



Design, Access & Heritage Statement in support of the planning application for

The Railway, 100 West End Lane, West Hampstead, London, NW6 2LU

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1.0 INTRODUCTION

This statement is submitted by Cornish Architects, who have been jointly appointed by First Urban (WH) Ltd and Spirit Pub Company, in support of a full planning application for The Railway Tavern, West Hampstead (see location plan Fig 01).

The corner site at 100 West End Lane is located on the intersection of West End Lane and Broadhurst Gardens. The property is used as a public house (Class A4), with ancillary accommodation, storage and associated service areas. The site is located within the West End Lane Town Centre.

The proposed application will seek permission for change of use and conversion of the upper floors of the existing Public House (Class A4) and ancillary accommodation to Office (Class B1) at first floor level and self-contained flats (Class C3) at second and third floor level. The Public House (Class A4) & ancillary accommodation use will be retained at ground floor and lower ground floor levels. Access to the upper floors will be via the existing separate entrance and staircase. The first floor will provide 248sm NIA of office accommodation. The Residential accommodation will comprise 3 no. Two bedroom flats, 2 no. One bedroom flats and 1 no. studio. Third floor alterations will include modification and extension to the existing roof. It is proposed that a number of previously blocked up windows are to be reopened and minimum remodelling to the elevations in order to sufficiently light the living, office and circulation spaces. The existing fire escape to the rear of the property will be removed.

One of the aims of this statement is to demonstrate how we have taken account of the need for good design in our proposal and how the proposal responds to its surroundings and context. The first part of the statement will explain the local context that has been taken into account in the design development including the local planning policies. The second part of the statement will explain the proposal and how it relates to the existing building and its surroundings.

The statement is in accordance with CABE guidance on Design and Access Statements 2006 and should be read together with the drawings and listed in the Application Drawing Schedule (section 8.0) and the supporting documents listed in Supporting Documents Schedule (section 9.0).



Fig. 01 - Site Location Plan

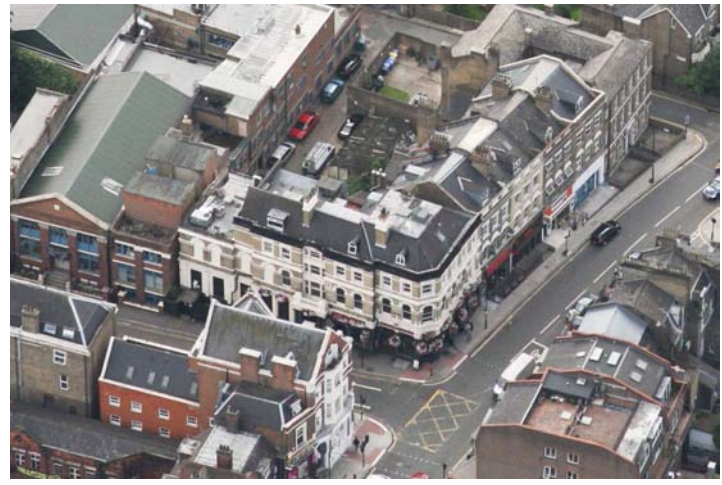


Fig. 02 - North West Birds-Eye View



Fig. 03 - South East Birds-Eye View

2.0 LOCAL CONTEXT

2.1 PHYSICAL CONTEXT - SITE

The site is along West End Lane which runs North-South from Finchley Road to Kilburn High Road. It is less than 25 meters away from West Hampstead Station.

The area of the application site is approximately 405m² and is currently bounded by:

- to the North - Broadhurst Gardens
- to the East - West End Lane
- to the South - Exeter Mews via West Hampstead Mews



Fig. 04 - Wider Context Aerial View



Fig. 05 - View from building entrance looking North towards West Hampstead station



Fig. 06 - View of application premises at intersection, looking South along West End Lane



Fig. 07 - View down Broadhurst Gardens



Fig. 08 - View of rear of the application premises from Exeter Mews

2.1 PHYSICAL CONTEXT—SITE cont.

The application premises are a Victorian brick building spanning lower ground, ground and three upper floors. The West End Lane façade wraps around the corner site to seamlessly continue along Broadhurst Gardens. The adjacent buildings along West End Lane are 3-storey terrace with an additional mansard roof while the site is flanked by a 2-storey red brick building along its Broadhurst Gardens boundary.

