

**Camden Stables Market
Tack Room**

**Chalk Farm Road
NW1 8AH**

DESIGN AND ACCESS AND HERITAGE STATEMENT

Prepared by:

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Prepared for
Stanley Sidings

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1 INTRODUCTION

1.1 Aim of this report

The Planning application and Listed Building Consent (LBC) covered by this design and access and heritage statement is made by Stanley Sidings Ltd for proposed alterations to the Tack Room building (Building D). The building is Grade II listed and is located within The Stables Market, Chalk Farm Road, London NW1 8AH.

The proposed works for the Tack Room comprise replacing the ground floor south elevation and the south section of the west elevation, currently arched brickwork additions, and repairing the upper level of both the south elevation and the south section of the west elevation. The proposed design consists of reinstating the traditional brickwork and openings in the south elevation, and introducing a double opening in the south section of the west elevation to allow for a better circulation between the building and the surrounding areas of the market.

The Tack Room is in the Heritage at Risk Register, which replaced the Buildings at Risk Register on July 8th, 2008. It is registered as Category D in the priority ranking.

1.2 Reference to other documentation

This document should be read in conjunction with:

- Scheme drawings prepared by Stephen Levrant Heritage Architecture Ltd., November 2013:

1. **D-URW-LP** Location Plan 1:500

2. **D-URW-01** Plans as existing and as proposed
3. **D-URW-02** South and West elevations as existing and as proposed
4. **D-URW-03** Demolition elevations and plans
5. **D-URW-D01** Door Detail
6. **D-URW-D02** Door Detail
 - Drawing No **3788-01** by Walsh Associates, Consulting Civil and Structural Engineers.

1.3 Planning Policy Guidance and Legislation

The assessment of the listed building and conservation area has been prepared taking into account the information contained in:

- NPPF National Planning Policy Framework, 27 March 2012.
- PPS5 Planning for the Historic Environment: Historic Environment Planning Practice Guide, March 2010.
- Conservation principles, policies and guidance for the sustainable management of the historic environment, EH, April 2008.
- The Setting of Heritage Assets: English Heritage Guidance, October 2011.
- BS 7913:1998 Guide to the Principles of the Conservation of Historic Buildings.

- Understanding Place: Historic Area Assessments in a Planning and Development Context, EH, June 2010;
- Camden Development Policies 2010 – 2025, Local Development Framework
- Local Development Framework - Camden Core Strategy 2010 – 2025

2 SETTING AND HISTORIC INFORMATION

2.1 Location

The subject site, Block D, Tack Room, The Stables Market, Chalk Farm Road, London NW1 8AH is located in the west end of the Stables Market, within the northwest corner of Regent's Canal Conservation Area of London Borough of Camden.

2.2 Regent's Canal Conservation area

The Regent's Canal Conservation Area was originally designated in 1974 and subsequently extended in 1981 to include the Stanley Sidings and the Stable Buildings. The conservation area was designated due to its unique character. *"It is an important feature of historic and visual interest in the wider townscape and, following the decline of traditional canal-related commercial activities, has been increasingly recognized as a valuable resource for water-based leisure activities, for its tranquil seduction, for its ecological value and its potential for transportation and informal recreation".*

Many of the industrial buildings and structures are fine examples of industrial brickwork, illustrating styles of engineering construction

characteristics of the 19th and early 20th centuries and using various types of brick, some produced in London and others brought in by the railways from their respective regions. Cast iron and wrought iron are also represented on the site.

2.3 Character Analysis

The Stables Market is located within the northwest corner of Regent's Canal Conservation Area. Built in 1856, originally an early example of stabling for the working house, with hay lofts.

