

No.80 Guildford Street  
London  
WC1N 1DF



## Construction Details & Feature References

DETAIL PACK OF TYPICAL MOULDINGS AND ARCHITRAVE  
DETAILING, SKIRTING, DADO RAILINGS & CORNICES.  
DETAILS OF DOORS, WINDOWS, WALLS, FLOORS AND OTHER ORIGINAL FEATURES.  
LOCATION OF SERVICE RUNS

*Rev F*

*Author:* AWW architects

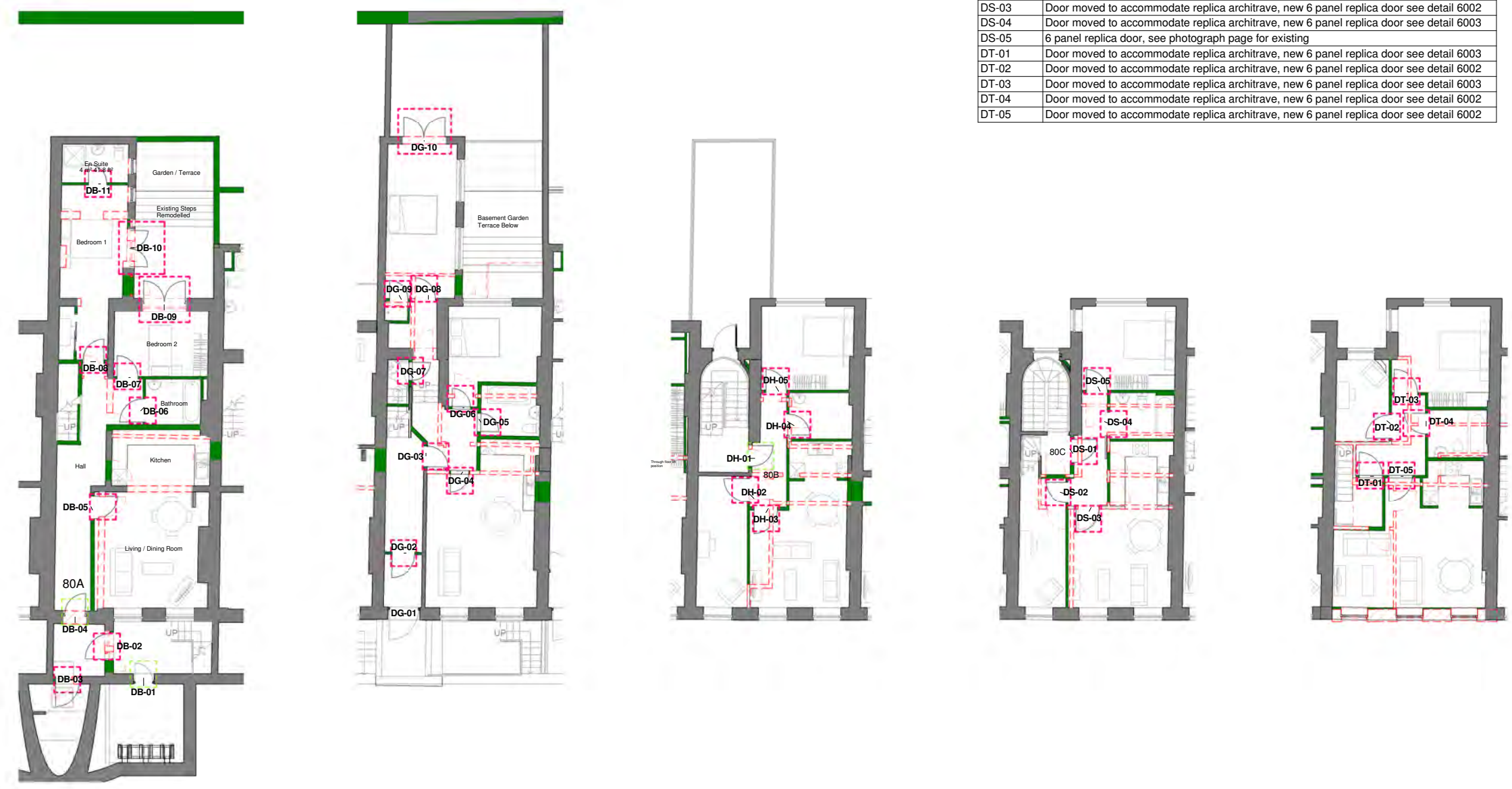
*Date:* 09/01/2014

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Info@aww-uk.com

Door Schedule	
Number	Comments
DB-01	New external door to match existing
DB-02	New external 4 panel front door
DB-03	New 6 panel replica door, see photograph page for existing
DB-04	6 panel replica door, see photograph page for existing
DB-05	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DB-06	New 6 panel replica door, see photograph page for existing
DB-07	New 6 panel replica door, see photograph page for existing
DB-08	New 6 panel replica door, see photograph page for existing
DB-09	New glazed french windows
DB-10	New glazed french windows
DB-11	New 6 panel replica door, see photograph page for existing
DG-01	Existing Door retained refurbished. See detail 6004
DG-02	New 6 panel draught lobby door with vision panels
DG-03	New 6 panel replica door, see photograph page for existing
DG-04	6 panel replica door, see photograph page for existing
DG-05	6 panel replica door, see photograph page for existing
DG-06	6 panel replica door, see photograph page for existing
DG-07	6 panel replica door, see photograph page for existing
DG-08	6 panel replica door, see photograph page for existing
DG-09	6 panel replica door, see photograph page for existing
DG-10	New glazed french windows
DH-01	6 panel replica door, see photograph page for existing
DH-02	6 panel replica door, see photograph page for existing
DH-03	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DH-04	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6003
DH-05	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DS-01	New 6 panel replica door and cut back architrave
DS-02	New 6 panel replica door and cut back architrave, see photograph page for existing
DS-03	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DS-04	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6003
DS-05	6 panel replica door, see photograph page for existing
DT-01	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6003
DT-02	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DT-03	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6003
DT-04	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002
DT-05	Door moved to accommodate replica architrave, new 6 panel replica door see detail 6002

NOTE:  
 All existing doors removed except where otherwise stated.

- KEY:
- New door leaf architrave retained
  - New door leaf Modified opening New architrave
  - New door leaf New opening New architrave



Basement Floor (Door details)  
 1:100

Ground Floor (Door details)  
 1:100

First Floor (Door details)  
 1:100

Second Floor (Door details)  
 1:100

Third Floor (Door details)  
 1:100

DG-01  
 Door Retained & Refurbished

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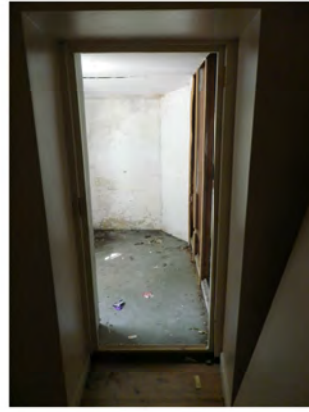
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Project Title  
**80 Guilford Street**

Drawing Title  
**Door schedule and proposed plans**

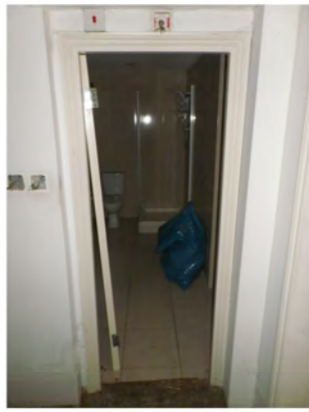
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Date	Checked	
08/08/13	NM	
Status	<b>PLANNING</b>	
Project No.	Drawing No.	Revision
3092	6000	F



Door DB-04



Door DB-05



Door DB-06



Door DB-07



Door DB-08



Door DB-10



Door DB-11



Door DG-03



Door DG-07



Door DG-08

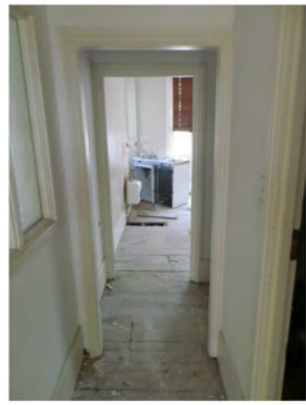
Note: See drawings 6000 for door references



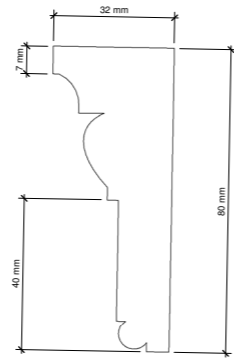
Door DH-03



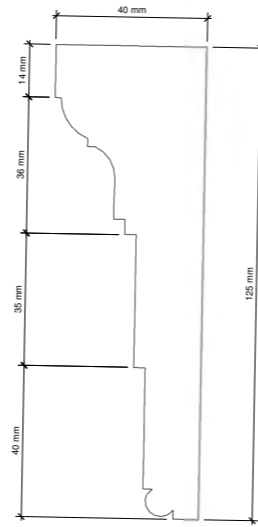
Door DS-02



Door DS-03



80mm architrave profile  
1 : 1



Existing original architrave profile  
1 : 1

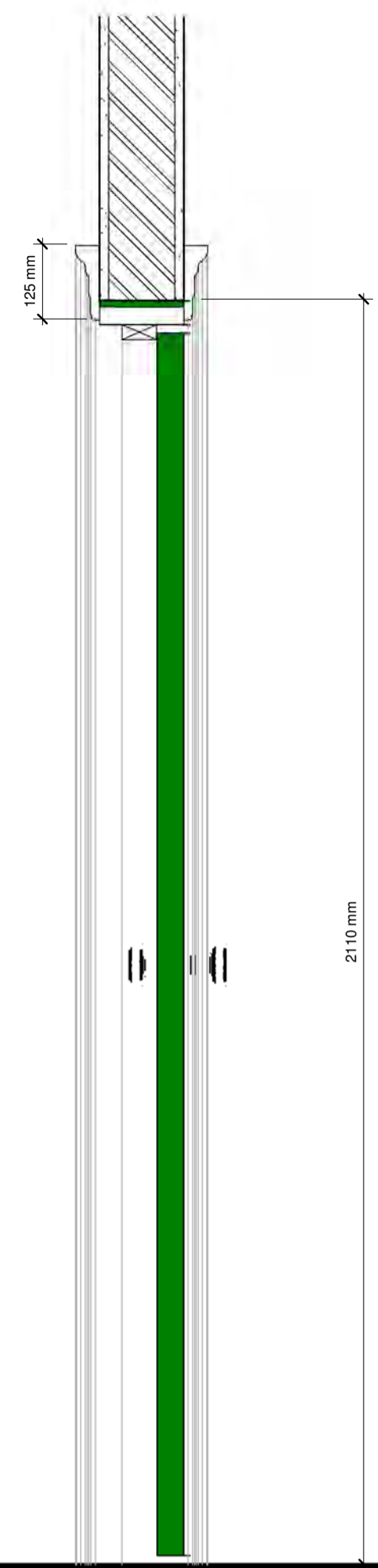


DH-01 View of architrave on 1st floor landing

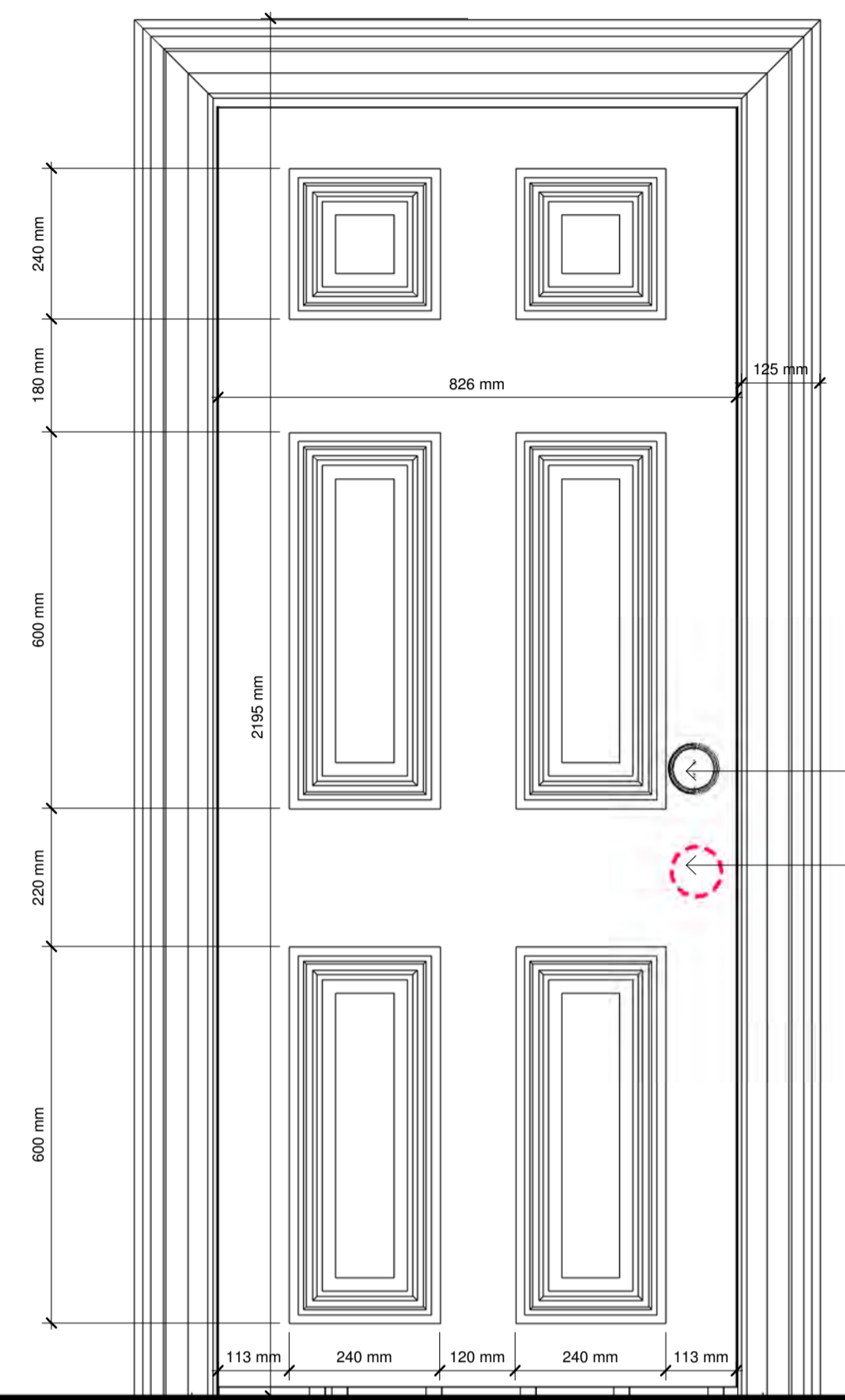


DH-01 View of door frame on 1st floor landing

Project Title		
<b>80 Guilford Street</b>		
Drawing Title		
<b>Existing door photographs</b>		
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Date	Checked	Status
08/08/13	NM	<b>PLANNING</b>
Project No.	Drawing No.	Revision
<b>3092</b>	<b>6001</b>	<b>F</b>