As originally designed the building had many handsome arched windows along the whole of its frontage to West End Lane and Broadhurst Gardens as well as the rear elevation facing out into Exeter Mews. However, over the years a number of the windows along the Northern and Southern part of the application premises, have been bricked up.

The West End Lane external façade of the building is predominantly yellow brickwork with large areas of glazing on all the floors, the ground floor is clad in dark stone topped by ornate white feature mouldings, as Fig. 06. The currently blocked up window openings are evident in Fig. 08.

The building is easily accessed with two sets of main access doors off Broadhurst Gardens and West End Lane. There is a third entrance off Broadhurst Gardens which is to be retained to segregate the access of the Office (Class B1) and Residential (Class C3) from that of the Public House (Class A4).

The site is very well served by public transport, with both a railway station and an underground station at West Hampstead to the north. West End Lane and Broadhurst Gardens are both very well served by regular bus routes.

The topography of the site has a gradient across it running from West End Lane down across Broadhurst Gardens from West to East.

The application premises are located within the South Hampstead Conservation Area (previously known as Swiss Cottage Conservation Area)

2.2 SOCIAL CONTEXT

There will be no loss to the surrounding uses as a result of the proposed application.

The scale of the proposal retains the existing scale. The new roof extension increases to the South East corner to the rear on Exeter Mews. The existing roof includes a number of dormer windows which are to be replaced, new dormer windows are to be incorporated. There are deemed to be no overlooking or loss of light issues relating to the proposed works.

The proposal will have a positive impact on the local area introducing new commercial and residential floor space, whilst also creating opportunities for local labour during the construction period creating training opportunities.

2.3 ECONOMIC CONTEXT

It is envisaged that the proposed works will have a positive economic impact on the surrounding area with new residents supporting local amenities, the commercial units have the potential to increase footfall, supporting local business.

2.4 PLANNING POLICIES CONTEXT

Please refer to the Planning Statement Appendix 10.2 for details of planning policies and how the proposed development addresses them.