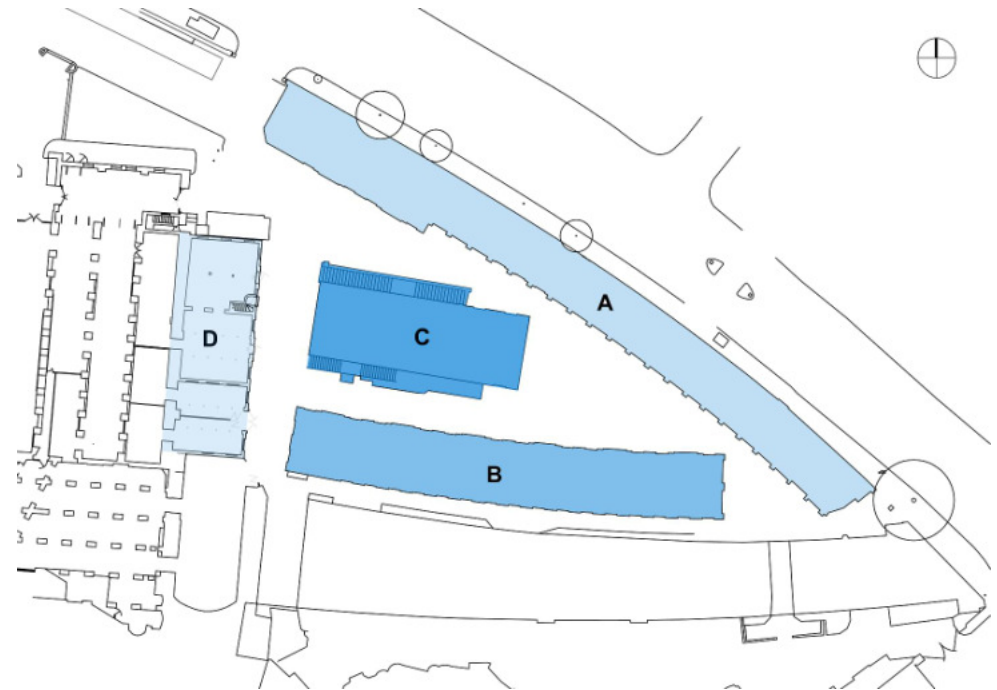


Figure 1: Stables Market - Listed group of buildings, subject site Building D

2.4 Listing Description

The full listing description by English Heritage is as follows:

List entry Number: 1258101

Grade: II

Four blocks of industrial stabling, now workshops and warehousing. c1855-1870, with later Victorian additions. For the London and North-Western Railway Company's Camden Goods Yard. Stock brick, with hipped slate roofs, some stone lintels. Some iron columns internally, but floors and roofs generally of timber. EXTERIOR: mostly of 2 storeys.

Northernmost block (A) abutting on Chalk Farm Road, c1855, with upper storey of c1895. Long curved front road, mostly of 2 storeys with eaves cornice but western end of one and a half storeys, somewhat altered, with chimney on roof. Round-headed half windows for stabling on ground storey, segment-headed industrial windows in upper storey (eastern end only). Elevation towards yard irregular. Eastern portion has cantilevered open balcony at first-floor level retaining some concrete horse troughs and connected by bridge to Block B and separately to ramp on Block C. Ceilings of ground storey have jack-arch iron and brick construction. INTERIOR of upper storey has separate compartments and paving for horses but no stalls.

Block B immediately to north of North London railway line. 3 storeys. Ground storey c1868, originally provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A.

Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper storey 1881; horse ramp on north side of block c1895, connected with balcony on Block A. Round-headed windows on ground storey, segment-headed industrial windows above on both north and south sides. South side formerly had another horse ramp, of 1881, and covered bridge connecting with Block B, demolished in 1980s. Ground storey has iron and brick jack-arch construction and iron stanchions against walls stamped 'Norton and Son Darlaston'.

Block D at right-angles and to west of Blocks B and C. 2 storeys. Ground storey c1868, upper storey c1881. Main elevation faces eastwards, with return northwards. Round-headed half-windows for stabling at ground level, some segment-headed sash windows above. Tall brick chimneys. INTERIOR with original timber benching, one timber partition and some harness hooks. Said to have been formerly the Tack Room for the stabling. Formerly connected by a bridge at south end to Block B. Included as a rare example of substantial industrial stabling and a major surviving portion of the former Camden Goods Yard. Forms a group with the 'Horse Hospital' to north-west (qv) and with further remnants of stabling and warehouses west of Block D (qv). A tunnel (now blocked) south of the North London line connects the complex with further LNWR buildings and the Regent's Canal south of the North London Line.

Listing NGR:TQ2862684201

2.5 Background History

This complex of multi-storey stables was developed by the London and North Western Railway Company from 1854. The horses stabled there supplied much of the power for the large London and North Western Railway (LNWR) goods yard at Chalk Farm. Bounded to the north by Chalk Farm Road (known as Hampstead Road before 1862), the triangular site was separated from the goods yard to the south by the viaducts of the North London Railway but was linked to it by underground tunnels. The two and three-story stock brick buildings of plain industrial appearance are typical of the stabling complexes found in or near other railway yards by the late 19th century yet their survival as a group is quite unusual¹.

The first phase of stabling, the four western ranges forming the triangular group A-D (namely A Chalk Farm Stable, B Provender Stores, C Long Stable, and D Tack Room) on the modern site plan, was built between 1854 and 1856. This area of the stable complex comprises a series of tightly enclosed courts leading one into the other, their plan form influenced by the railway viaducts. The floor finishes are a rich collection of worn granite setts, which add greatly to the character of the spaces between buildings.

These stables were designed by the LNWR staff of the Stafford office and had a capacity of 148 horses. The ranges were mainly one and a half storeys, with ground floor stabling and haylofts above. All of these stables had, and mostly retain, ground floors of round-arched bays, open to their heads for semi-circular stable windows. Originally, alternate stable entrance bays had external wooden stairs to the hayloft openings over. The original phase of construction apparently included human

accommodation. The west of Building A and the north end of the range abutting the railway vaults (Building D-Tack Room) were apparently fully two-storeys in height, with heated rooms in the first floor.