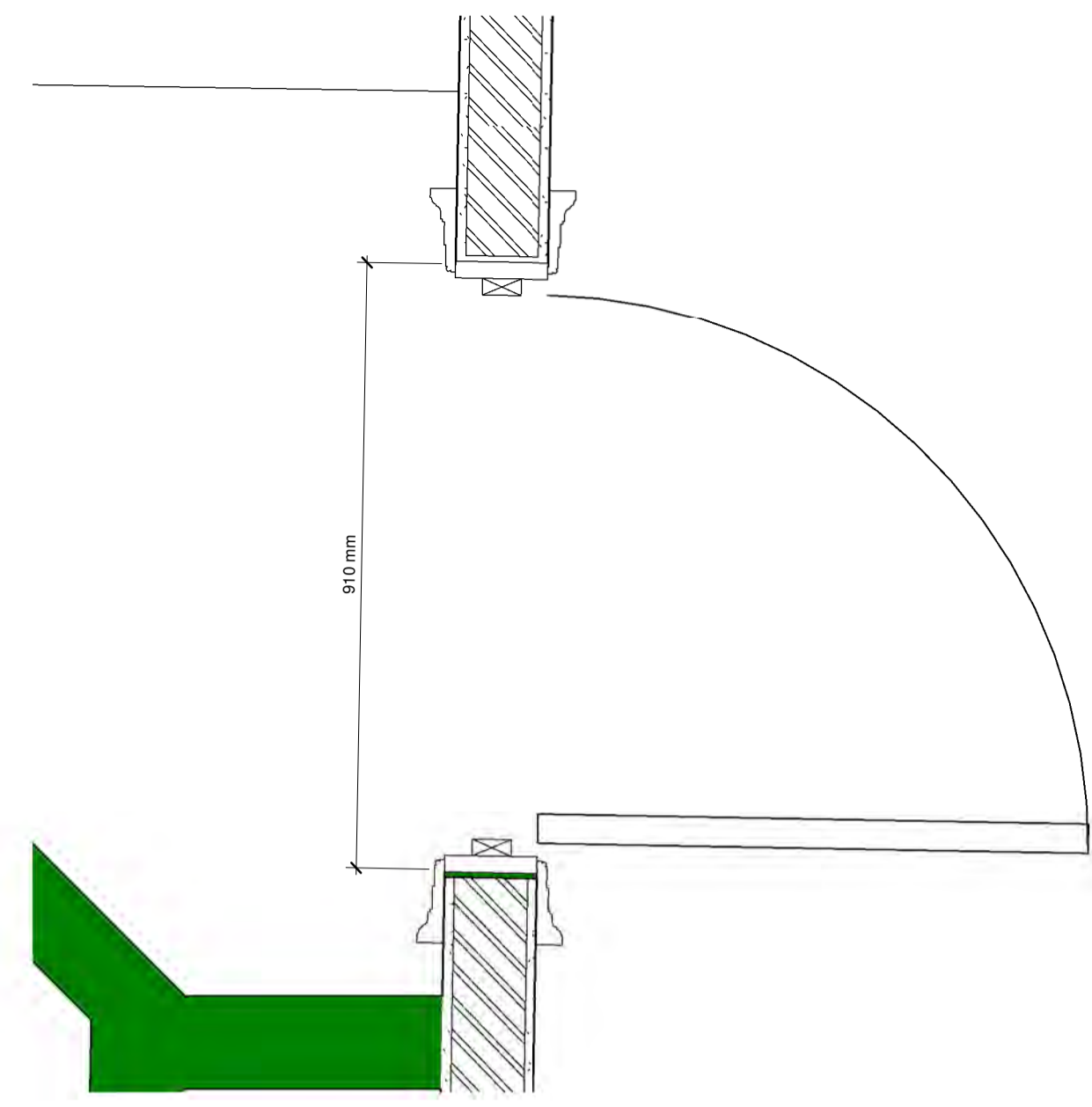


Typical Original Proposed Door Detail Section  
 1 : 10

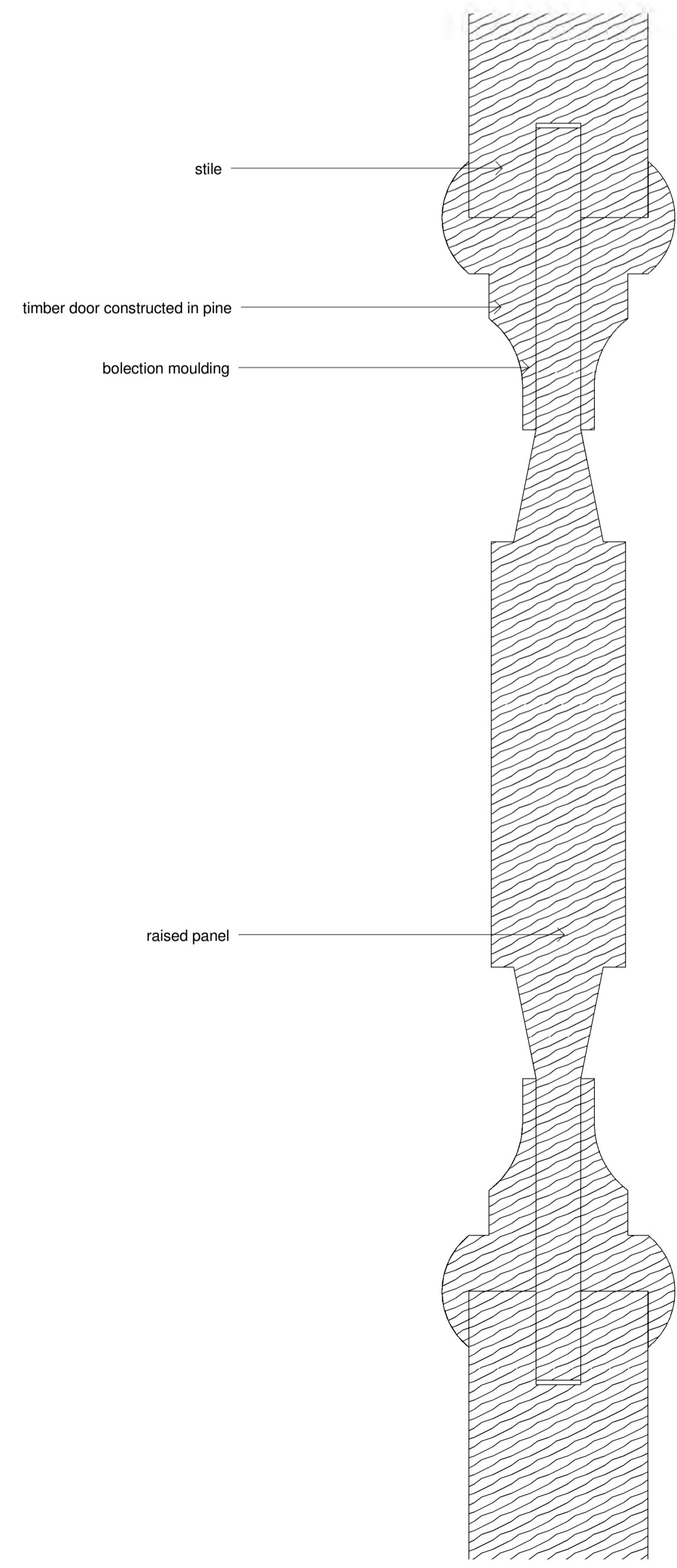


Typical Original Proposed Door Detail Elevation  
 1 : 10

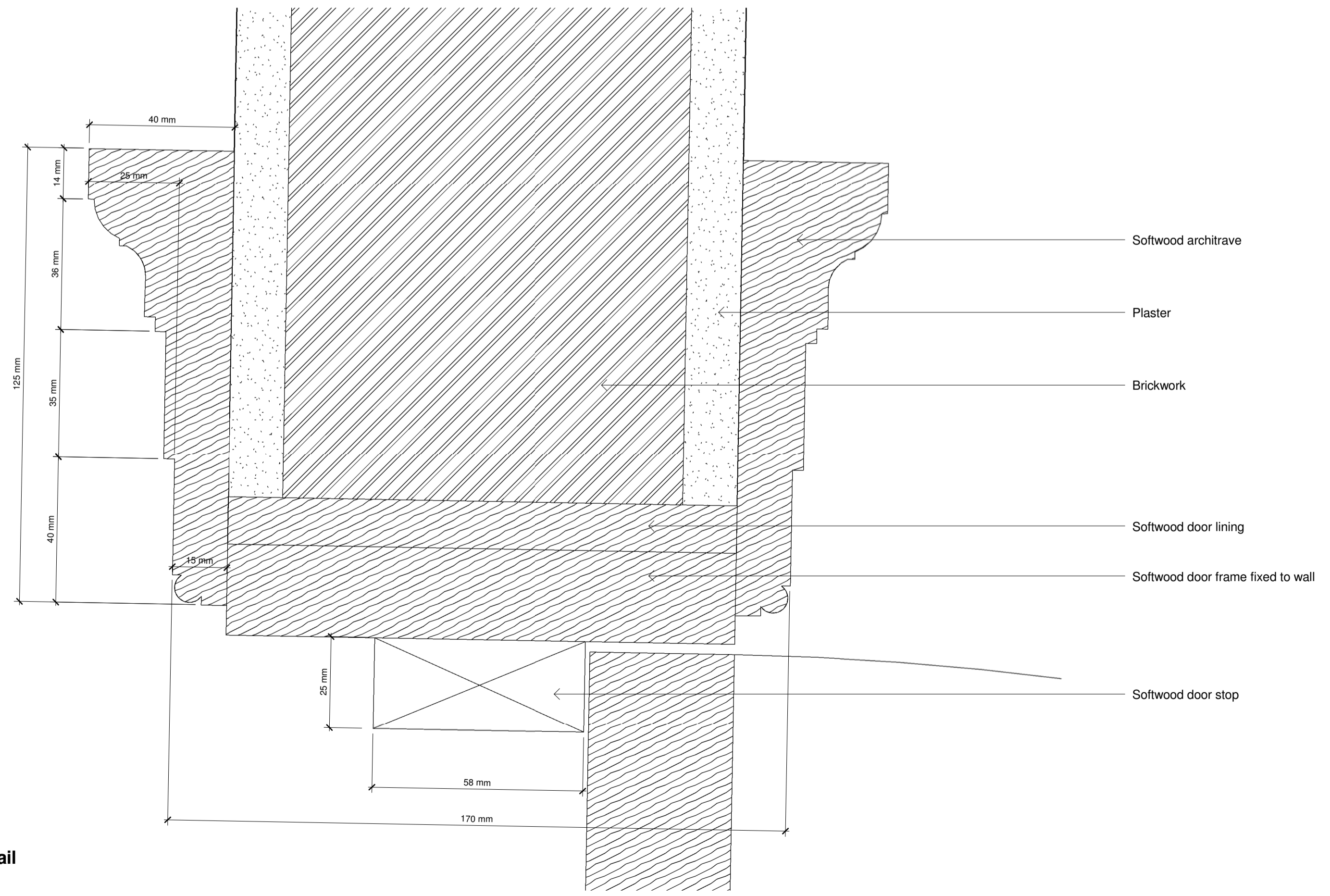
Building regulation height Georgian style door knob  
 Correct door knob position for heritage placement



Typical Original Proposed Door Detail Plan  
 1 : 10



Proposed Door Construction Section Detail  
 1 : 1



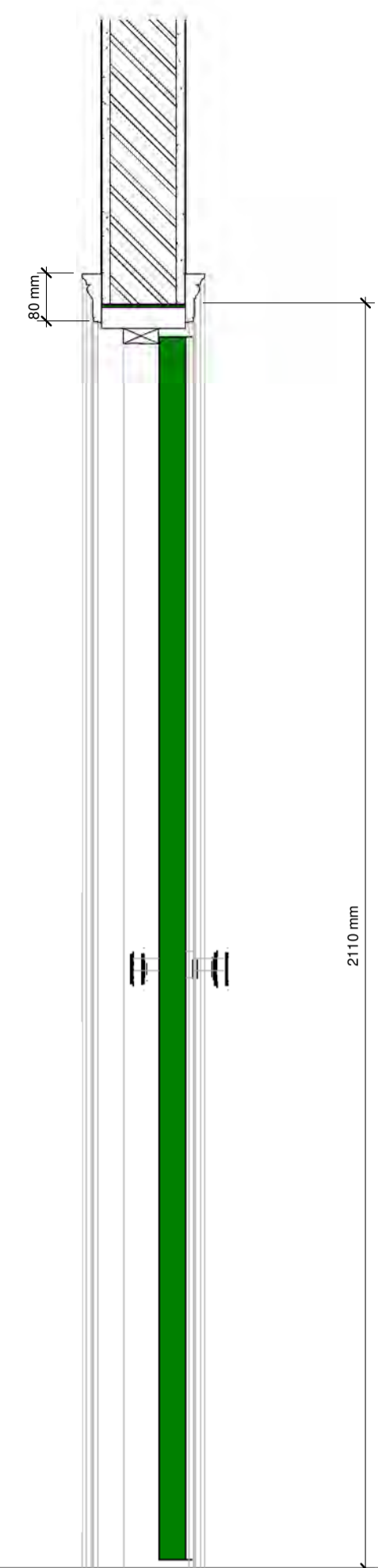
Original Door Architrave Plan Detail  
 1 : 1

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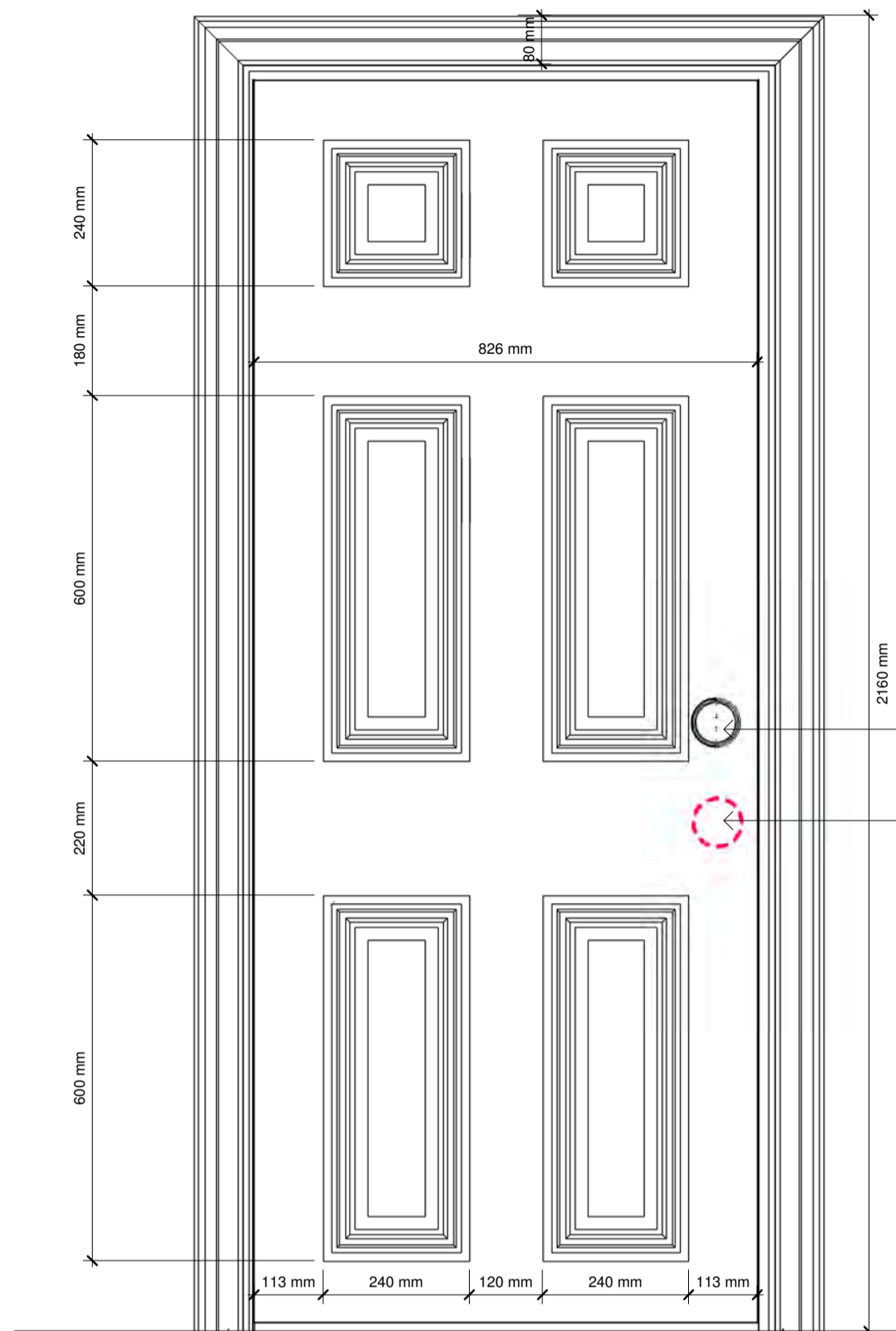
Project Title  
**80 Guilford Street**