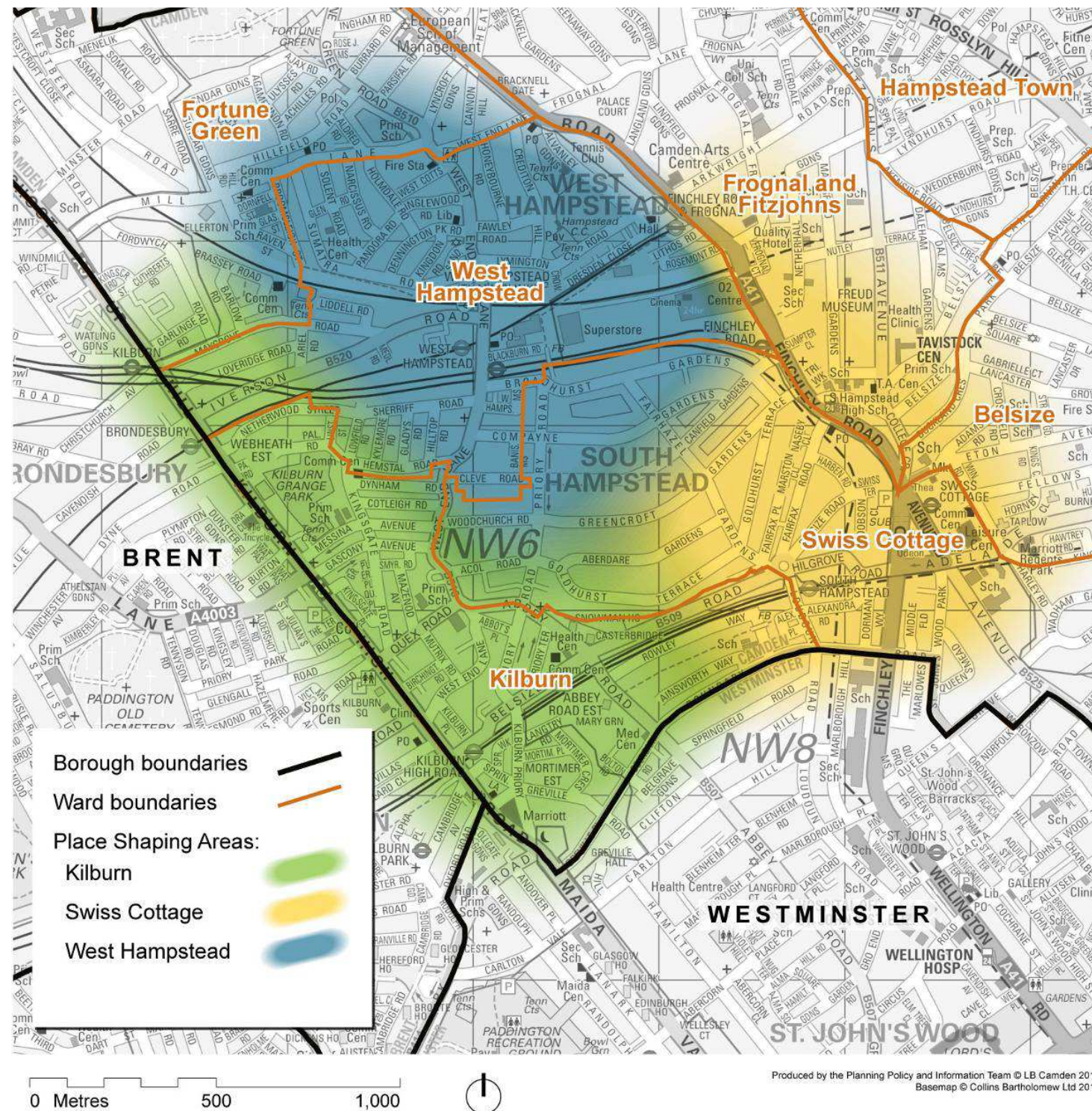


Fig. 09 - Conservation Area Map

2.5 HERITAGE

The South Hampstead Conservation Areas was known as the Swiss Cottage Conservation Area until February 2011. It is an important example of mid 19th century speculative development on a grand scale, in red brick with finely detailed Arts and Crafts inspired decoration. Properties often have grand entrance porches and are decorated with terracotta panels and ornate brickwork, patterned timber doors and windows, colourful tiled footpaths and delicate ironwork. Turrets, cupolas and the recession and projection of front gables make the roofscape very distinctive. One of the most prominent features of the area is lush green front gardens, with ornate garden walls topped with hedges or railings which give the area an attractive and serene quality. The gaps between properties and views into mature gardens contribute significantly to the area's particular character. Swiss Cottage was designated a Conservation Area in November 1988.

The Railway Tavern, 100 West End Lane, on the corner with Broadhurst Lane, is located centrally within South Hampstead Conservation Area, (formerly known as Swiss Cottage CA). The building retains its two Victorian public frontages onto West End Lane & onto Broadhurst Lane. It retains its original name as it is located so close to West Hampstead Tube and Railway Station. It is identified within the Adopted Character Appraisal, para 5.12, as being a local landmark and making a positive contribution to its character and appearance.

Views up and down the West End Lane and Broadhurst Lane to The Railway Tavern are significant. The wide variety of roof forms in the conservation area, from simple decorated gables, to elaborate Dutch gables and pediments, to steep French style hipped and mansard roofs, turrets, and ogee-shaped domes, play an important role in maintaining the character of the conservation area.

The Railway Tavern is 3 storeys high with an attic roof set back behind the parapet. It is faced in yellow brickwork elevations with stucco mouldings to windows. Its Victorian style tall arched windows at first floor and double granite columns to its ground floor entrance porch are visually distinctive in the streetscene. It stands in the heart of the conservation area and its roof form is prominent with traditional slate roofing.