In the early 1880s the whole site underwent a phase of expansion and alteration. Between 1880-3 additional storeys were added to three of the stable blocks and a two-storey stable range (Building F-Horse Hospital) was built at the western end of the site. Also under construction in the mid 1880s to the west of the 1854-6 stables were two bonded wine stores for Gilbeys the Vintners. The extension works included the addition of two storeys to the southern range (Building B-Provender Stores) and the raising of the southern part of the western range (Building D-Tack Room) to two storeys, all for an enlarged provender store. The two buildings were linked at the first floor by a bridge that no longer survives².

Accommodation for a further 116 horses was achieved by the addition of a first floor stable to the central block (Building C-Long Stable), reached by a stepped horse ramp to the southern side of the building that no longer survives, and the construction of the two-storey range (Building F-Horse Hospital) with two horse ramps which survive although altered.

A further phase of extension occurred between 1894-1900 with a third storey of stabling added to the eastern part of the range fronting Chalk Farm Road (Building A). Access was by a ramp added to the north side of the stable range (Building C-Long Stable) and a cantilevered gallery. The 1883 stable range (Building F-Horse Hospital) was extended to the east to provide accommodation for a further 45 horses. Other alterations around this date included the conversion of the coal drops to stabling, the conversion of one of the vaults to a smithy and the addition of a lean-to at the east end of Building A. With these alterations the Chalk Farm stables reached its maximum capacity of 421 horses.

¹ Royal Commission on the Historical Monuments of England – Historic Building Report, September 1995. Crown Copyright.