Drawing Title  
**Door Details**

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As indicated	A1	CP
08/08/13	Checked	NM
Status	<b>PLANNING</b>	
Project No.	Drawing No.	Revision
<b>3092</b>	<b>6002</b>	<b>E.</b>

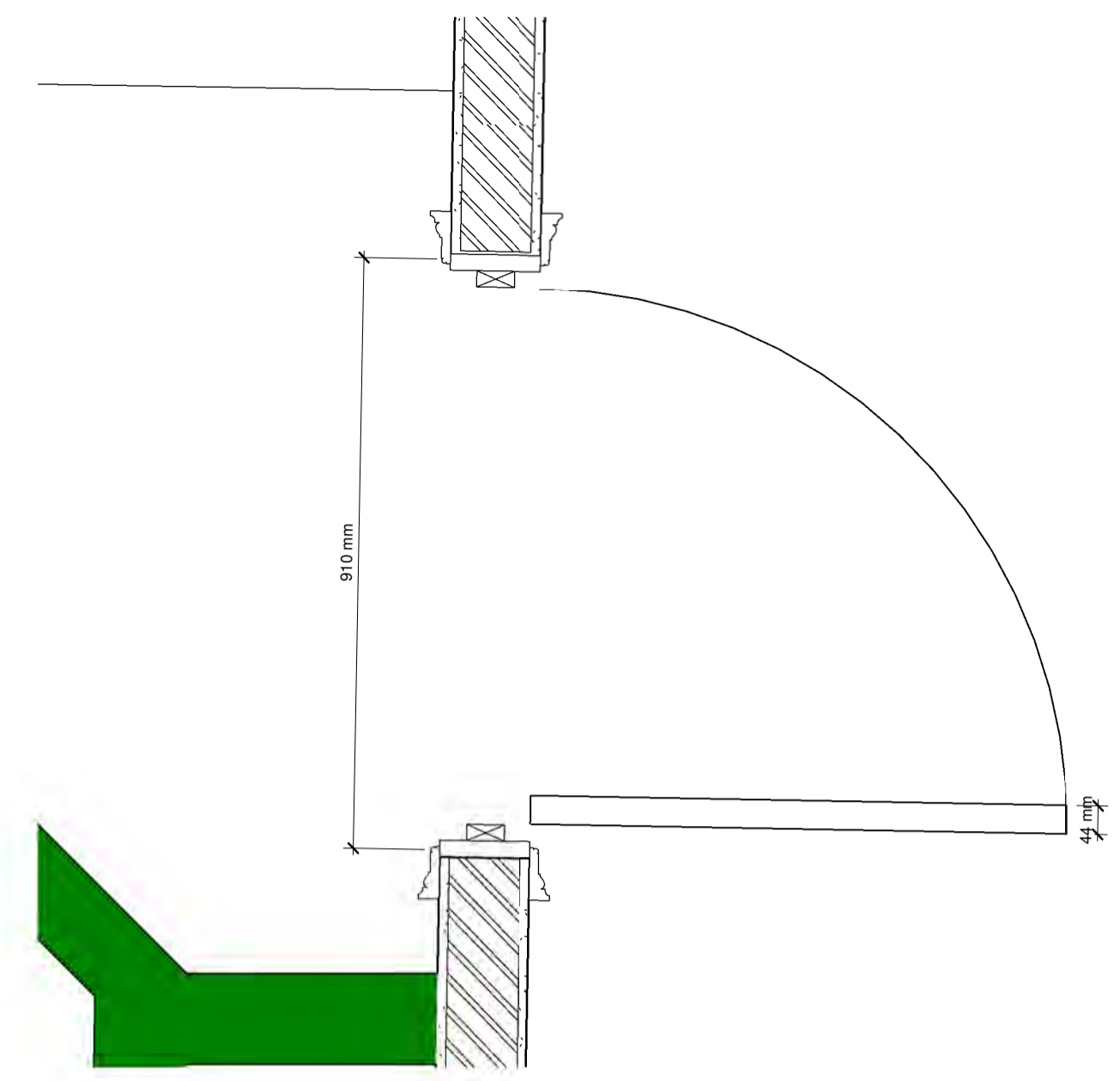


80mm Proposed Door Detail Section  
 1 : 10

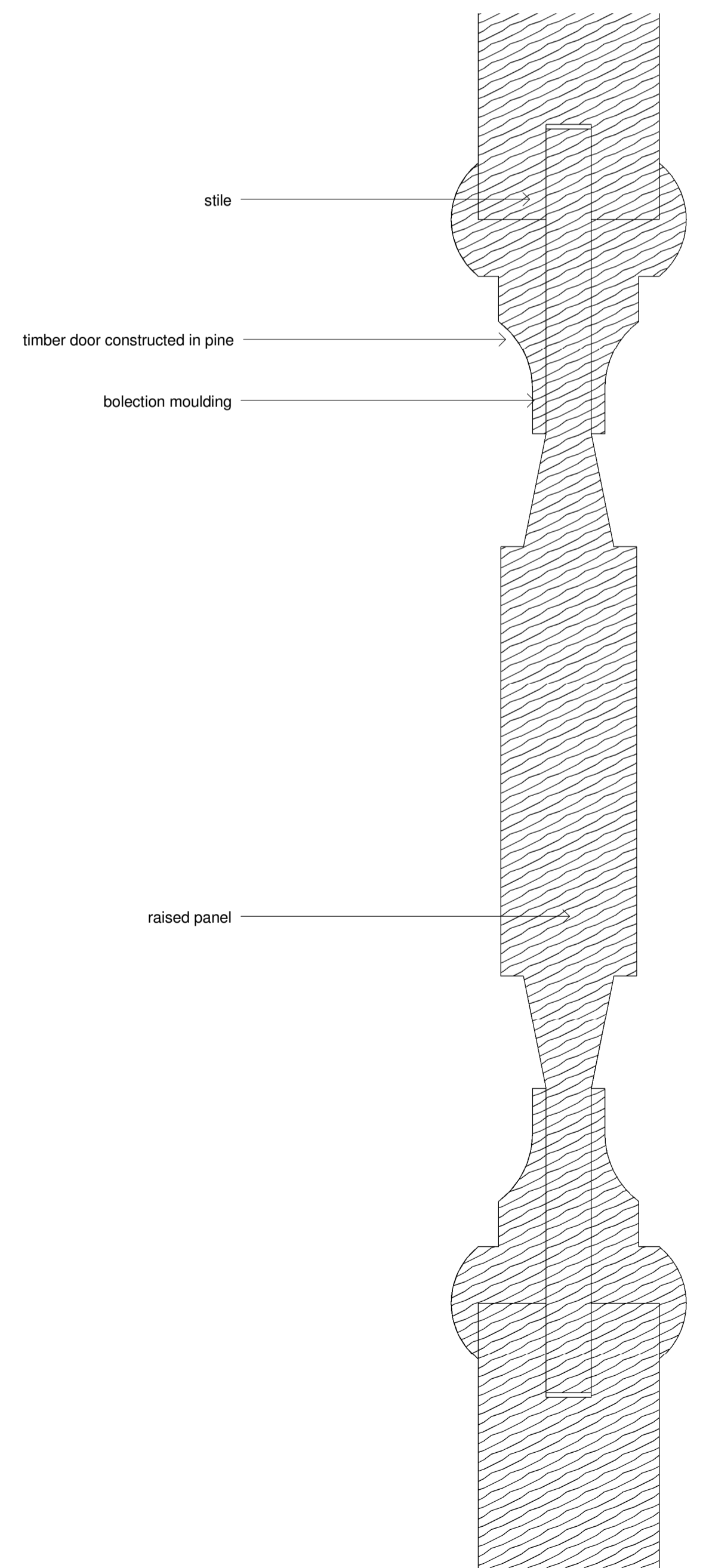


80mm Proposed Door Detail Elevation  
 1 : 10

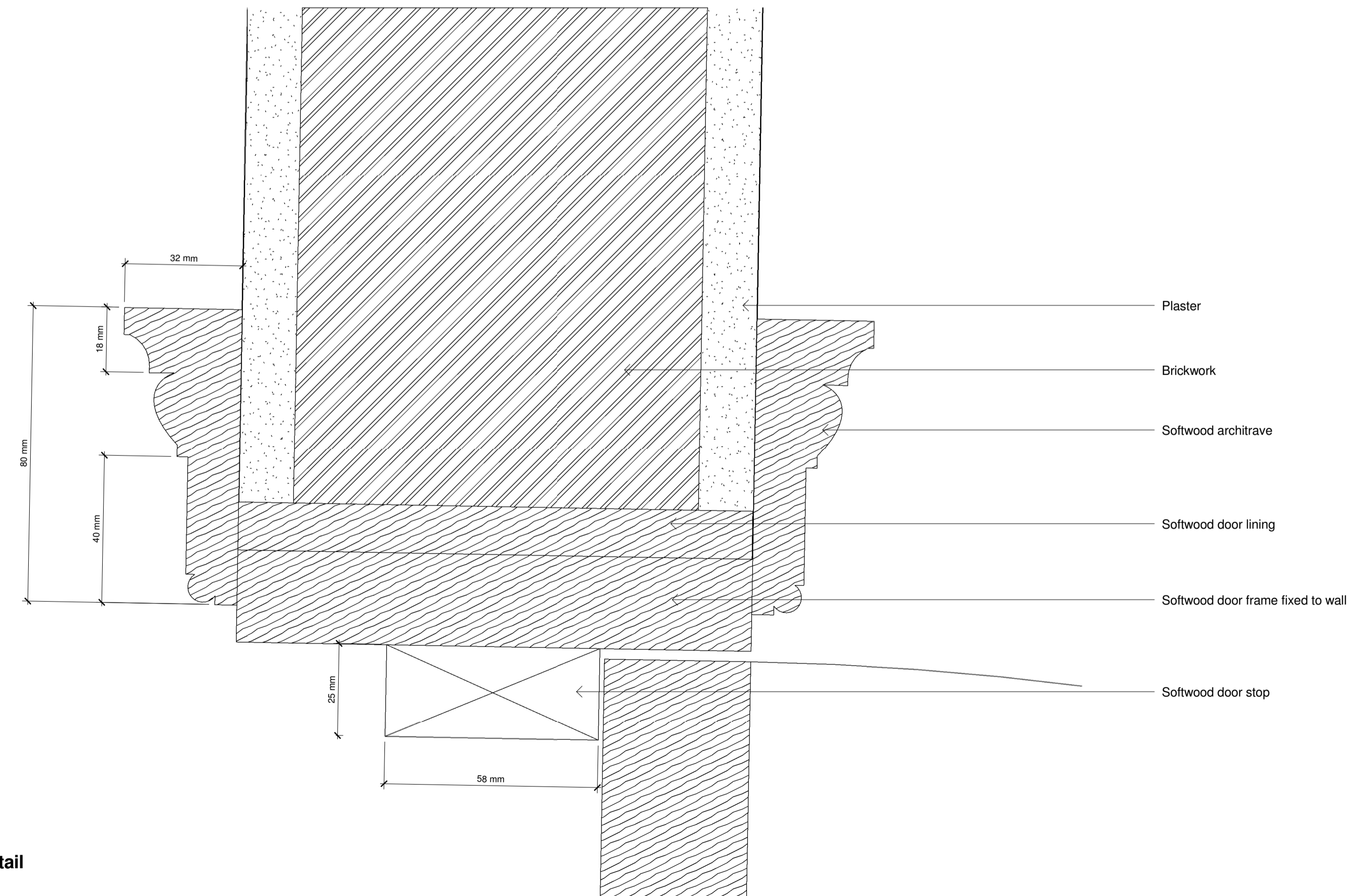
Building regulation height Georgian style door knob  
 Correct door knob position for heritage placement



80mm Proposed Door Detail Plan  
 1 : 10



Proposed Door Construction Section Detail  
 1 : 1



Original Door Architrave Plan Detail  
 1 : 1

Project Title		
80 Guilford Street		
Drawing Title		
Door Details 2		
Scale	Sheet Size	Drawn
As indicated	A1	CP
08/08/13	Checked	NM
Status	PLANNING	
Project No.	Drawing No.	Revision
3092	6003	E1



Exterior front door

Front Door DG-01  
 Existing Door and Fanlight Retained & Refurbished  
 Fanlight glass is to be replaced

Notes  
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Rev	Date	Init	Notes	Chkd

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Project Title  
**80 Guilford Street**

