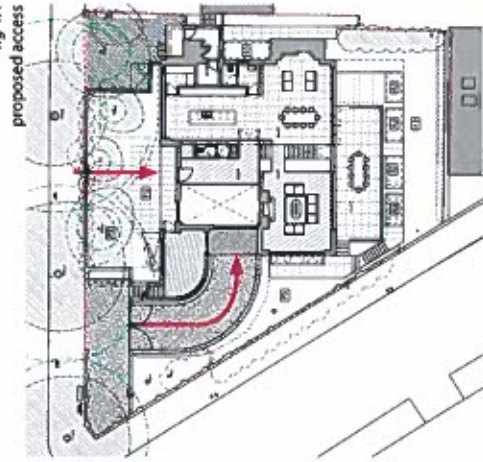


fig 4.4



4.5 Appearance.

- 1 All new walls will be finished in brick to match the existing.
- 2 All new windows will be in white painted timber with details to match the existing .
- 3 The altered rear ground floor windows would be replaced with windows co-ordinated with the existing windows above. This composition is also contiguous with the windows to the lower ground floor and the rooflights to the basement.
- 4 New balustrades and the new gates to the front will be in black painted ironwork to match 11 Wedderburn Road restoring details that have been lost in much of the area.
- 5 In order to improve access to the garden, enlarged windows are proposed to the Aken-side Road elevation. Due to the gradient of the street and the height of the fence and foliage; the increased size will not be visible from the street or the housing opposite.
- 6 The front parking will be resurfaced in gravel to match 2&3 Wedderburn road. This will replace the hard, uncharacteristic brick surface.
- 7 The removal of the garage, and introduction of the new gate to the ramp, will provide increased views of the trees and foliage in the side garden. In addition it is proposed that the retaining wall to the ramp is finished in a green wall to further soften the aspect from the street.
- 8 The existing lightwell, an uncharacteristic aspect of the street, will be backfilled and replanted increasing the visible soft landscape from the street.