² Ibidem

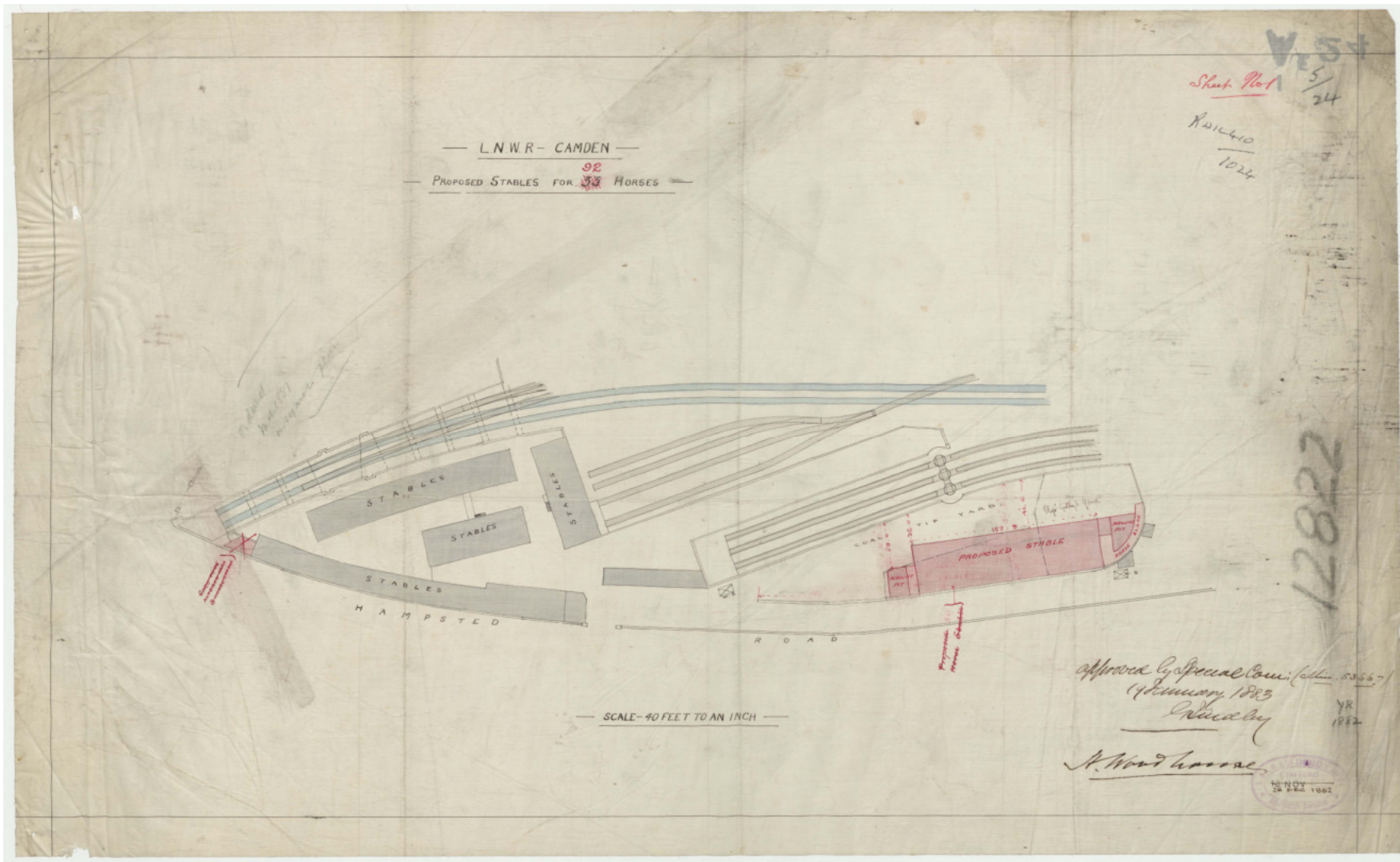
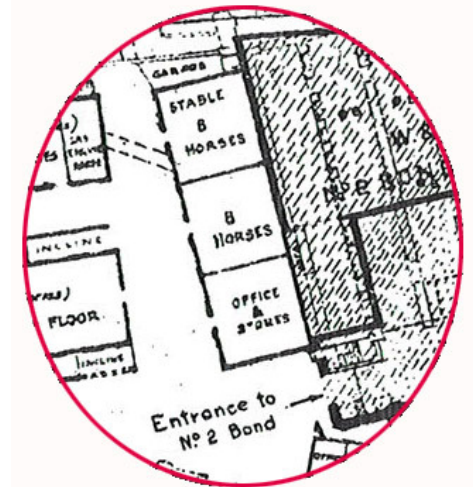
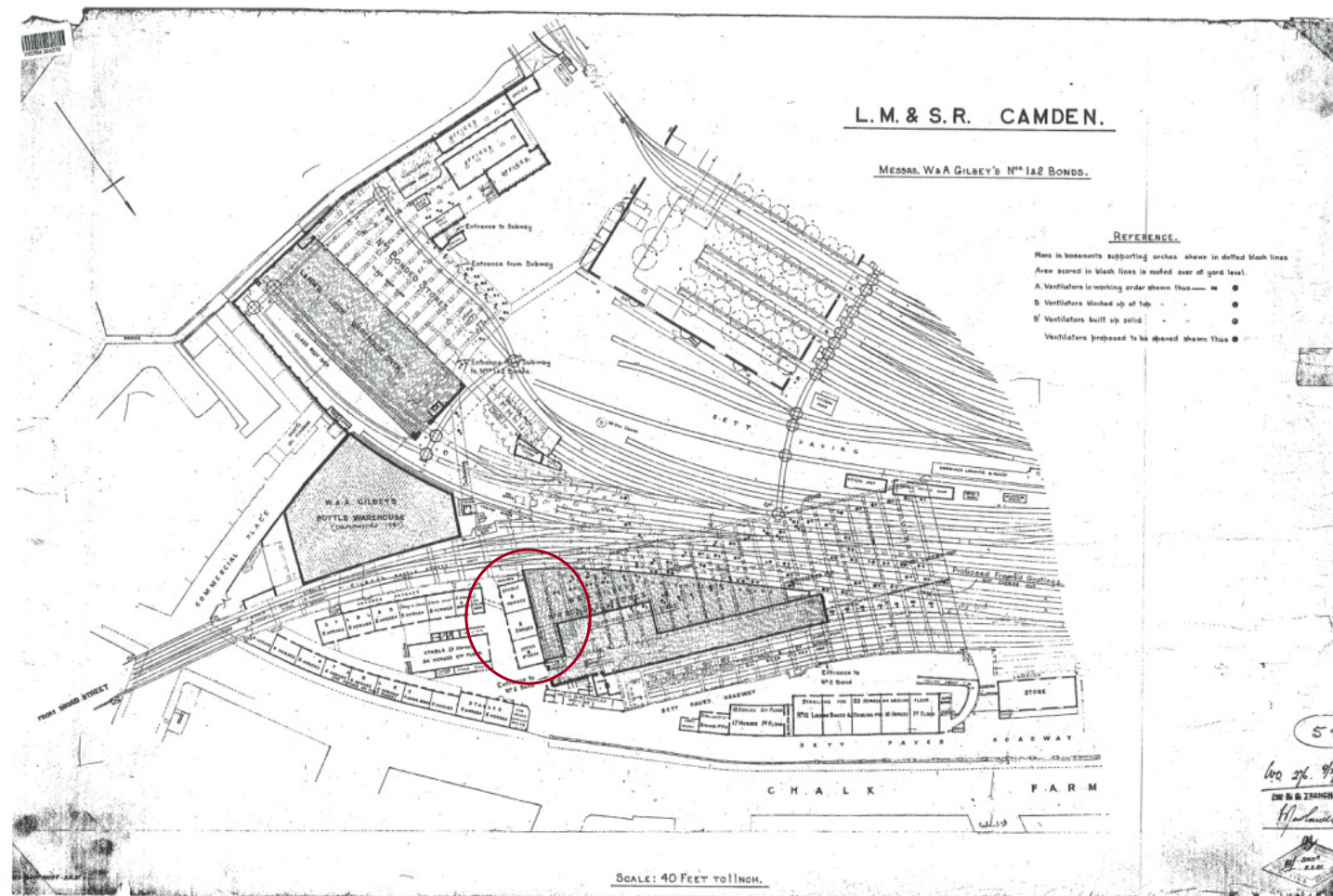


Figure 2: Stables Market – Site plan dated 26th November 1882.

Figure 3: Stables Market – Site plan dated 9th February 1925.