2.5 HERITAGE cont.

In recognition of the National Planning Policy Framework, paragraph 126 the proposal pays due regard to the following:

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation
- The wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring
- The desirability of new development making a positive contribution to local character and distinctiveness
- Opportunities to draw on the contribution made by the historic environment to the character of a place

The proposal:

- The West End Lane external façade of the building is predominantly yellow brickwork with large areas of glazing on all floors, the Ground floor is clad in dark stone topped by ornate white feature mouldings.
- Regrettably there have previously been some out of character inappropriate alterations and additions, with some of the windows being blanked up and the installation of oversized flat roofed 'modern' dormer windows, which conflict with the Victorian architectural interest and integrity of this handsome building. It is proposed to reinstate the original traditional windows in the elevations and removal these oversized dormers and their replacement by an agreed dormer design based on the original small arch headed dormer.
- The rear of the building is a mix of red brick to the lower ground and ground floor levels with yellow London stock brickwork above. As previously mentioned, a number of the existing windows have been bricked up and rendered. New windows added during previous alterations are poorly proportioned and unsympathetic to the building's style and age.
- The building is regarded as a minor local landmark according to section 5.13 of the South Hampstead Conservation Area Character Appraisal and Management Strategy February 2011. This is primarily due to its use as a public house.

2.5 HERITAGE cont.

The proposal:

- The aim of the proposed works is to rejuvenate the currently under used lower ground floor area of the building to provide a relocated kitchen with its associated support facilities and managers ancillary accommodation. The latter requiring the reopening of 3 currently bricked up penetrations and the installation of generously proportioned new windows (see Application 2013/3128/P). At first floor the proposed works are to maximise the lettable commercial space creating light and well proportioned rooms. At second and third floor are 6 residential units of varying size including 2 bed 4 person, 1 bed 2 person and a 2 person studio.
- There are a number of replacement windows and dormers to the North, West and South elevations. All refurbished and new openings will match those of the existing in form and style, size and type of glazing bar, frame, window cill dimensions and method of opening. Previously there have been some out of character inappropriate alterations and additions, with some windows being blanked up and oversized flat roofed 'modern' dormer windows incorporated, conflicting the Victorian architectural interest and integrity of this handsome building. The proposal includes for reinstatement of original traditional windows in the elevations and removal of oversized dormers to be replaced by dormers based on the original small arch headed dormers.
- All new dormer should be subordinate in size, scale, and location on the roof slope, dormers relate to the room layout behind of the floor itself and to the overall fenestration pattern of the elevations below. They are consistent in size, scale and detail design.
- The lower ground windows to the South elevation are shielded from Exeter Mews by the existing Boundary wall.
- The existing chimney stacks and pots are to be retained.
- The existing railing to Broadhurst Gardens has, in recent years, been covered by a timber panel fence. The proposal is to open up the original iron balustrade and by the insertion of an open grilled deck create an off street refuse area. Currently the existing Eurobin obstructs the pavement, fire escape route and is unsightly.

3.0 COMMUNITY INVOLVEMENT

3.1 CONSULTATION

As design consultants Cornish Architects have previously consulted with the Local Authority Planning Department and submitted a Pre-Application for advise ref. 8821177. Please refer to the planning officers advice in the email response to the Pre-Application in appendix 10.3.

The design team will be consulting with the Architectural Police Liaison Officer in due course and will ensure the principles of Secured by Design are adhered to where practicable.

4.0 EVALUATION

4.1 OVERALL DESIGN OBJECTIVES

After analysing the existing site context, heritage and condition and with an understanding of the planning policies and our client's aspiration, the design principles were developed and the objectives are as follows:

- To provide a uniform appearance on the Broadhurst Gardens streetscape.
- To provide a uniform appearance to the West End Lane streetscape.
- To provide a uniform appearance on the Exeter Mews streetscape.
- To unify the existing mansard roof scape whilst introducing natural light to the new habitable rooms.
- To install windows which are sympathetic and complementary to the existing building and its surroundings.
- To retain and enhance the character of the conservation area.