Drawing Title  
**Door images**

Scale Sheet Size Drawn  
 A3 CP

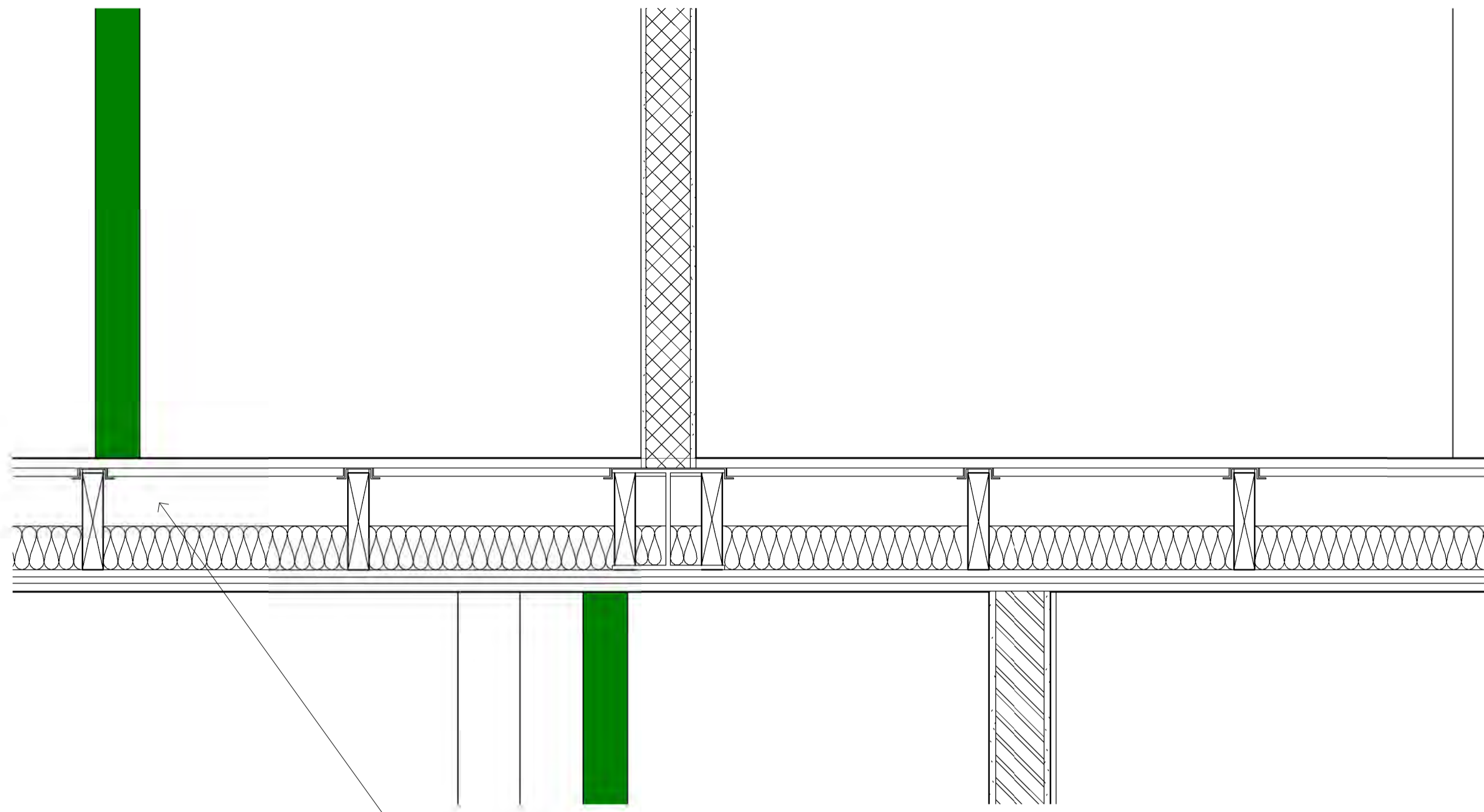
Date Checked  
 08/08/13 NM

Status  
**PLANNING**

Project No.	Drawing No.	Revision
3092	6004	E

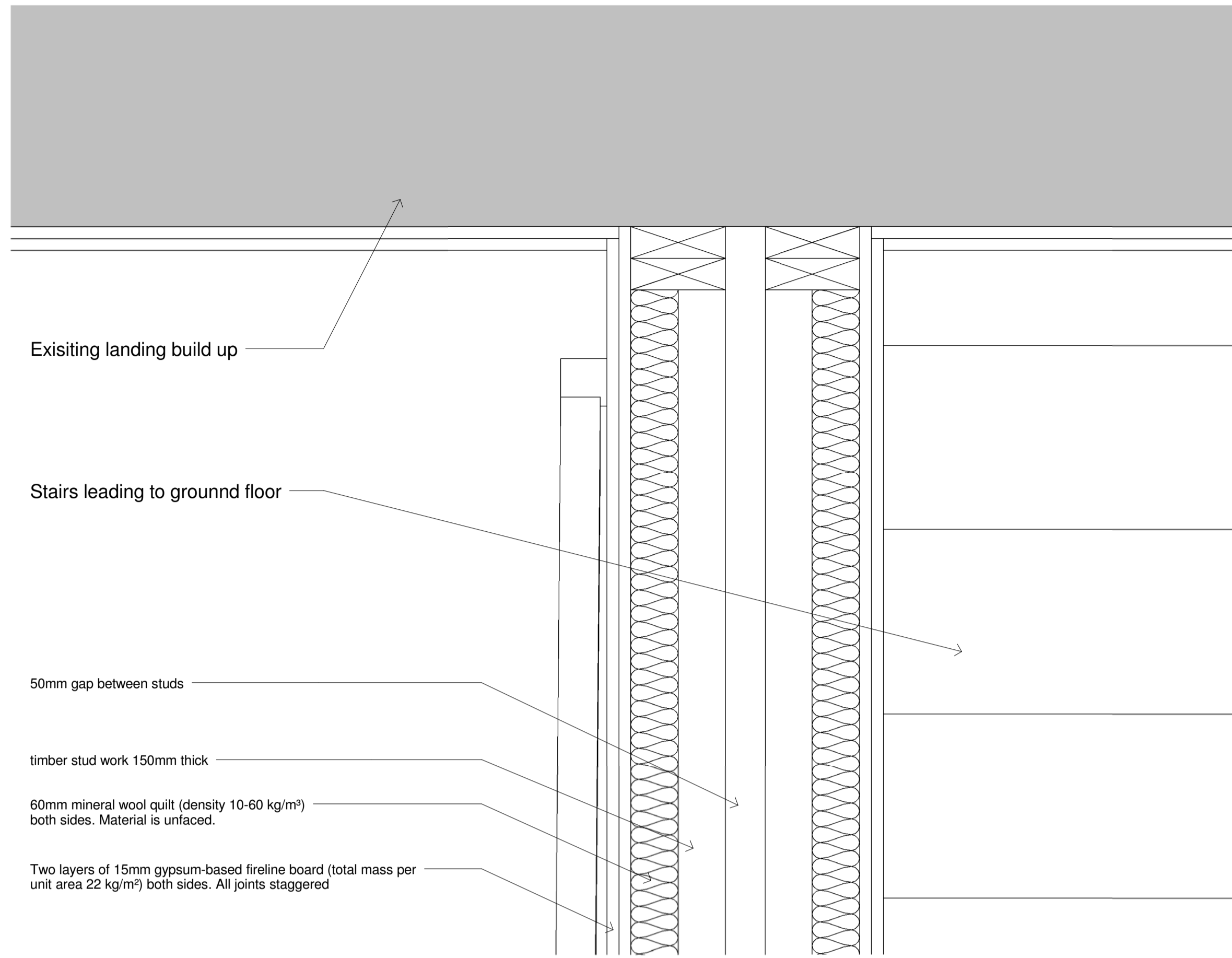
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Rev: 001 Date: 08/13  
 A 16/08/13 CP Comments on planning condition discharge doc NM



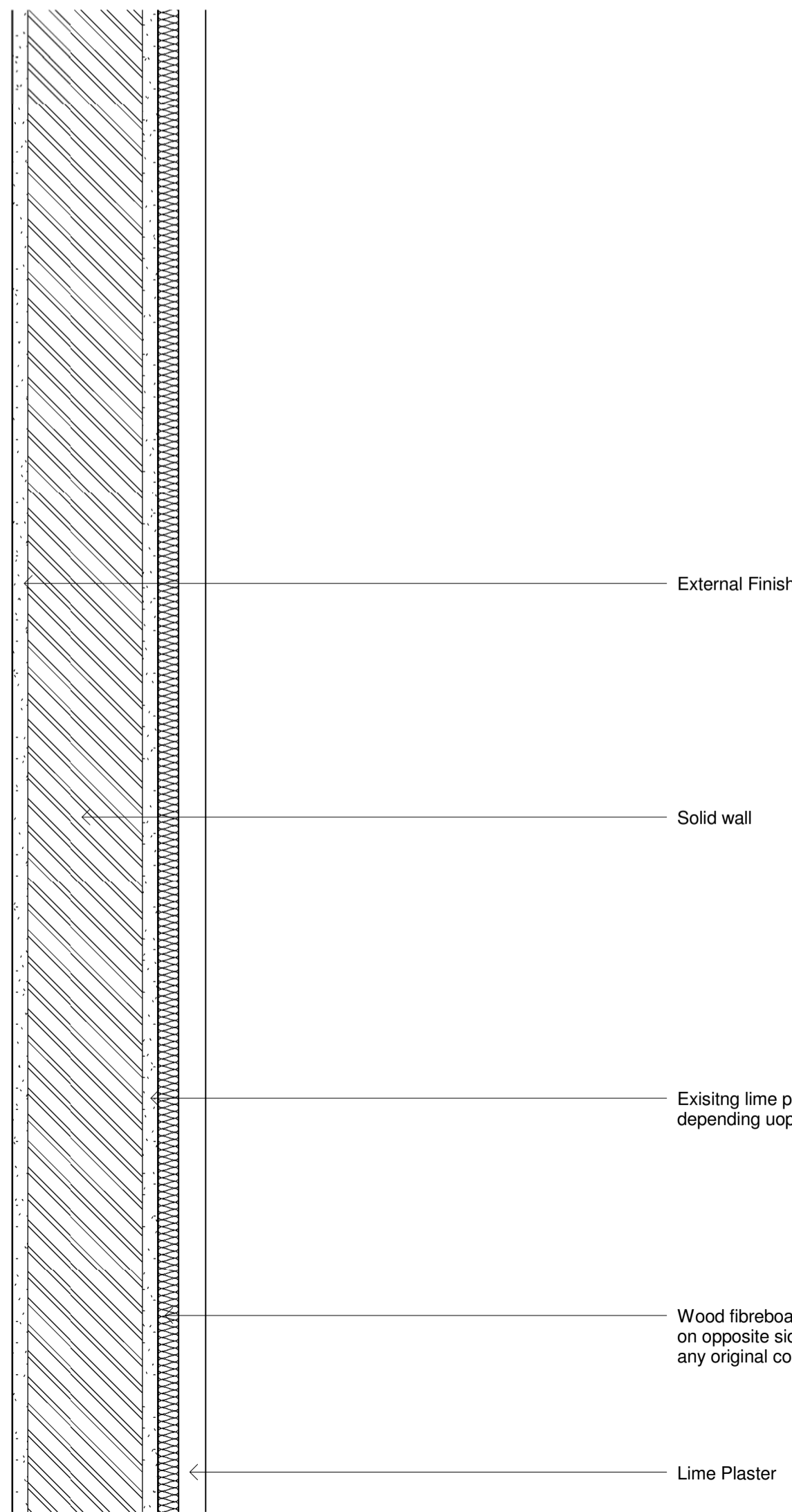
**Proposed floor build up**  
 1 : 10

Floor Construction: 61dB airborne, 56dB impact & 60mins  
 21mm minimum Chipboard or softwood walking surface flooring  
 19mm Gyproc Plank on acoustic resilient floor channels over existing timber joists  
 Discover Spaces Ready-Cut in fill cavity acoustic insulation between existing timber joists  
 Gypframe RB1 Resilient Bars  
 2 layers of 15mm SoundBloc  
 Steel beam to engineers specification design



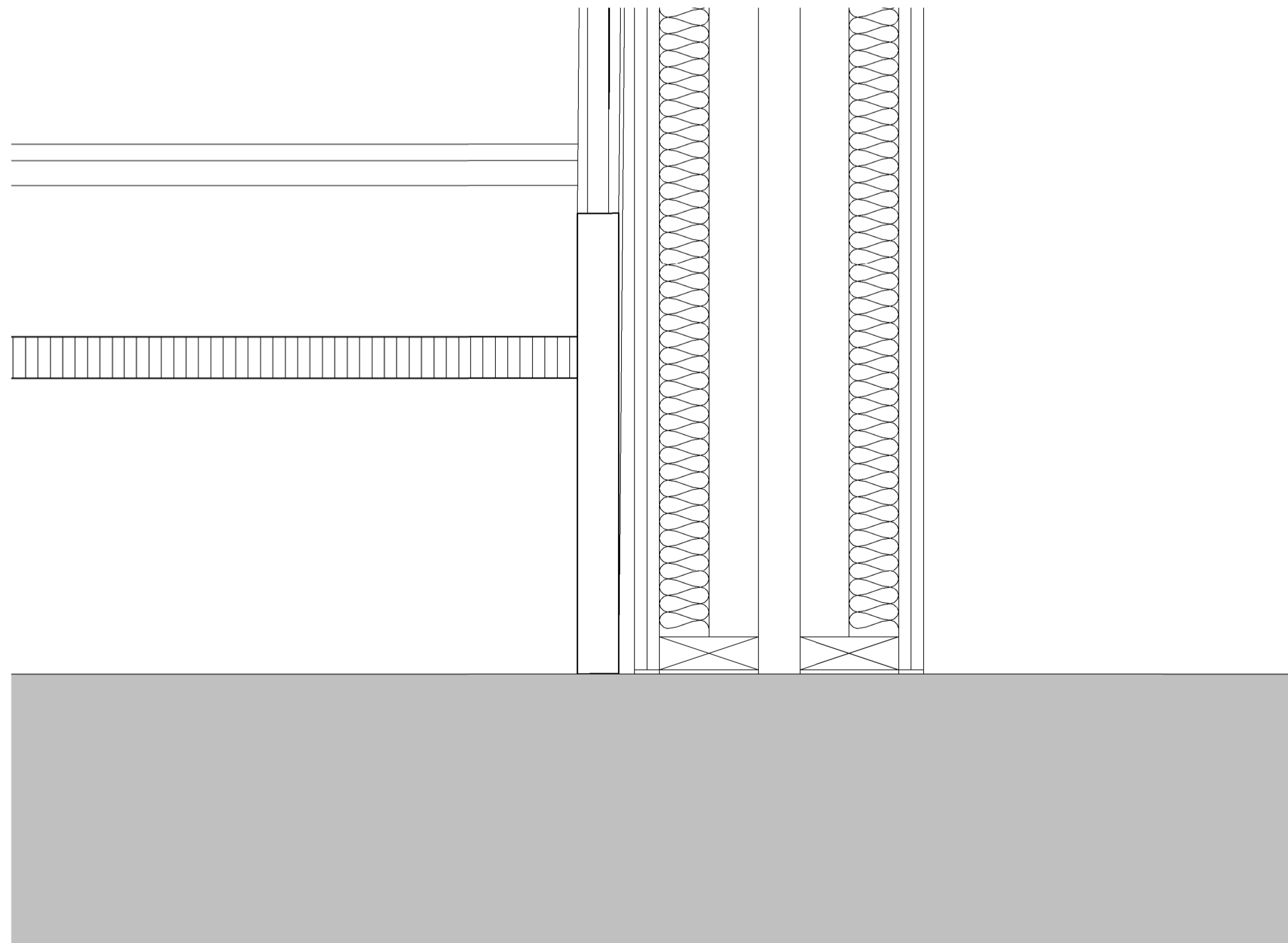
**New Proposed Wall Build Up and Head Detail**  
 1 : 5

Existing landing build up  
 Stairs leading to ground floor  
 50mm gap between studs  
 timber stud work 150mm thick  
 60mm mineral wool quilt (density 10-60 kg/m³) both sides. Material is unfaced.  
 Two layers of 15mm gypsum-based fireline board (total mass per unit area 22 kg/m²) both sides. All joints staggered