Although apparently gradually in decline, the stables may have remained at least partially used by Gilbeys until 1967. The site was apparently vacant when visited by the Greater London Industrial Archaeological Group (GLIAS) in the 1970s. piecemeal demolition appears to have occurred, including some of the ramps, bridges and warehouse buildings during the post-war decades.

The site's use as market began in the 1970s commencing with small stalls located externally to the stable buildings. Gradually shop units and canopies were added to the buildings and by the 1980s it was a fully fledged market place.

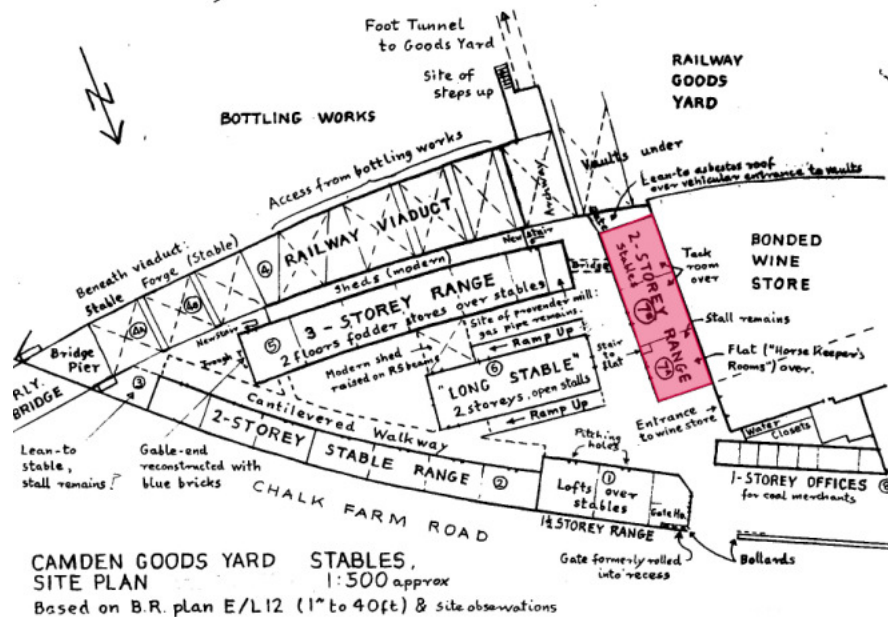


Figure 4: Site plan from 1975. The west elevation of the Tack Room (shown in red) is adjoined to the now demolished Bonded Wine Store.

2.6 Building D- Tack Room

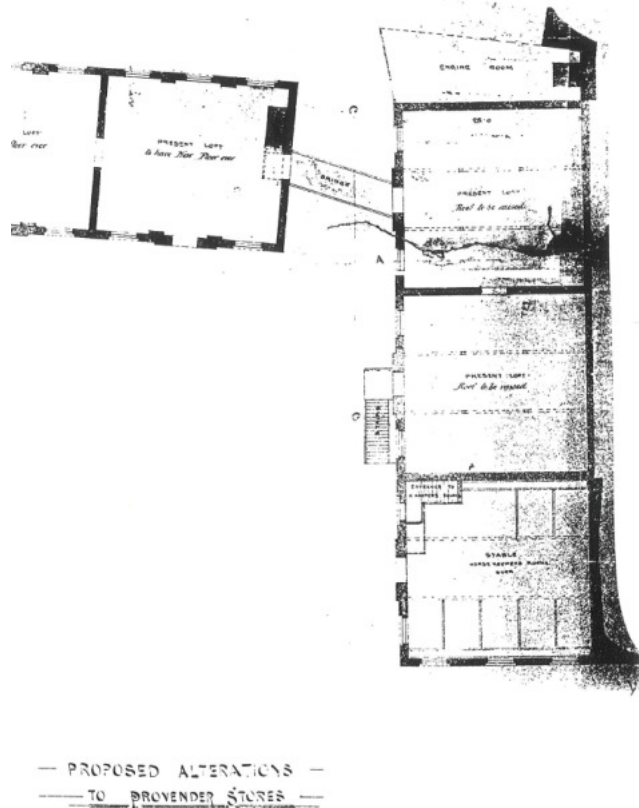
The following section was extracted from the Royal Commission on the Historical Monuments of England – Historic Building Report, September 1995 NGR No: 2858 8420. Crown Copyright.

Exterior

The east elevation has the same arrangement to the ground floor as the other 1854-5 stabling. Each of the three stables has three arched bays with a central projecting entrance bay and the flanking bays closed up to the round-headed windows, many of which still retain their original wooden frames. The only variation to this design is the additional door opening, for access to the first floor, to the northern stable. The three northernmost bays of the first floor were probably part of the original phase of construction (1854-5) and retain three twelve-pane sash windows and chimney stacks to both the east and north sides. When built the attics to the south had two loading or loophole bays, with flat-heads projecting above the roof line, flanked by short flat-headed windows. These bays were raised to two storeys in 1881, at which time the brickwork was raised to the level of the loophole heads and the windows enlarged, with round heads and radiating glazing bars, two of which still survive. A bridge to building B (Provender Store) was built at this time, extending from the southernmost loading bay, to link the provender stores together. Its position is indicated by a wooden rail and the holes for the former beams below the raised sill of the loading door. On the evidence of the OS maps the bridge was apparently demolished within the last thirty years. The northern bay retains a simple hoist over the head of the door.