4.2 DESIGN DEVELOPMENT

Having considered the streetscape of West End Lane, Broadhurst Gardens and Exeter Mews and the requirements of the applicant, it became clear that the proposal should:

- Maintain and enhance the local environment.
- Retain the buildings strong presence on the site boundary.
- Maintain the character of the existing building.
- Reinstate the previous character and appearance lost through the blocked up windows.
- Enhance the aspect of the Exeter Mews elevation.

By replacing the existing mansard roof form the design team have been able to unify the roof scape and introduce additional dormer windows, thus creating continuity of the South elevation.

The design team have rationalised and ordered the accommodation appropriately to ensure suitable standards of accommodation for the various use classes. The office accommodation at first floor ensures good acoustic separation between the public house at ground floor and the residential accommodation at second and third floors.

4.0 EVALUATION

4.3 INTERGATION - PHYSICAL, SOCIAL AND ECONOMIC

The main physical, social and economic factors that have been considered during the development of the project were that the application will begin to address the shortfall of residential and commercial property in the West Hampstead area, whilst retaining a significant local landmark, helping to secure its long term future.

The proposed development will introduce high standards of accommodation to the area, compliant with the latest government guidelines for spaces standard as identified through 'Lifetime Homes' and sustainability standards as identified through 'BREEAM - Domestic Refurbishment'.

The proposals are compliant with;

- National Planning Policy Framework (March 2012)
- The Development Plan (July 2011)
- London Housing Design Guidance (August 2010)
- Camden's Core Strategy 2010-2025 (November 2010)
- Camden's Adopted Supplementary Planning Guidance

The application has been subject to consultation with Camden Council, it is the design team understanding that the proposal would be acceptable in terms of development.



Fig. 10 - View from pedestrian crossing showing the full extent of the buildings North and West elevations.



Fig. 11 - View of North elevation on Broadhurst Gardens.



Fig. 12 - View of West elevation on West End Lane.



Fig. 13 - The Railway public house principle entrance.

5.0 DESIGN

5.1 USE

The building has lawful use as a public house (Class A4) with ancillary accommodation. The proposal will seek permission for a change of use of the upper floors to Office (Class B1) at first floor level and self contained flats (Class C3) at second and third floor level.

The existing accommodation is currently underused, the proposal seeks to make best use of the existing accommodation to ensure the long term future of the building remains viable. The building is in a highly accessible area and is of local significance as a landmark adjacent the West Hampstead transport interchange, an area expressly identified for development and intensification of use.

The Public House (Class A4) & ancillary accommodation use will be retained at ground floor and lower ground floor levels. Rationalising the public house accommodation makes the most efficient use of the existing accommodation, releasing the upper floors to be utilised for commercial and residential development.

The design team has considered the best order of the accommodation prioritising accessibility and user requirements. The residential accommodation requires a more private element and is sensitive to noise. The use of the first floor for office provides an acoustic buffer between the public house and the residential uses. This together with the proposed upgrade of the ground floor ceiling, first floor and second floor construction will achieve Camden's technical requirements for noise insulation between the public house and residential use. It is considered that the office accommodation will be in use predominantly during the day only, whilst the public house opening hours will be late into the evening. Please refer to appendix 10.7 for the supporting acoustic assessment report.

5.0 DESIGN

5.2 AMOUNT

The proposal retains the ground floor foot print of the existing building. The table below provides a comparison of the existing floor area against the proposed floor area.

Floor	Existing area m ² (GIA)	Proposed area m ² (GIA)
Basement	315	315
Ground	292	292
First	288	282
Second	224	224
Third	161	204

The ground floor public house accommodation remains in its current configuration, with the inclusion of a cycle store. The public house is supported by ancillary accommodation at lower ground floor including a kitchen, food store, bar store, managers accommodation, plant room and cellars.

The office accommodation is split into two suites across the first floor, one of 123m² inclusive of WC's and one of 125m² inclusive of WC's.