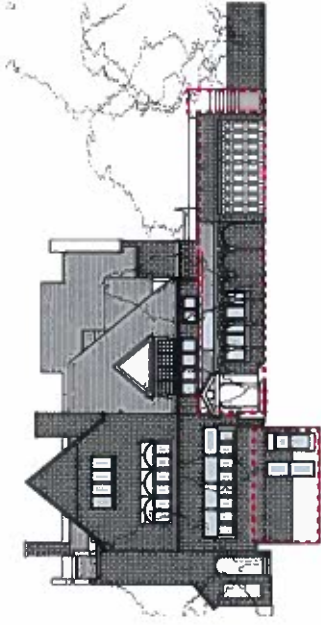


fig 4.5.1
existing front elevations highlighting detrimental features

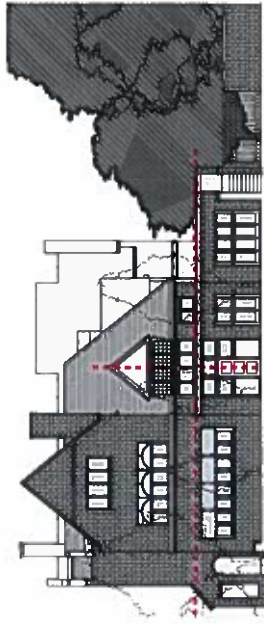


fig 4.5.3
proposed front elevation with setting out from existing shown



fig 4.5.2
existing rear elevations highlighting historical alterations

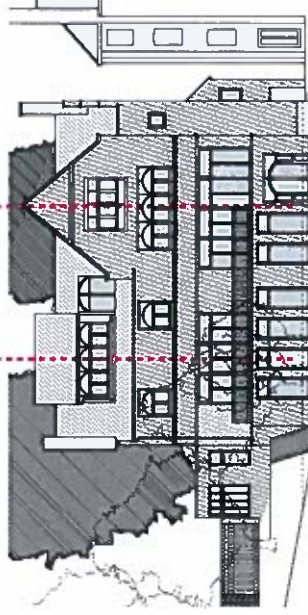


fig 4.5.4
proposed rear elevation with setting out from existing shown

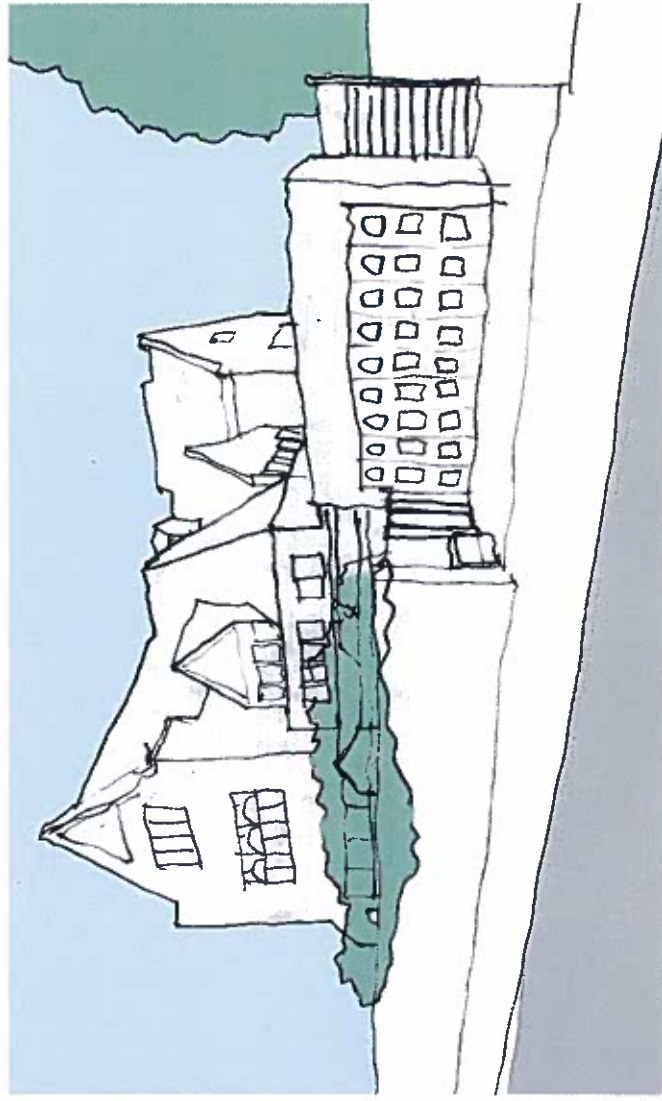


fig 4.5.5
 existing Wedderburn Road streetscape sketch;
 showing dominant garage and staircase
 monolithic wall
 entrance at side
 exposed bins



fig 4.5.6
 existing view from Wedderburn Road

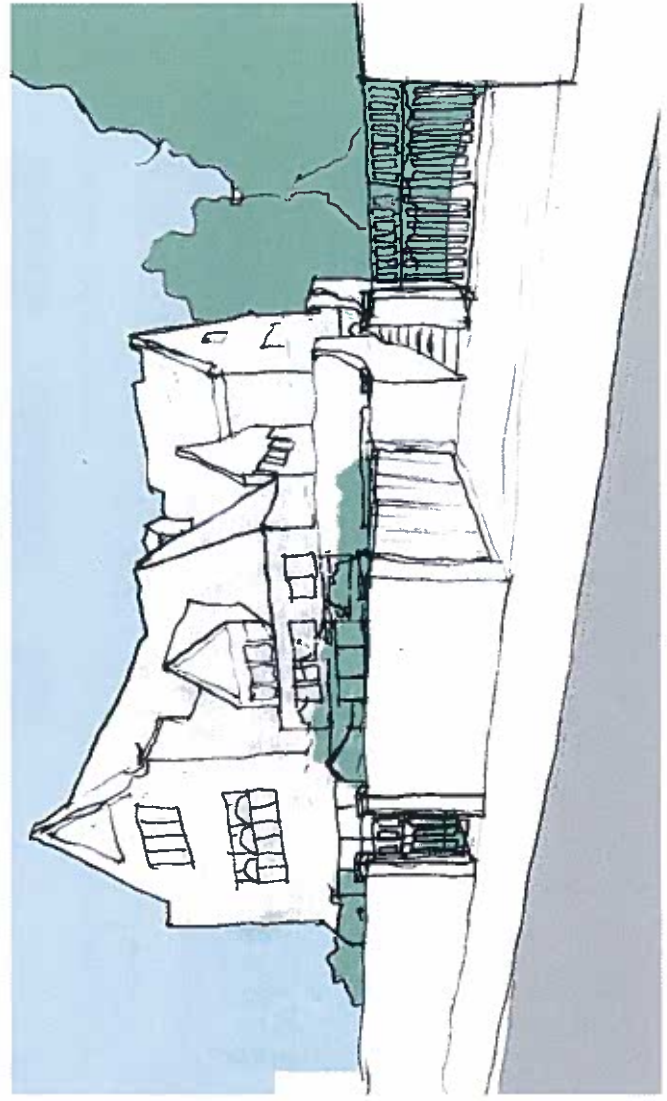


fig 4.5.7
 proposed Wedderburn Road streetscape sketch;
 showing increased views,
 increased soft landscaping
 new metalwork gates,
 reduced front extension with integrated stair,
 refurbished ground floor fenestration
 integrated bin store

4.6 Landscape

- 1 The proposal aims to greatly improve the landscaping to the house providing improved amenity to the flat and a more attractive streetscape for the area.
- 2 All trees off the site will be protected in accordance with the arboricultural reports.
- 3 The low quality landscaping on site will be replaced to provide greatly increased areas of soft landscaping and high quality new trees in accordance with the arboricultural recommendations.
- 4 Access to the garden will be improved with direct access from the living room, all bedrooms and the basement.
- 5 Limited areas of new glazed rooflights are proposed to rear garden level to provide light and ventilation to the basement. The area of glazing to this landscape is comparable to the existing rooflights to the rear extension in order to avoid any detrimental impact on neighbours amenity.
- 6 The existing glazing to the Akenside road area of the garden will be replaced with flush walk-on glazing to replace the existing, overgrown windows.
- 7 The increase in soft-landscaping will also benefit drainage on the site.

Fig 4.6.1
Existing Soft Landscape



Fig 4.6.2
Proposed Soft Landscape



Fig 4.6.3
Existing Lightwells and Rooflights



Fig 4.6.4
Proposed Lightwells and Rooflights