The north side, which has arching to the ground floor and two sash windows to the first floor, appears largely altered. The south side has apparently undergone various alterations. An engine room abutted to the south side of the building, apparently built between 1870 and 1880. By the 1970s it had been gone, and a lean-to covering for a vehicular entrance to

the railway vaults was in its place; this now also disappeared. An opening on the ground floor, probably not original, has been subsequently blocked. The west side is abutted by the railway vaults and the 1880 bonded warehouse.



The interior of the building has three bays to both floors. It was originally built of timber-framed construction, still surviving to the northern stable bay. When recorded by the Greater London Industrial Archaeological Group (GLIAS) in 1975 it had timber stanchions and beams and retained a stall divider, half boarded and with a rail above, that was probably of a mid 19th century date. Drawings of 1880 show that the two southern stables had ten stalls each whereas the northern bay had only seven, as part of the space was given over to the stairs to the first floor. In 1881 the southern bays were altered and cast-iron columns and girders inserted and the wooden floor renewed.

2.7 Alterations to the building fabric of the Tack Room

The most significant alteration to Tack Room, which is dealt with by this application, comprises the reconstructed south elevation and south end of west elevation at ground floor level. The south end interior at ground floor level was also partially reconstructed, with one of the internal cast iron columns and a section of the cast iron girder removed. The lower level of the south elevation wall was replaced with a brick wall with a large open archway in the south elevation and another one in the south end of the west elevation. This has enabled a larger pedestrian thoroughfare. A brick wall was constructed behind the main archway within the original ground floor room running full-width at an angle across the southern end of the building.

The west elevation was abutted from the 1880s by the railway vaults and the bonded warehouse now demolished; being therefore a shared or party wall between the buildings.

Although the early plans do not show a connection between the bonded warehouse and the Tack Room, later surveys indicate that two ramped

Figure 5: 1881 plan of Tack Room.

Interior

openings existed at ground floor and a further one in the upper level where a section of concrete blockwork currently stands.

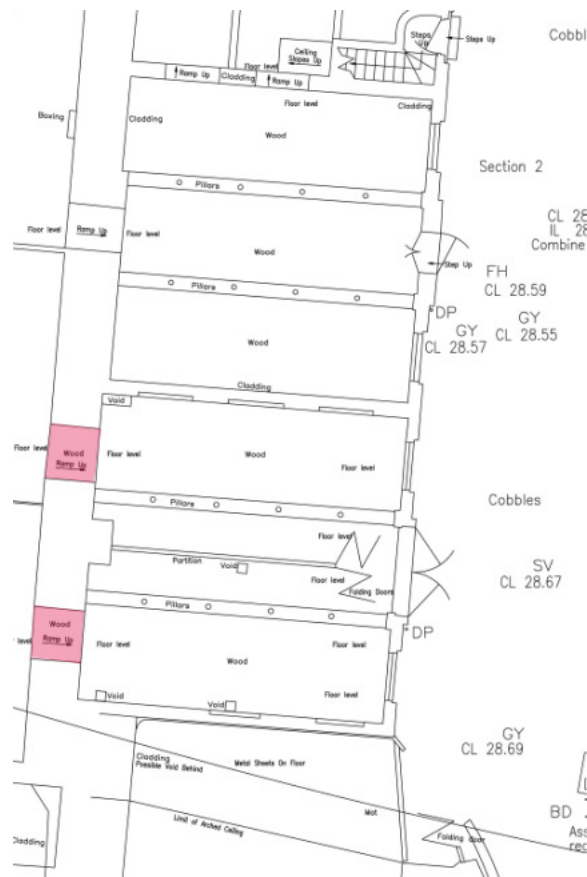


Figure 6: Previous survey of Tack Room ground floor showing west elevation openings in red.

The southern sector of the west elevation at upper floor appears reduced in width, as depicted in previous surveys and current photographs.



Figure 7: Previous survey of Tack Room upper floor showing west elevation opening in red and wall thickness at the southern end outlined also in red.

Other alterations to the building comprise window and door replacements and two enlarged door openings with a concrete lintel; one of them apparently dating from the 1930s.

This report deals with the proposals for the reinstatement of the south elevation and south section of the west elevation at ground floor level.



Figure 8: Tack Room west elevation south section upper level.



Figure 9: Tack Room west elevation south section.



Figure 10: Tack Room south elevation ground floor.



Figure 11: Tack Room south east corner showing overlapping brickwork.



Figure 12: Tack Room south elevation.



Figure 13: South end interior.



Figure 14: Cast iron column and girder south end interior



Figure 15: Cast iron column and girder south end interior

3 ASSESSMENT OF SIGNIFICANCE

As recommended by NPPF (March 2012) proposals for the alteration or redevelopment of listed building or buildings within a Conservation Area should be considered and be based on an understanding of the site's significance.