The mix of the size and variety of the residential units proposed maintains an appropriate blend of available dwellings. The sizes of proposed flats meet or exceed the required standard in relation to the London Design Guide.

Flat name/number	Bedrooms	Area sq.m (GIA)
Flat 1	2	61
Flat 2	1	53
Flat 3	2	73
Flat 4	2	68
Flat 5	1	52
Studio 1	N/A	48

5.0 DESIGN

5.3 LAYOUT

The reordering of the accommodation significantly improves the layout of the building and the arrangement of facilities across the five floors. The focal point of the building remains the public house, which will now be better served by the rationalised lower ground accommodation. Locating the office suites at first floor provides a hierarchy of facilities offering an improved aspect and environment for office facilities. This provides acoustic advantages to the office space being at first floor away from the immediate noise at street level. In addition the office also provides excellent acoustic separation between the public house and the residential accommodation.

The current existing entrances at ground floor are retained, providing two points of access to the public house and a separate point of access for the office and residential units.

At ground floor adjacent the office and residential entrance is a secure cycle store area of 9.3m² which provides safe and secure storage for six bikes, one per residential unit..

The existing second floor flat roof terrace currently accommodates a mix of external plant equipment, this area will continue to be utilised for external plant equipment, redundant plant equipment will be removed. This is ideally located as it is away from the residential windows and away from Broadhurst Gardens and West End Lane street frontage. The neighbouring property on Broadhurst Gardens doesn't have any windows or aspect at this level.

The existing roof has a number of roof dormers and roof windows, the new roof will be in the same style of mansard, including new dormers of the same style as the existing. The new roof will incorporate additional dormer windows to ensure all habitable rooms benefit from natural light.



Fig. 14 - Proposed Plans



Fig. 15 - Proposed North and West Elevations

5.0 DESIGN

5.3 LAYOUT Cont.

The existing building is currently served by a main circulation stair providing access to all floors. The existing main stair will be retained with its current risers and goings. The stairwell enclosure will be enhanced to ensure a protected means of escape is provided from all floors. The lower ground floor is accessed by ancillary stairs from ground floor level and has escape stairs to street level on Broadhurst Gardens.

5.4 SCALE

The scale and proportions of the development remains greatly as that of the existing. The existing building is of significant size and is a prominent building on the corner site. The new roof design unifies the roof scape but the scale of the roof remains in line with the existing roof.

The proportions of the existing elevations are typical of a Victorian building with large regularised windows and a hierarchy of scale descending the building. The first floor windows are arched at the head, with prominent keystones. The fenestration of the windows is clear and simple with sash windows incorporated on all the upper floors.

5.5 LANDSCAPING

The opportunity for external landscaping is limited as the building footprint fills the vast majority of the site. The design team are proposing the area to the east of the Broadhurst Garden entrance is enhanced to reintroduce existing railings and remove currently blocked off access, please refer to planning application 2013/3128/P. The external area down the eastern side of the site is narrow and will be utilised for access of the residential refuse area and as an escape from the lower ground. It also provides maintenance access for the south and east façade. This area will be hard landscaped with suitable hardwearing paving. An existing set of steps serving a basement door will be in filled. The existing door is to be removed as part of a previous planning application, please refer to planning application 2013/3128/P.