**Proposed fire proofing of existing Wall buildup**  
 1 : 5

External Finish  
 Solid wall  
 Existing lime plaster replaced depending upon evenness  
 Wood fibreboard insulation on opposite side of wall to any original corning  
 Lime Plaster



**New Proposed Wall Build Up and Floor Junction**  
 1 : 5

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Project Title  
**80 Guilford Street**

Drawing Title  
**Fire and Acoustic Robust Details**

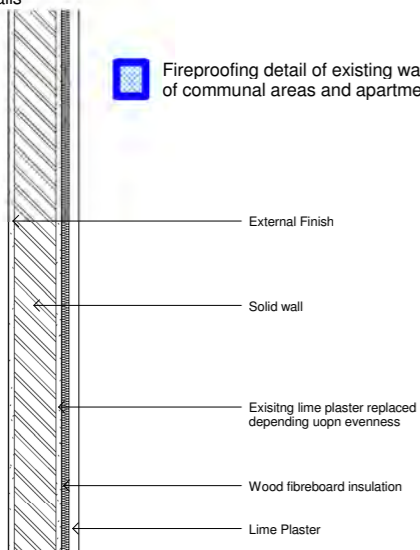
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 As A1 CP  
 Indicated 08/08/13 Checked NM

Status  
**PLANNING**

Project No.	Drawing No.	Revision
3092	6010	E

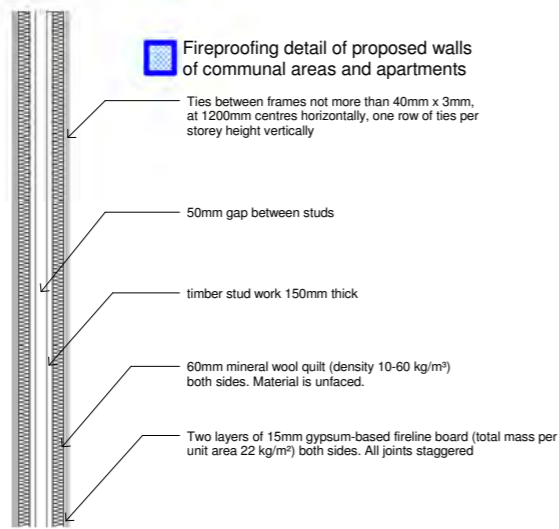
Wall Details

Fireproofing detail of existing walls of communal areas and apartments



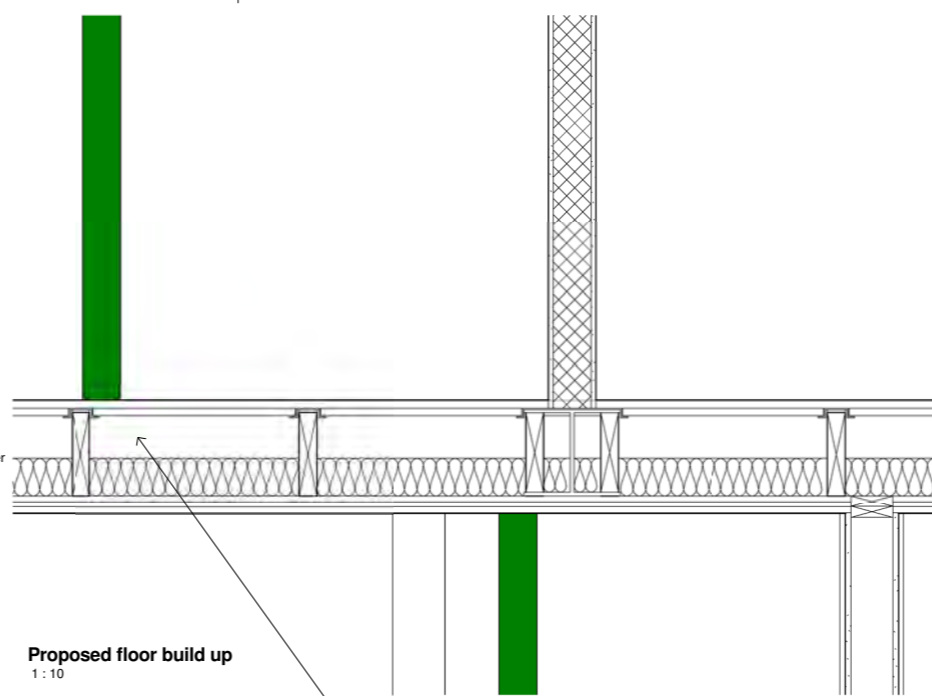
Proposed fire proofing of existing Wall build up  
1 : 10

Fireproofing detail of proposed walls of communal areas and apartments



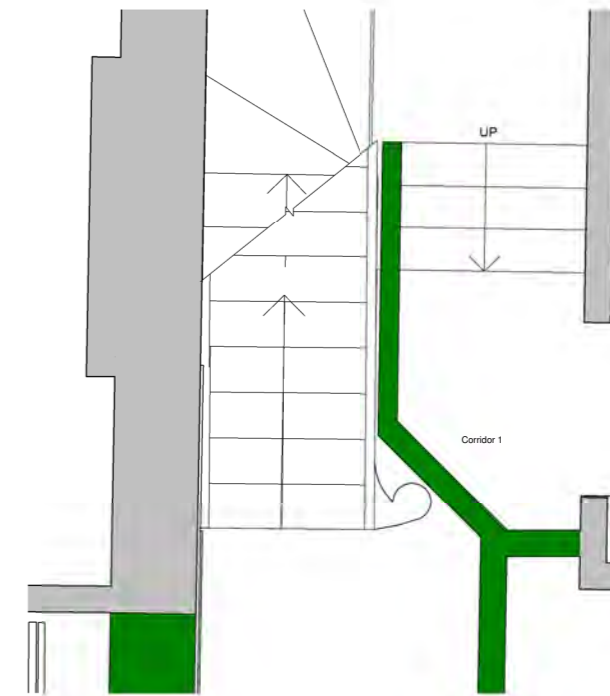
New proposed wall build up  
1 : 20

Note: Proposed fire proofing of existing Wall build up is the proposed front wall build up (seen in plan below).



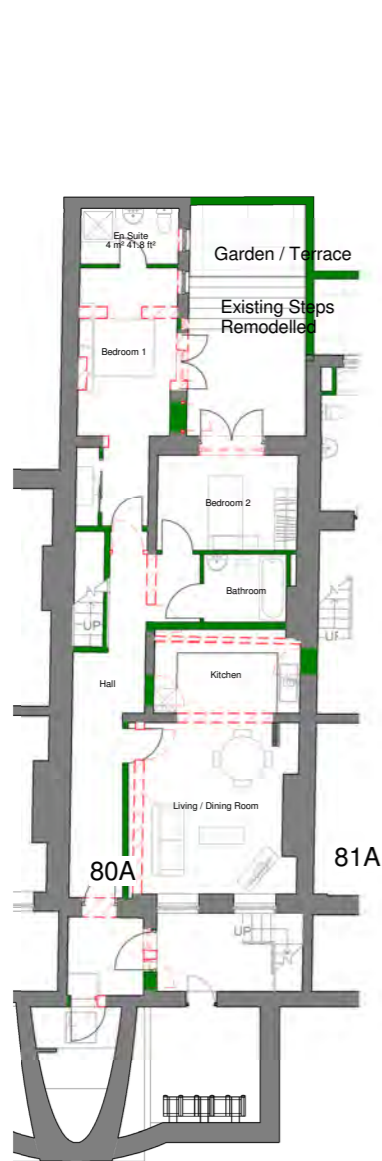
Proposed floor build up  
1 : 10

Floor Construction: 61dB airborne, 56dB impact & 60mins  
21mm minimum Chipboard or softwood walking surface flooring  
19mm Gyproc Plank on acoustic resilient floor channels over existing timber joists  
Discover Spaces Ready-Cut in fill cavity acoustic insulation between existing timber joists  
Gyproframe RB1 Resilient Bars  
2 layers of 15mm SoundBloc  
Steel beam to engineers specification design

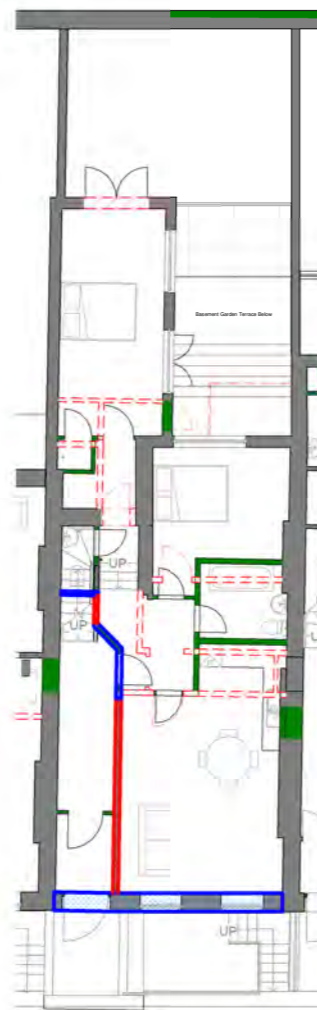


Retained Newell Post  
1:20

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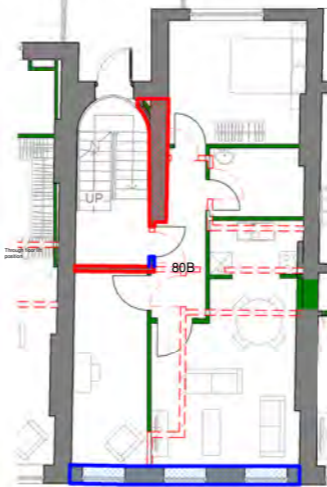


Basement Floor (Wall details)  
1:100

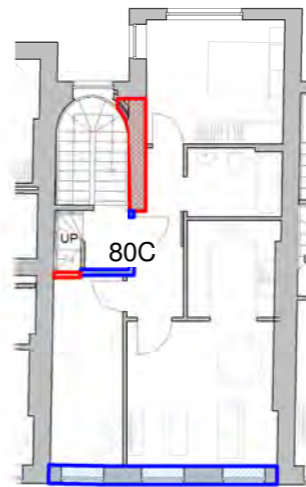


Ground Floor (Wall details)  
1:100

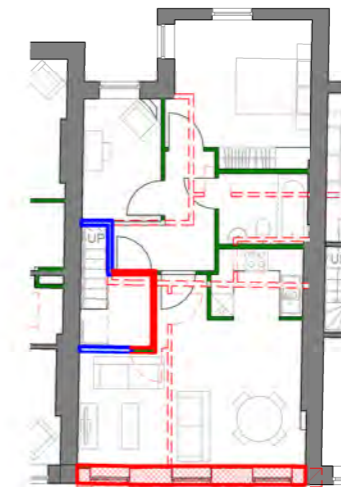
**KEY:**  
 Fireproofing of existing walls see wall details  
 New walls around communal circulation complying with fire regulations



First Floor (Wall details)  
1:100



Second Floor (Wall details)  
1:100



Third Floor (Wall details)  
1:100

**Note:**  
The underside of the communal ground to first floor stair will be fireproofed with two layers of 15mm gypsum-based fireline board (total mass per unit area 22 kg/m<sup>2</sup>) to comply with fire regulations.

**Note:**  
All floors to be fire proofed as the above detail using 2 layers of 15mm SoundBloc

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Project Title  
**80 Guilford Street**

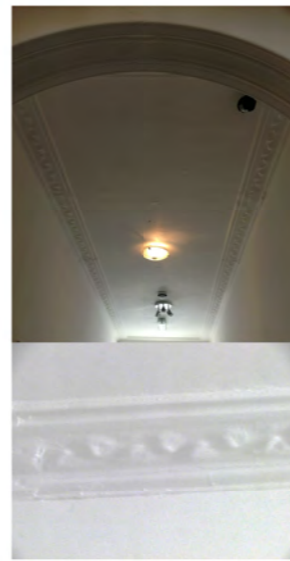
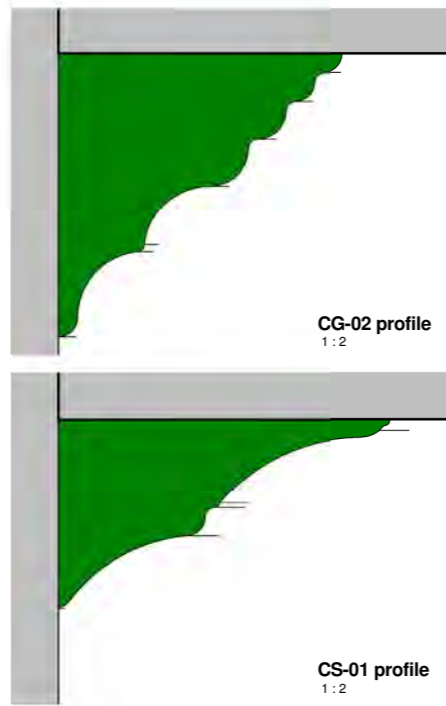
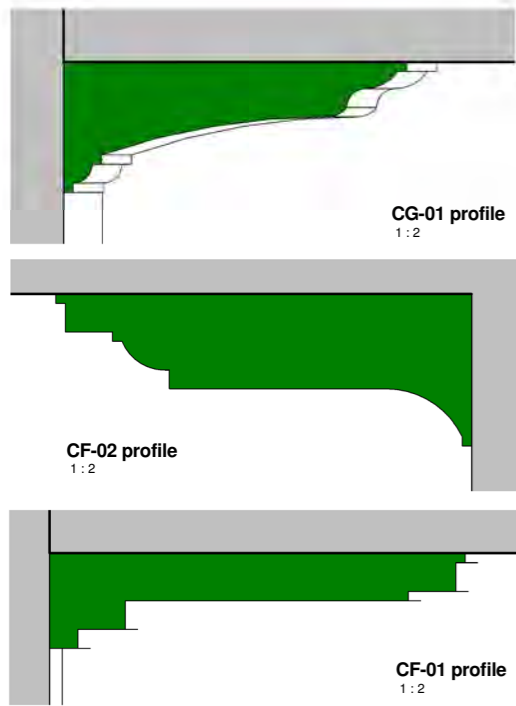
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08/08/13		Checked
		NM