Paragraph 128 of NPPF states that '*In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should also be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on that significance*'.

The criteria for the assessment of significance comprises:

- **Evidential Value** – relating to the potential of a place to yield primary evidence about past human activity;
- **Historical Value** – relating to ways in which the present can be connected through a place to past people, events and aspects of life;
- **Aesthetic Value** – relating to the ways in which people derive sensory and intellectual stimulation from a place;
- **Communal Value** – relating to the meanings of place for the people who relate to it, and whose collective experience or memory it holds.

The special interest of Tack Room in Camden Stables Market is established primarily its evidential, historical and communal values. With three other stable buildings, as a group, it enhances the historical significance of the site.

Evidential Value

There are many surviving features preserving much evidence of its original operation; much of the historic fabric still remains and contributes greatly to the building's special interest and character. **Evidential value is therefore high.**

Historical Value

It is a listed building (Grade II) and has a number of features that display the historical value of the building: most important of these is the surviving original fabric in addition to the subsequent adaptations of the structure to accommodate new uses or changes in demand. **Historical value is evident but eroded.**

Aesthetic Value

Although the Tack Room is an exemplary Mid-Victorian stable building, it has little artistic or architectural merit; this is expected for a building of this type. It is of traditional construction with materials including yellow stock brick, timber, metal and slate. As they are common examples of a widespread building type, **aesthetic value is therefore low to medium.**

Communal Value

There is a strong sense of identity with the place, nurtured by the historical trade and industrial character of the area; and for many years now, the international recognition of the site as one of the most famous markets in London. The Stables Market is therefore considered to have high communal value since it's a vivid representation of the history and development of the area. The fact that the building is still in use brings together past and present common uses by the community. **The Stables Market listed buildings therefore have a high communal value.**

4 PROPOSED WORKS AND IMPACT ASSESSMENT

The Tack Room is Mid-Victorian and has two storeys that were once used for residential use, horse stables and storage.

The proposal comprises the demolition of two large open archways, one in the south elevation and the other in the south end of the west elevation, and that of the brick wall constructed behind the main archway running full-width at an angle across the southern end of the building; and the reinstatement of the wall sections removed, flush with the retained upper floor brickworks, with the addition of four new openings as follows:

- a. Three new openings at ground floor south elevation consisting of three round-arched bays with traditional braced timber doors open to their heads for semi-circular stable windows to match those existing in the east elevation. This proposal is based on records showing three arched openings in the south wall. See figures 16 and 17.
- b. One new double opening in the south end of the west elevation, with a sliding door made of braced timber with wrought iron strap pintle hinges in the style of those existing. No records exist on the style of the former openings in the west elevation; they are assumed as bonded brickwork openings between interior rooms.

The paint colour for the proposed doors will be agreed with the Local Authority during the on-site works.

Impact: It is considered that the removal of the archways and the reinstatement of the south and west elevations as originally intended will improve the character of the heritage asset and its setting.

The proposed openings follow a precedent in both the south and west elevations and will contribute to the long-term preservation of the heritage asset by adapting the access to the listed building to meet the needs of its current use as retail space and market. The proposed intervention is therefore considered highly beneficial.

Internally, the missing cast iron column and girder section in the southwest corner will be reinstated. The proposed works will see the column replaced to look identical to the original. The above beam structure of the portico will also be strengthened and repaired to match the original. All works will be carried using traditional techniques and high quality materials. Please see drawing No 3788-01 by Walsh Associates.

Impact: It is considered that the reinstatement of the column and beam section will aid the interpretation of the heritage asset as it was built; the intervention therefore being highly beneficial.



Figure 16: South elevation in 1997 showing at least two arches in the brickwork



Figure 17: Interior of south elevation pre-demolition showing three infilled arched openings.

5 DESIGN AND ACCESS

This section describes how the proposal affects different aspects of the site including layout, use, scale, landscape and context, appearance and access.

Layout: the proposal will change the current layout of the Tack Room in its interior configuration at the south end, by reinstating the original structure and external walls.

Use: not affected by the current proposals.

Scale: not affected by the current proposals.

Landscape and Context: not affected by the current proposals.

Appearance: The historical character of the Tack Room's exterior will be enhanced by the proposals. Works will be carried out using traditional materials and techniques in order to restore the integrity of the listed building. It is therefore considered that the appearance will be improved.

Access: the current proposals will maintain the access to the Tack Room from the south and south end of the west elevation although the existing wide thoroughfares will be replaced by three single doors in the south elevation and a double one in the west façade.

6 NPPF CONSIDERATIONS

These NPPF considerations provide supplementary information which will enable the planning authority to assess the likely impact of the proposed works on the heritage asset.

All policies in the NPPF adopted 27th March 2012 constitute the government's view of what sustainable development means in practice. The NPPF contains an express presumption in favour of sustainable development which should be taken into account when making planning decisions.