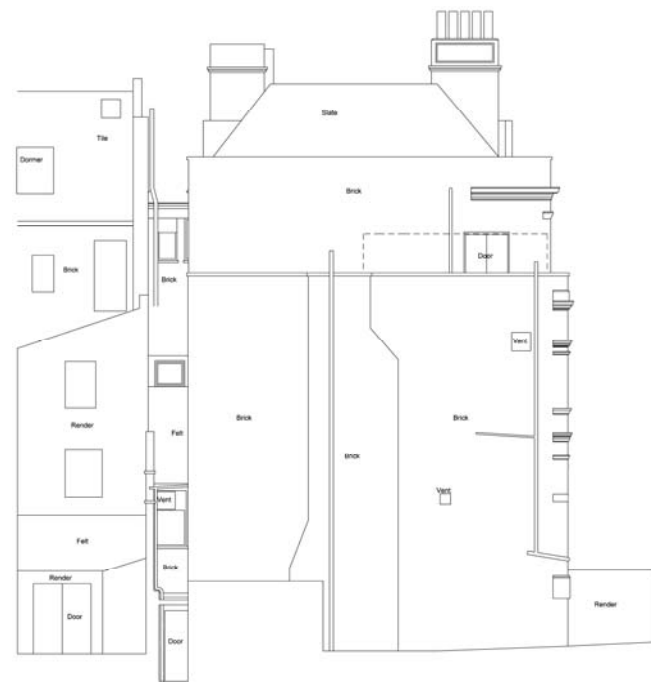


Fig. 16 - Proposed South and East Elevations

5.0 DESIGN

5.6 APPEARANCE

The design team have given due regard to the buildings existing context, building typology, heritage, design life and materiality. The proposed roof extension is designed to be sympathetic to and complement the existing building façades. The elevations reflect features taken from the existing building and the materials are selected to match the existing. Please refer to Appendix 10.1 for the existing and proposed drawings.

The existing façade is in excellent condition generally. A number of window openings have previously been blocked up, many of which will be returned back to windows. The new replacement windows are to be sash style to match the existing, complete with gloss white, wooden framed glazed screens. The scale, height and massing of the replacement windows are to match those of the existing.

The existing third floor and roof construction are to be replaced with new structure. The proposed replacement roof is to be in the same style and form of mansard roof as the existing. The existing parapet walls will be retained on the north and west elevations. In unifying the roof scape through the extension of the third floor and roof accommodation the parapet wall on the east elevation is removed. The increased roof scape doesn't create any over shadowing or over looking

The third floor habitable accommodation will benefit greatly from the inclusion of dormer windows to all areas. The new dormer windows will be in the same style as the existing dormer windows complete with arched roof profiles, gloss white wooden framed glazed screens.

Currently the refuse Eurobins sit on the pavement along Broadhurst Gardens. A previous application incorporated works to rationalise this area and partially conceal the bins. The proposed space will provide facilities to accommodate recycled and non recycled waste. (see Application 2013/3128/P).

5.0 DESIGN

5.7 ACCESS

The area of West Hampstead is very well served by public transport and the application site is approximately 25m from the West Hampstead underground station and approximately 200m from the West Hampstead railway station. West End Lane is served by frequent bus services from the 139, 328 and C11 bus routes.

The development will be car free in compliance with Camden's Development Policy DP18—Parking and limiting the availability of car parking.

The corner junction of West End Lane and Broadhurst Gardens has a pedestrian crossings point and traffic lights.

The existing buildings ground floor access of the public house remains unchanged, this is due to the levels and topography of the existing pavements. Access to the first floor office accommodation and the second and third floor residential accommodation is from Broadhurst Gardens from a raised landing. The landing is accessed by six steps from street level, it is not possible to incorporate a compliant ramped access to the ground floor facilities due to the significant change in level between ground floor and pavement level.

Access of the accommodation internally is via the existing main stair of which the risers and goings will remain unchanged.

The issue of visually impaired building users and those with hearing impairments will be fully considered during the detailed design process to comply with the Building Regulations.

5.0 DESIGN

5.8 LIFETIME HOMES

The proposed development incorporates the principles of Lifetime Homes for inclusive design where feasible. Aspects of Lifetime Homes criterion contradict other criteria of Camden's Core Strategy 2010-2025, in these instances the design team have prioritised the core strategy over Lifetime Homes. Please refer to appendix 10.4 for the Lifetime Homes Compliance Checklist.

5.9 CRIME PREVENTION

The design team will be consulting with the council's Architectural Police Liaison Office regarding Secured By Design and incorporating best practice principles where possible within the existing building and context.

The following measures are being considered.