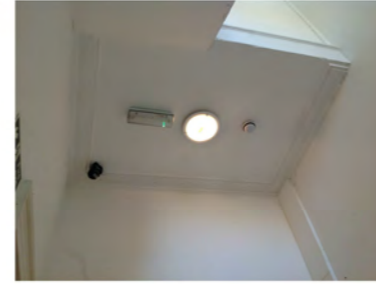
Status  
**PLANNING**

Project No.	Drawing No.	Revision
3092	6011	F





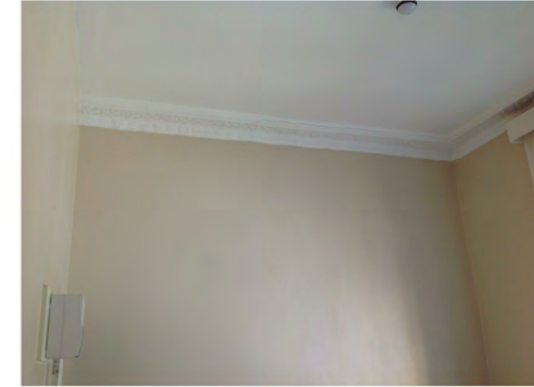
Cornice CG-01



Cornice CF-01



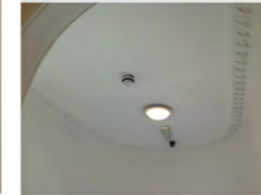
Cornice CG-01



Cornice CG-02



Cornice CS-01



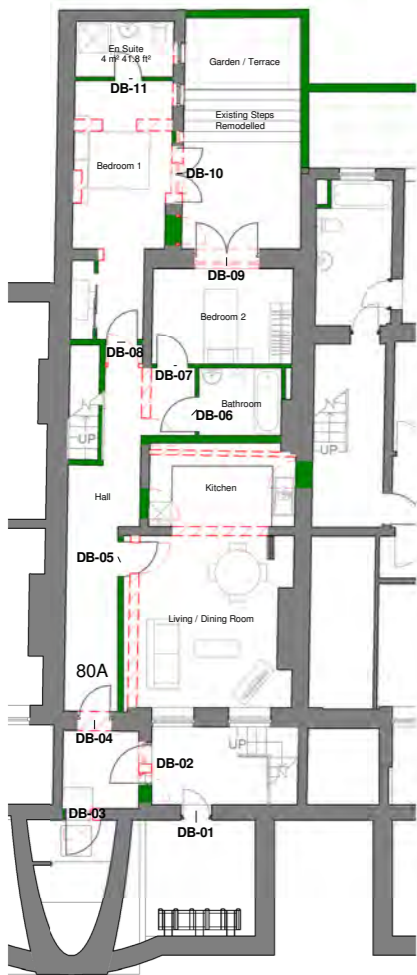
Cornice CF-02



Cornice CF-02

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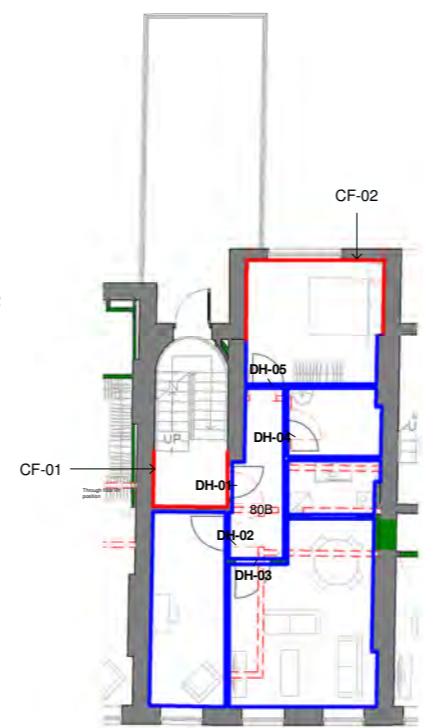
**KEY:**  
 — Original cornice location to be retained  
 — New cornice location



Basement Floor (Cornice details)  
1:100



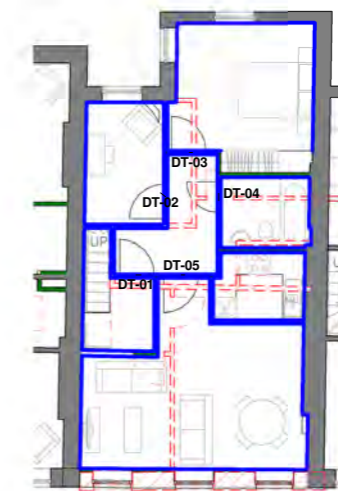
Ground Floor (Cornice details)  
1:100



First Floor (Cornice details)  
1:100



Second Floor (Cornice details)  
1:100



Third Floor (Cornice details)  
1:100

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Project Title  
**80 Guilford Street**

Drawing Title  
**Cornice location plans**

Scale	Sheet Size	Drawn
As indicated	A1	CP
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Status <b>PLANNING</b>		
Project No.	Drawing No.	Revision
3092	6020	F

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Rev. Date: 08/08/13  
 A 26/09/13 CP Skirting Amendments NM



Archway and moulding in hall to be retained



Archway and moulding in hall to be retained



Dado railing profile 1 on stairs



Dado railing profile 1 on stairs



Skirting on stair



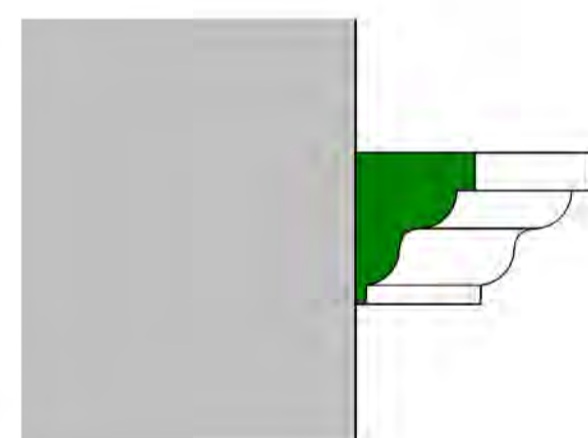
Dado railing profile 3



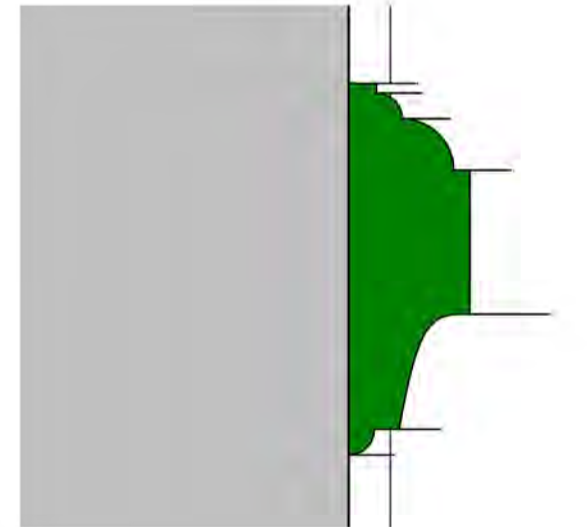
Dado railing profile 2



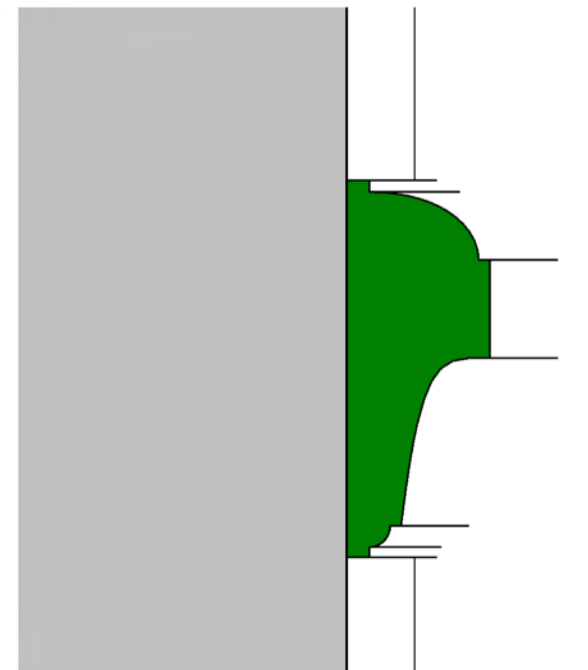
Dado railing profile 3



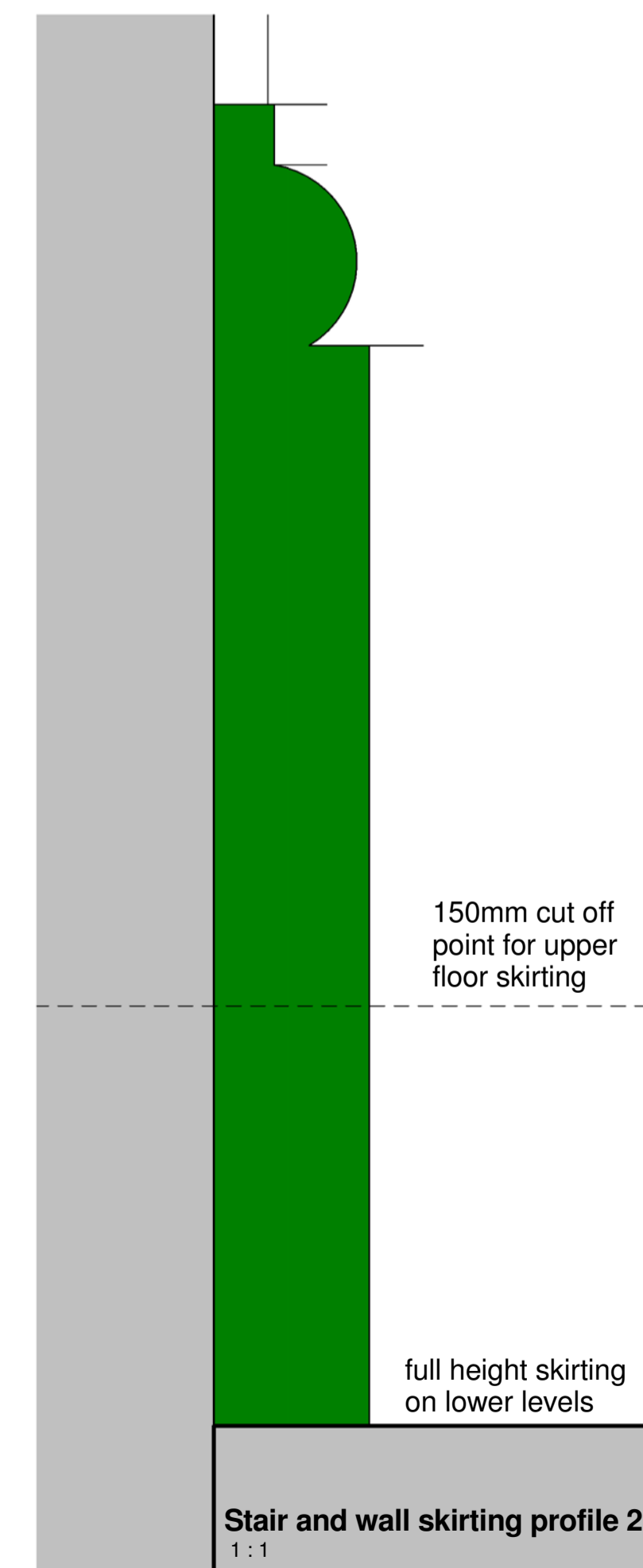
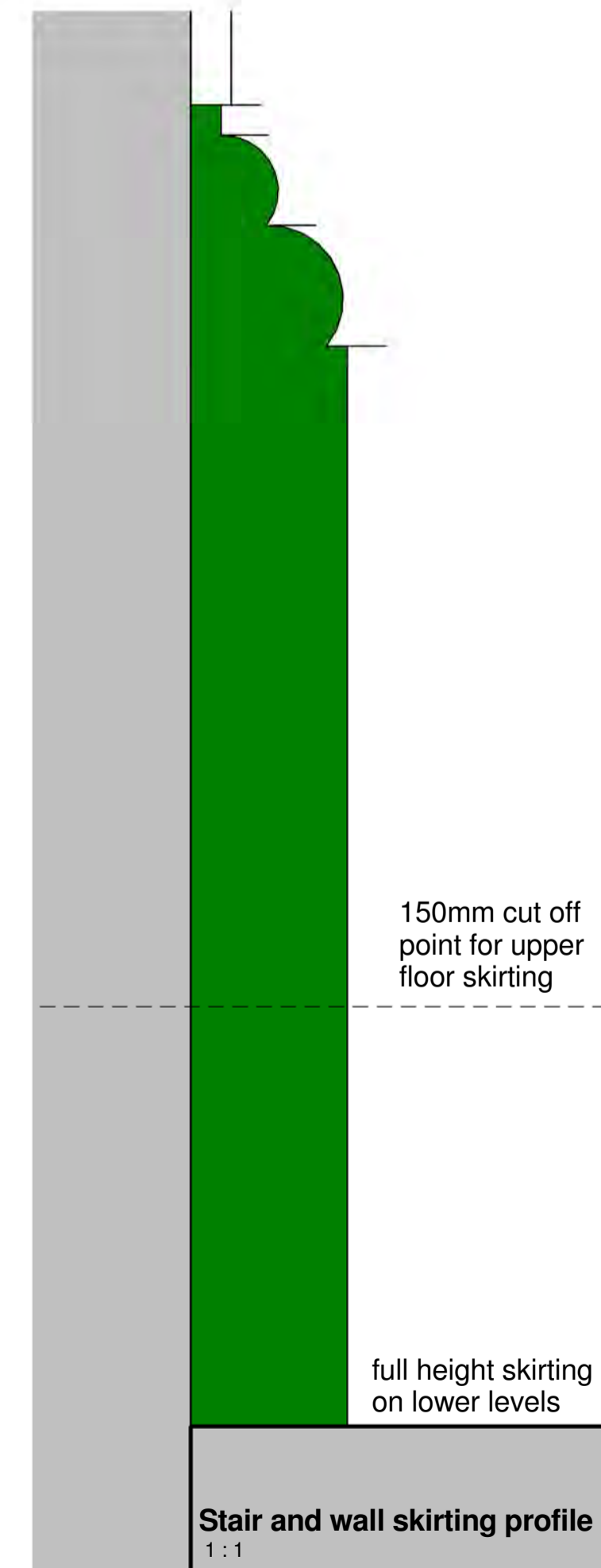
Stair landing and hall dado profile 1  
1 : 1



Stair landing and hall dado profile 2  
1 : 1



Stair landing and hall dado profile 3  
1 : 1



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Project Title		
80 Guilford Street		
Drawing Title		
Dado and Skirting Details		
Scale	Sheet Size	Drawn
1 : 1	A1	CP
Date	Checked	
08/08/13	NM	
Status		
PLANNING		
Project No.	Drawing No.	Revision
3092	6021	E

**KEY:**

- Proposed skirting placement
- Retained skirting placement

**Note:**

Skirting to be installed (as Skirting Profile 2 on Drawing 6021) around the full extent of all rooms, corridors and halls, except stores and WC/bathrooms to replace that which does match one of the two profiles on drawing 6021 or where no skirting is present.

Existing skirting around the stairs to be retained.

Existing skirting matching the profiles shown on drawing 6021 to be retained.

Full height skirting will be used on Ground Floor, First Floor and Second Floor.

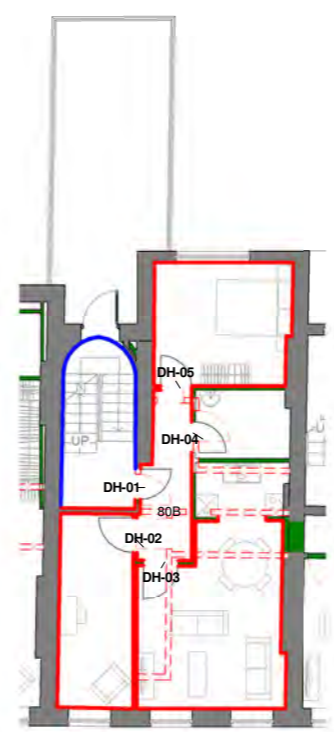
Lower height skirting will be used in the Basement and Third Floor.