Paragraph 126 of NPPF states that: *"Local planning authorities should set out in their Local Plan a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance. In developing this strategy, local planning authorities should take into account:*

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*"

Paragraph 131 of NPPF states that: *"In determining planning applications, local planning authorities should take account of:*

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality"*

The proposal has been driven by the need to ensure the historic character of the listed building is preserved or enhanced and meets all current

standards in a respectful manner towards the historic environment. Overall, the proposed alteration will ensure continued effective use and operation of the building.

Paragraph 137 of NPPF states: *"Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably."*

Due to past alterations to the south and west elevations, the historic character of the Tack Room has been largely eroded. It is considered that reinstating the brickwork in its original position together with early features such as the stable doors will enhance the historic character of the heritage asset and its setting.

Paragraph 132 of NPPF states that: *"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification"*.

The removal of the existing archways and the reinstatement of walls and openings matching the period in which the building was constructed will have a significant beneficial impact on the heritage asset and its better appreciation and understanding.

Paragraph 134 states: *"Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including its optimum viable use"*.

It is considered that no harm is caused to the significance of the Grade II listed Tack Room. The proposed physical works to the building will reduce

the current risks to the heritage asset and will enhance the historic building and its setting. Ensuring its continued use and maintenance is in the interest of the heritage asset's 'long term conservation'. The proposal will deliver public benefits through the improvement and enhancement of the listed building and consequently, its setting and context.

7 LOCAL PLANNING POLICY

Camden Local Development Framework, Camden Core Strategy, 2010 -2025, Adopted Version, November 2010

The Government's national planning policy framework (NPPF) was published, and came into affect, on 27 March 2012. The NPPF does not change the status of Camden's Local Development Framework 2010 as the statutory starting point for planning decision making in the borough, but the NPPF is now a 'material consideration' in determining applications.

The Camden Core Strategy provides the vision, objectives and spatial policies to guide development in the borough up to 2025. The Development Policies contribute to delivering objectives of the Core Strategy by setting out detailed planning policies that the Council use for determining planning applications. Both documents constitute the Camden Local Development Plan adopted 8 November 2010.

Policy CS14 – 'Promoting high quality places and conserving our heritage', sets out the requirements to safeguard Camden's heritage. The overall strategy is to sustainably manage growth in Camden in a way that conserves and enhances the heritage and valued places that give the borough its unique character.

CS14 states that Council will ensure that Camden's places and buildings are attractive, safe and easy to use by: 'preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens'.

It is considered that the proposal not only preserves but enhances the character of the historic environment through the reinstatement of missing elements in the south and west elevations of the Tack Room; enhancing therefore the significance not just of the listed building but also that of other heritage assets within the setting of the Tack Room.

Camden Planning Guidance provides advice and information on how the Local Authority applies its planning policies. The guidance is consistent with the Core Strategy and the Development Policies, and forms a Supplementary Planning Document (SPD) which is an additional "material consideration" in planning decisions.

CPG 1- Design deals with heritage issues in Section 3. This section sets out further guidance on Core Strategy Policy CS14 Promoting high quality places and conserving our heritage and Development Policy DP25 Conserving Camden's Heritage.

Paragraph 3.22 refers to the statutory requirement, when assessing applications for listed building consent, to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

It is considered that the proposed works to the Tack Room will not only preserve but enhance the original and historic materials and architectural features, original layout of rooms, structural integrity, and general character and appearance.

Paragraph 3.23 expands on the desirability to retain original or historic features and to carry out repairs in matching materials. The proposals should seek to respond to the special historic and architectural constraints of the listed building, rather than significantly change them.

As stated earlier in this report, the proposals actively seek to restore the property, and any surviving features. The works will be carried out using traditional materials and techniques in order to restore the integrity of the listed building.

8 CONCLUSION

The Tack Room is a Grade II listed building part of a large market and therefore accessible to the general public. Reinstating the currently altered south elevation and south end of the west elevation at ground floor, with the addition of traditional timber doors and stable doors will have a positive visual impact, contribute to the historic character of the building and site and thus contribute to a better understanding of how the building was used.

It is considered that the proposed alterations do not alter the special interest of the building and that the level of proposed intervention is acceptable in conservation terms and is substantiated by the research undertaken.

The listed building is not a static place. It has been subject to change and in order to remain a sustainable and pleasant place it will have to change. The proposed scheme is driven by a need to not only conserve and enhance the building, but also to ensure a sustainable solution that safeguards the current and future use of the building within the market.

This proposal complies with policy at the heart of NPPF in respect of sustaining and enhancing not just the historic fabric but the significance of the Regent's Canal Conservation Area and the heritage assets within and in the vicinity of the site.

The NPPF contains an express presumption in favour of sustainable development which should be taken into account when making planning decisions. Change is at the heart of sustainable development. The three dimensions of sustainability: economic, social and environmental, are not static; neither is the built environment. Buildings need to change in order to adapt to climate change and move towards a low carbon economy (NPPF Para 7).

In light of the above, it is considered that the relevant criteria policies of NPPF have all been complied with, and thereby must also satisfy the relevant local plan policies.