- Public access - All flats to have a door entry system, restricting casual intrusion by non-residents.
- Lighting - Appropriate lighting to be incorporated to cover all areas of potential risk, access points, escape routes and refuse areas.
- Boundaries - The current refuse location will be moved to a secure zone gated to prevent casual and incorrect use.
- Cycle Storage - Cycle storage is enclosed within the building behind lockable doors only accessible to residents.
- Security - All communal area including circulation, staircases, lobbies and entrances will be well illuminated. All hiding places and blind corners have been minimised.
- Window - All windows will be installed to manufacturer's specification to comply with SBD developments.
- Doors - All new doorsets will comply with PAS 24-1:1999 'Doors of enhanced security'. All external doorsets shall meet the same physical standard as 'front door'. All glazing in and adjacent to doors shall be laminated to a minimum thickness of 6.4mm.

6.0 SUSTAINABILITY

6.1 BREEAM

The design team have appointed a BREEAM assessor for the development. It is only the residential accommodation that is applicable for the BREEAM assessment. The development will be assessed under the BREEAM Domestic Refurbishment method and the design team will be achieving a BREEAM rating of Very Good. Please refer to appendix 10.6 for the BREEAM Domestic Refurbishment Pre-Assessment.

6.2 ENERGY ASSESSMENT

The design team have carried out an energy assessment to identify the energy strategy for the proposed development, demonstrating how carbon dioxide can be reduced. The proposed works have been thermally modelled to ensure compliance with the Building Regulations. Please refer to appendix 10.5 for the Energy Strategy Report.

6.3 FLOOD RISK

The site is located in Flood Zone 1 (low risk), the design team have carried out a Flood Risk Assessment which is required as part of the BREEAM assessment criteria. Please refer to appendix 10.8 for the Flood Risk Assessment.

6.4 WASTE AND RECYCLING

The refuse waste from the public house accommodation will be managed separately from that of the residential/office refuse waste. Camden Council is provided with recycling facilities for rubbish and recyclable waste collection from the property. The public house refuse area is directly off Broadhurst Garden whilst the residential/office refuse area is off from Broadhurst Gardens to the rear south east corner of the property.

Waste reduction of both the commercial and domestic waste and the construction waste are key principles of sustainable development.

6.0 SUSTAINABILITY

6.4 WASTE AND RECYCLING Cont.

Information on the recycling of the domestic waste will be provided to the users in the Home User Guide upon completion.

Construction waste will be managed on site through Re-use and recycling of materials on site and through appropriate construction methods and effective management. A site waste management plan will be provided by the contractor.

Please refer to appendix for an Outline Construction Management Statement.

7.0 CONCLUSION

The design team feel the proposed development will contribute greatly towards the West Hampstead area and secure the long term future of the local landmark building.

The proposals improve the currently under utilised accommodation of the existing building providing much needed residential accommodation to the area.

The proposed works are sensitive to the heritage requirements and retain the Victorian features of the existing facades whilst also redressing previously out of character inappropriate alterations.

Cornish Architects are pleased to submit this application on behalf of our client First Urban (WH) Ltd and the Spirit Pub Company, and look forward to working with Camden Council to progress this scheme.

8.0 SCHEDULE OF APPLICATION DRAWINGS

Drawing No	Scale	Drawing title
10833/TP/101	1:1250 @ A4	Location Plan
10833/TP/102	1:100 @ A1	Existing Plans
10833/TP/103	1:100 @ A1	Existing Elevations
10833/TP/104	1:100 @ A1	Proposed Plans
10833/TP/105	1:100 @ A1	Proposed Elevations
10833/TP/106	1:100 @ A1	Proposed Sections

9.0 SCHEDULE OF SUPPORTING DOCUMENTS

Document	Prepared by
Design and Access Statement	Cornish Architects
Planning Statement	Cornish Architects
Pre-Application Planning Advice Email	Camden Council
Lifetime Homes Compliance Checklist	Cornish Architects
Energy Strategy Report	Crofton
BREEAM Domestic Refurbishment Assessment	Dalen Group
Acoustic Planning Report	WSP
Flood Risk Assessment	Environ
Daylight and Sunlight Assessment	Crofton
Construction Management Statement	Cornish Architects + Crofton