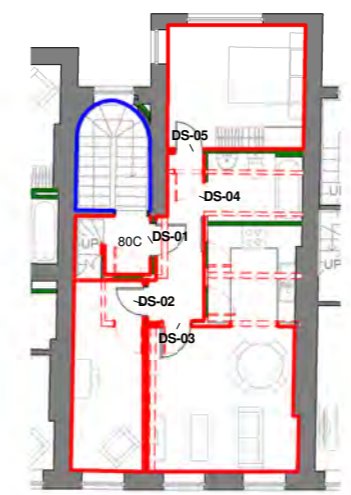
Basement Floor (Skirting details)  
1:100



Ground Floor (Skirting details)  
1:100



First Floor (Skirting details)  
1:100



Second Floor (Skirting details)  
1:100



Third Floor (Skirting details)  
1:100

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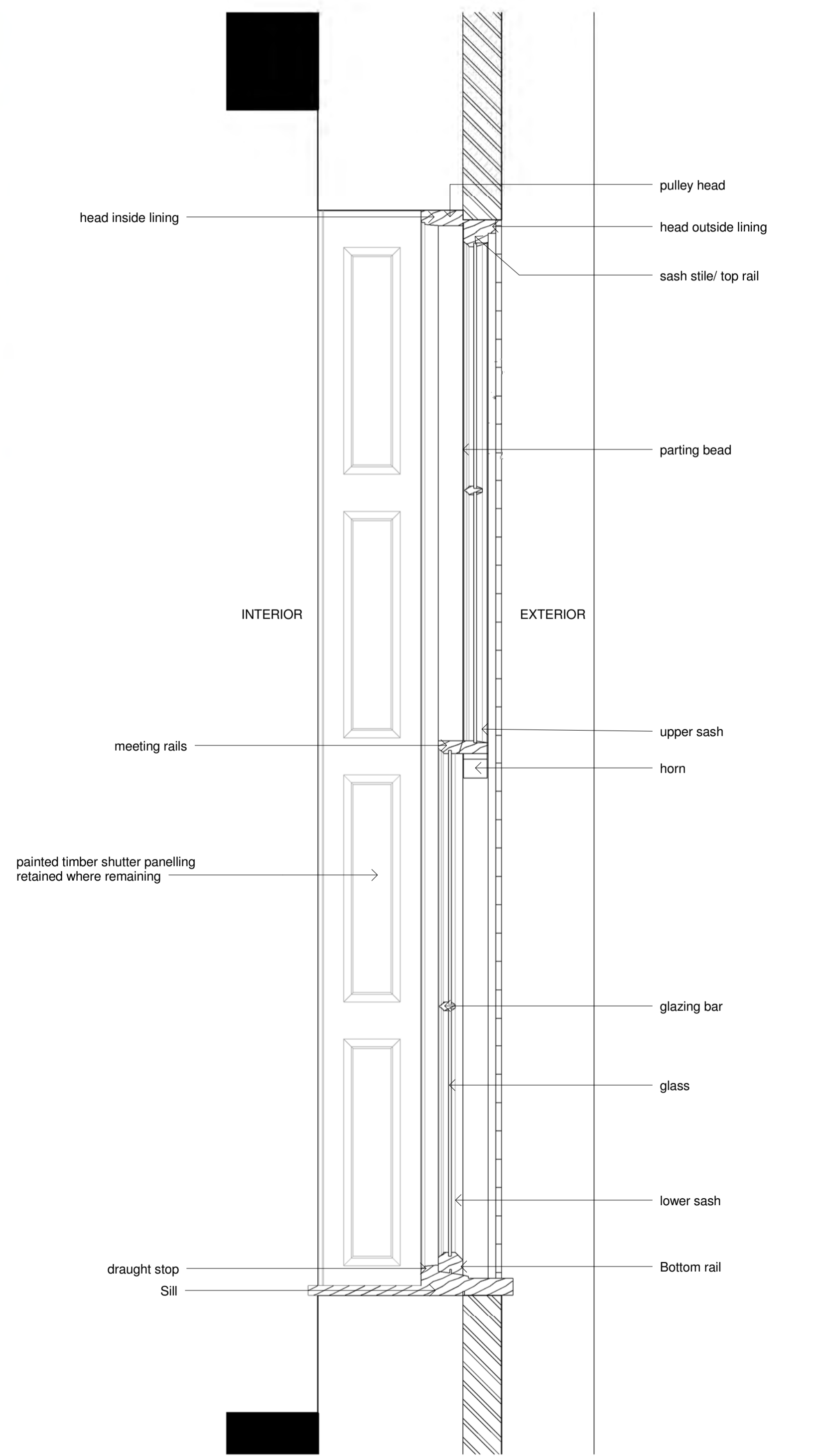
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Project Title		
80 Guilford Street		
Drawing Title		
Skirting placement plans		
Scale	Sheet Size	Drawn
1 : 100	A1	CP
Date	Checked	
08/08/13	NM	
Status		
PLANNING		
Project No.	Drawing No.	Revision
3092	6022	F

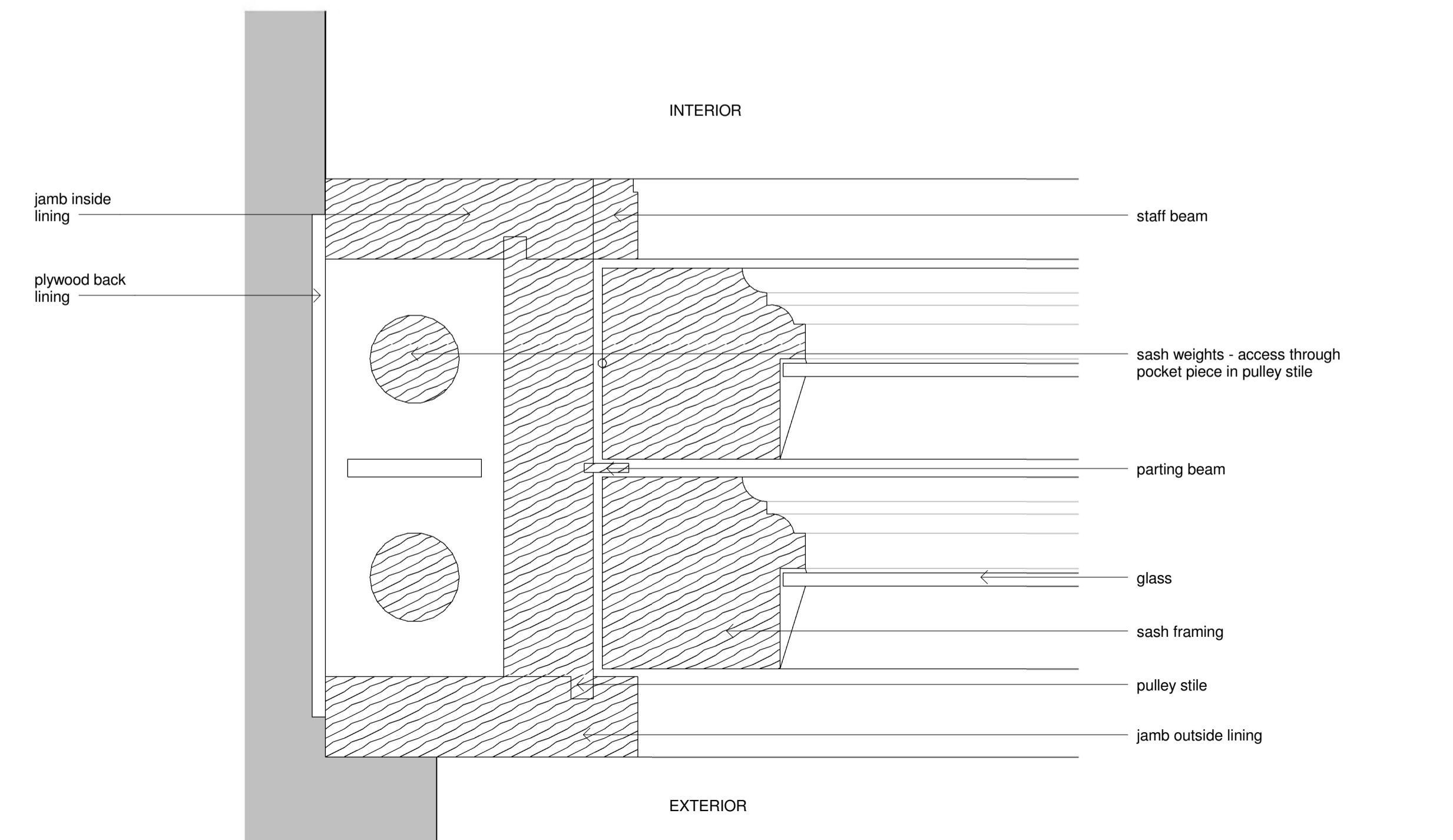


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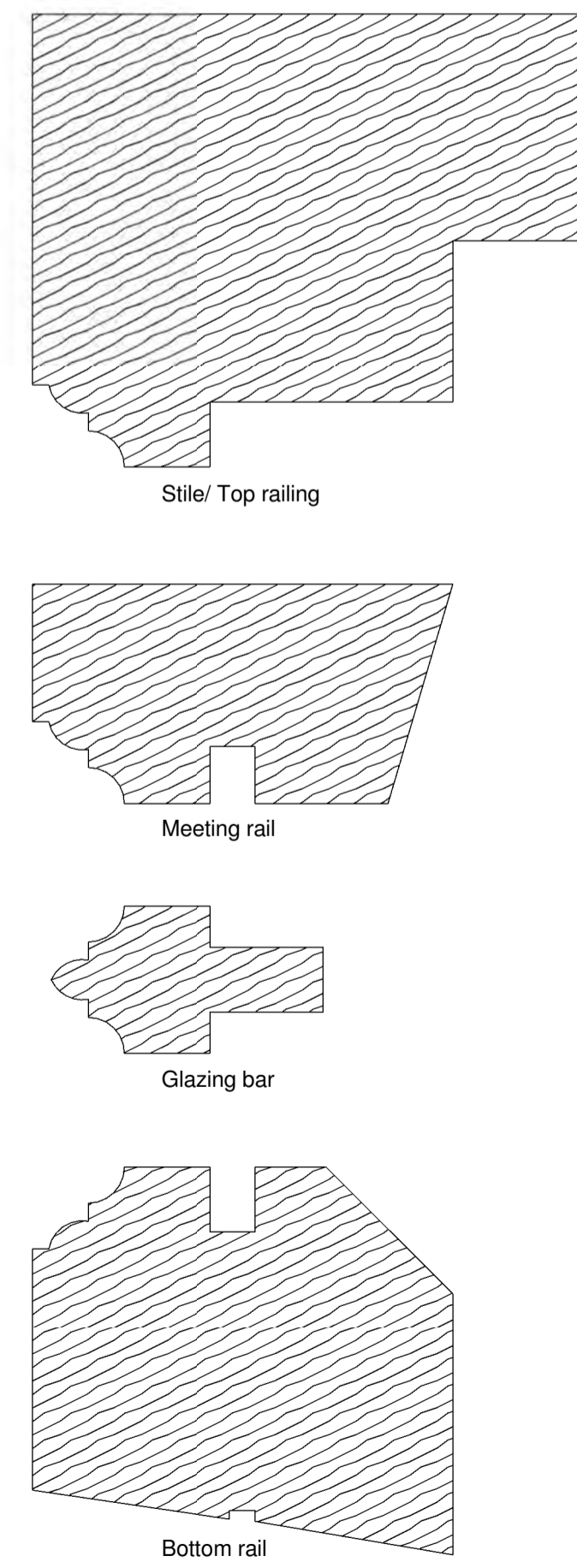
See also: CP 100  
 A 16/08/13 CP Comments on planning condition discharge doc NM



Note: See Planning Condition Report for Planning Condition 5 for installation and specification of proposed windows



**Box Sash Window Jamb Plan Detail**  
 1:1



**Georgian window sash components profiles**  
 1:1

**Box sash sectional detail**  
 1:10

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Project Title		
<b>80 Guilford Street</b>		
Drawing Title		
<b>Window Details</b>		
Scale	Sheet Size	Drawn
As indicated	A1	CP
08/08/13	Checked	NM
Status	<b>PLANNING</b>	
Project No.	Drawing No.	Revision
<b>3092</b>	<b>6040</b>	<b>E1</b>

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**Front Elevation**  
 1 : 50

**Note:**  
 All windows to be assessed in detail to determine the current levels of usability. Elements of the box sash windows will be replaced as and where required.



Window WG-03



Windows WS-01 and WT-01



Window WH-01



Window WG-01



Windows WG-01 and WG-02



Front of 80 Guilford Street



Window WB-01



Window WB-02



Window WG-01



Upper level windows

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Project Title		
<b>80 Guilford Street</b>		
Drawing Title		
<b>Window works</b>		
Scale	Sheet Size	Drawn
1 : 50	A1	CP
Date	Checked	
08/08/13	NM	
Status		
<b>PLANNING</b>		
Project No.	Drawing No.	Revision
<b>3092</b>	<b>6041</b>	<b>F</b>



Window WT-05



Window WB-03



Window WS-01



Window WT-03



Window WT-04

Window Schedule	
Mark	Comments
WB-01	Window to be replaced with box sash window with laminated glazing system
WB-02	Window to be replaced with box sash window with laminated glazing system
WB-03	Window to be replaced with French Doors
WB-04	Window to be replaced with French Doors
WB-05	Window to be removed
WB-06	New Window
WB-07	New Window
WG-01	Window to be replaced with box sash window with laminated glazing system
WG-02	Window to be replaced with box sash window with laminated glazing system
WG-03	Window to be repaired
WG-04	Window to be replaced with box sash window with laminated glazing system
WG-05	Window to be replaced with box sash window with laminated glazing system
WH-01	Window to be replaced with box sash window with laminated glazing system
WH-02	Window to be replaced with box sash window with laminated glazing system
WH-03	Window to be replaced with box sash window with laminated glazing system
WH-04	Window to be repaired
WS-01	Window to be replaced with box sash window with laminated glazing system
WS-02	Window to be replaced with box sash window with laminated glazing system
WS-03	Window to be replaced with box sash window with laminated glazing system
WS-04	Window to be replaced with box sash window with laminated glazing system
WS-05	Window to be replaced with box sash window with laminated glazing system
WS-06	Window to be replaced with box sash window with laminated glazing system
WT01	Window to be replaced with box sash window with laminated glazing system
WT02	Window to be replaced with box sash window with laminated glazing system
WT03	Window to be replaced with box sash window with laminated glazing system
WT04	Window to be replaced with box sash window with laminated glazing system
WT05	Window to be replaced with box sash window with laminated glazing system
WT06	Window to be replaced with box sash window with laminated glazing system

Note:  
All windows to be assessed in detail to determine the current levels of usability.  
Elements of the box sash windows will be replaced as and where required.

Note: See drawings 6042 and 6041 for window references

Note: Laminated Glazing System - 6mm pane and 4mm pane.

Note: All items to be checked on site

Note: All windows to be refurbished side stiles / bottom rails / cills / sash ropes and pulleys all to be replaced.



Windows WS-02 and WS-03



3rd floor rear side window



Window WB-01



2nd floor rear side window



Window WH-04 and rear 1st floor side window



Window WH-04

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Rev. Date Iss. Notes  
A 26/09/13 CP Window Amendments NM

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Project Title  
**80 Guilford Street**

Drawing Title  
**Window Images**

Scale	Sheet Size	Drawn
	A1	CP
Date	Checked	
08/08/13	NM	

Status  
**PLANNING**

Project No.	Drawing No.	Revision
3092	6043	F



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Rev	Date	Init	Notes	Chkd

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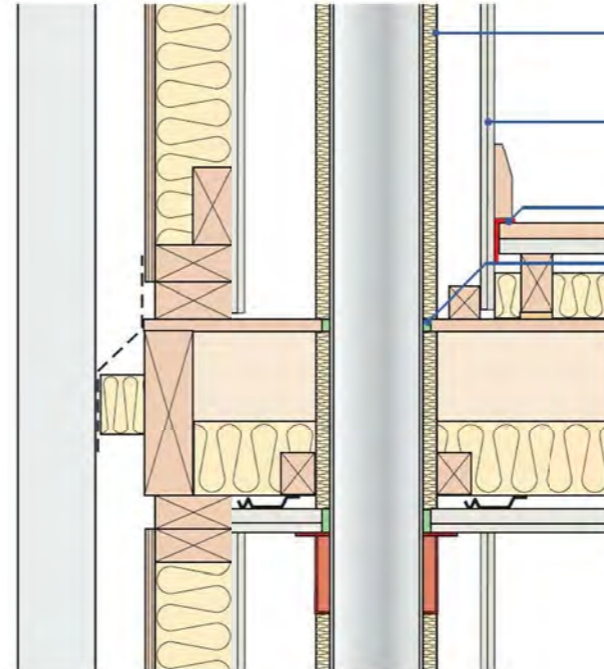
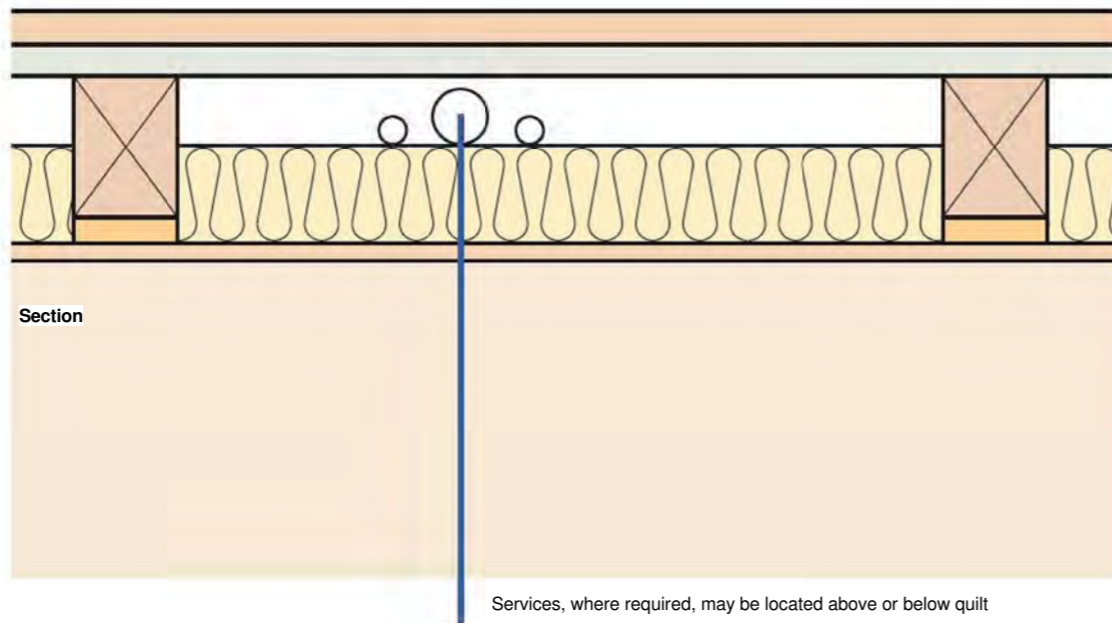
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Project Title		
80 Guilford Street		
Drawing Title		
Fire Places		
Scale	Sheet Size	Drawn
	A3	CP
Date	Checked	
08/14/13	NM	
Status		
PLANNING		
Project No.	Drawing No.	Revision
3092	6050	E

Note: All fireplaces retained in situ. Cleaned and refurbished where necessary.

Sections showing services integrated into robust details



- 25 mm mineral wool quilt (10-36 kg/m<sup>3</sup>) around pipe
- Pipe boxed in with two layers of gypsum-based board combined nominal 16 kg/m<sup>2</sup>
- 5mm resilient flanking strip
- All voids around pipe sealed

- FFT1 - Resilient composite deep batten system for E-FT-1**
- 18 mm t&g flooring board
  - gypsum-based board nominal 13.5 kg/m<sup>2</sup>
  - FFT-1 resilient composite deep battens
  - resilient layer must be continuous and pre-bonded to batten
  - mineral wool quilt laid between battens
  - ensure any services do not bridge the resilient layer

KEY

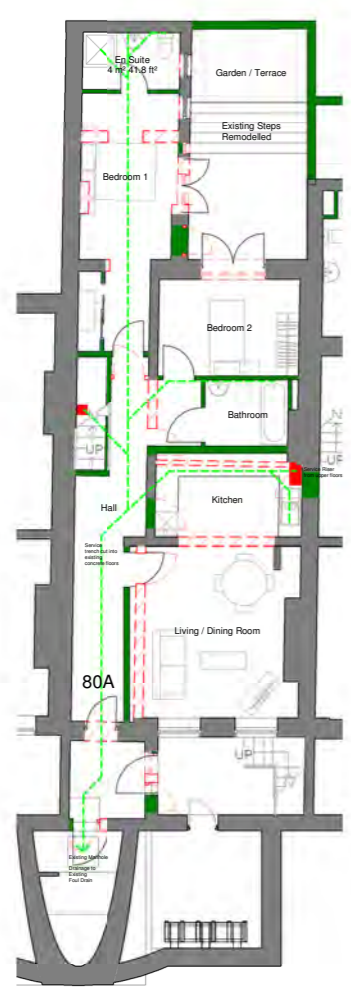
- Vertical Service Duct
- Horizontal Service Run over existing floor
- Horizontal Service Run embedded within floor

Services, where required, may be located above or below quilt

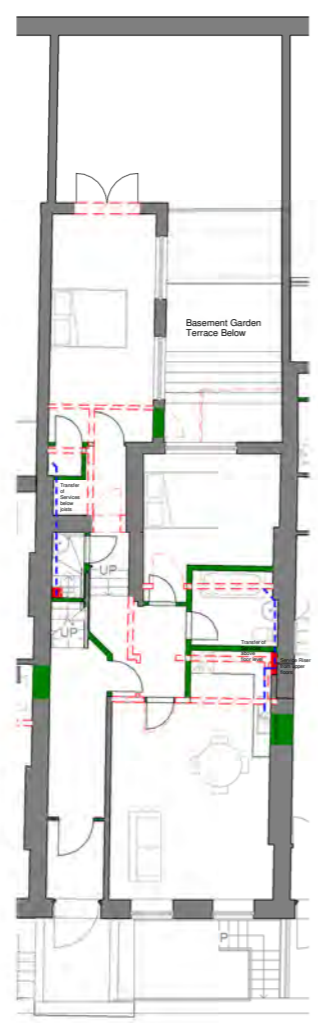
Section

Note: Services to Island will run within floor build-up

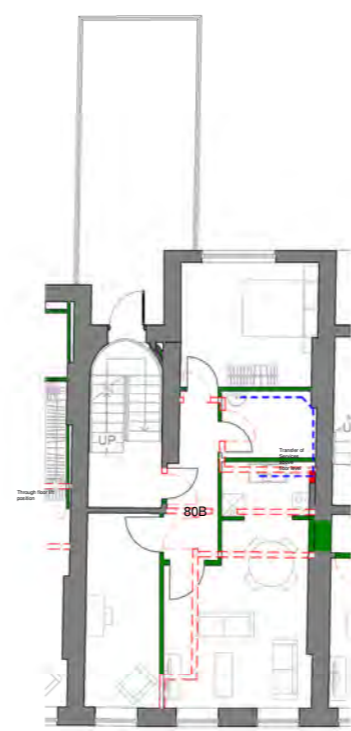
Note: Extract duct running in ceiling above and extracting through external wall



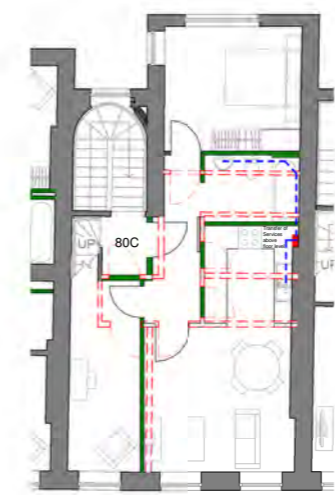
Basement Floor (Service details)  
1:100



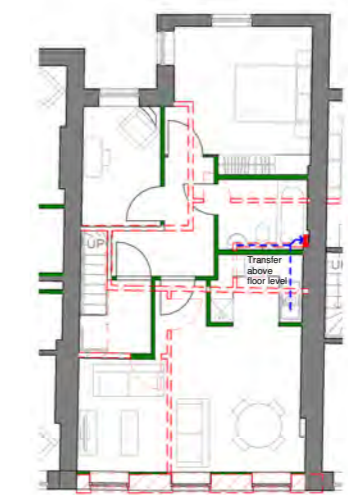
Ground Floor (Service details)  
1:100



First Floor (Service details)  
1:100



Second Floor (Service details)  
1:100



Third Floor (Service details)  
1:100

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Project Title		
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Drawing Title		
Service Run Details		
Scale	Sheet Size	Drawn
1 : 100	A1	CP
Date	Checked	
08/08/13	NM	
Status		
PLANNING		
Project No.	Drawing No.	Revision
3092	6060	F



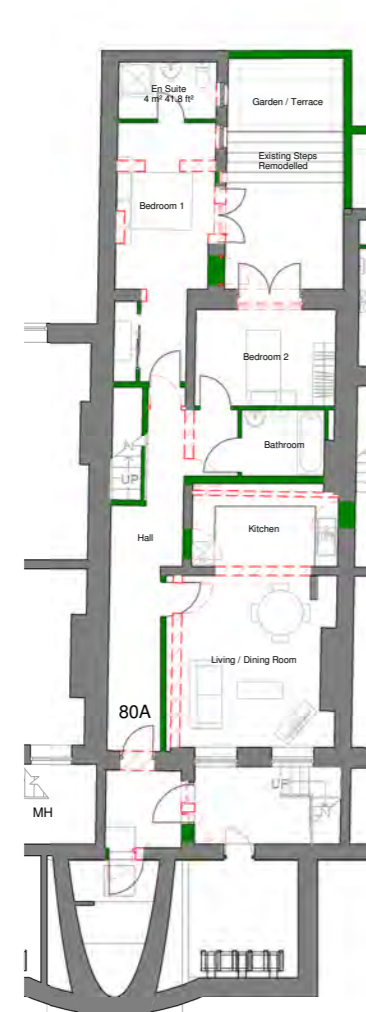
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KEY:

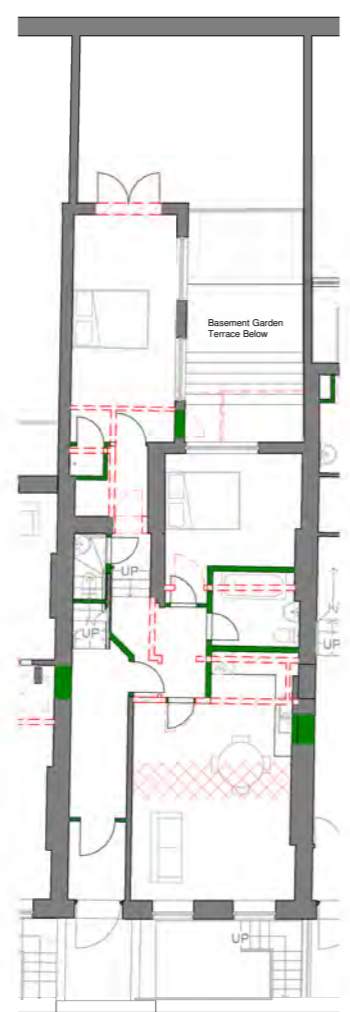
 New floorboards installed

Note: All existing staircases to be retained and refurbished

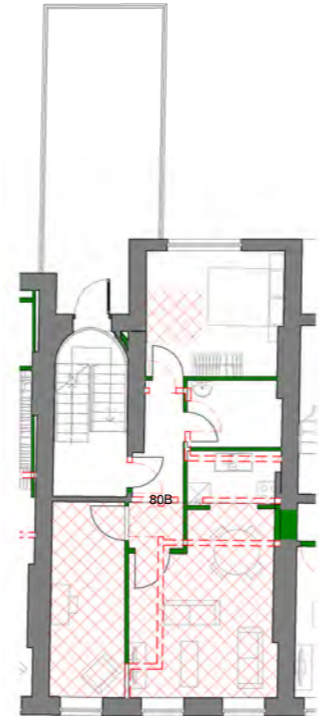
Note: Retained, damaged floor boards replaced, overlaid with 18mm engineered American oak to living rooms kitchens and halls, 4mm ply and carpet to bedrooms, marine ply and 12mm ceramic tile to bathrooms



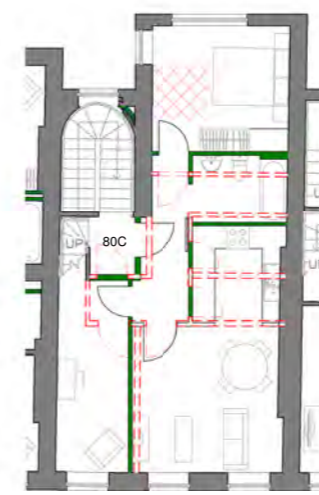
Basement Floor (Floorboard details)  
1:100



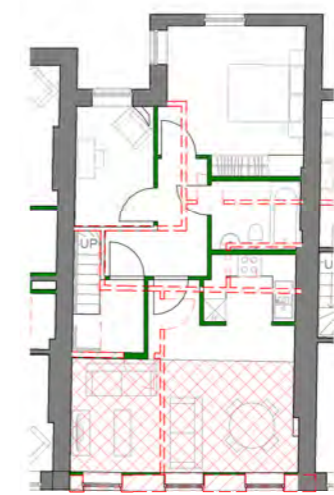
Ground Floor (Floorboard details)  
1:100



First Floor (Floorboard details)  
1:100



Second Floor (Floorboard details)  
1:100



Third Floor (Floorboard details)  
1:100

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Project Title		
<b>80 Guilford Street</b>		
Drawing Title		
<b>Floorboard Works</b>		
Scale	Sheet Size	Drawn
1 : 100	A1	CP
Date	Checked	
08/08/13	NM	
Status		
<b>PLANNING</b>		
Project No.	Drawing No.	Revision
<b>3092</b>	<b>6061</b>	<b>F</b>