

15a Crossfield Road  
Hampstead, NW3 4NT London

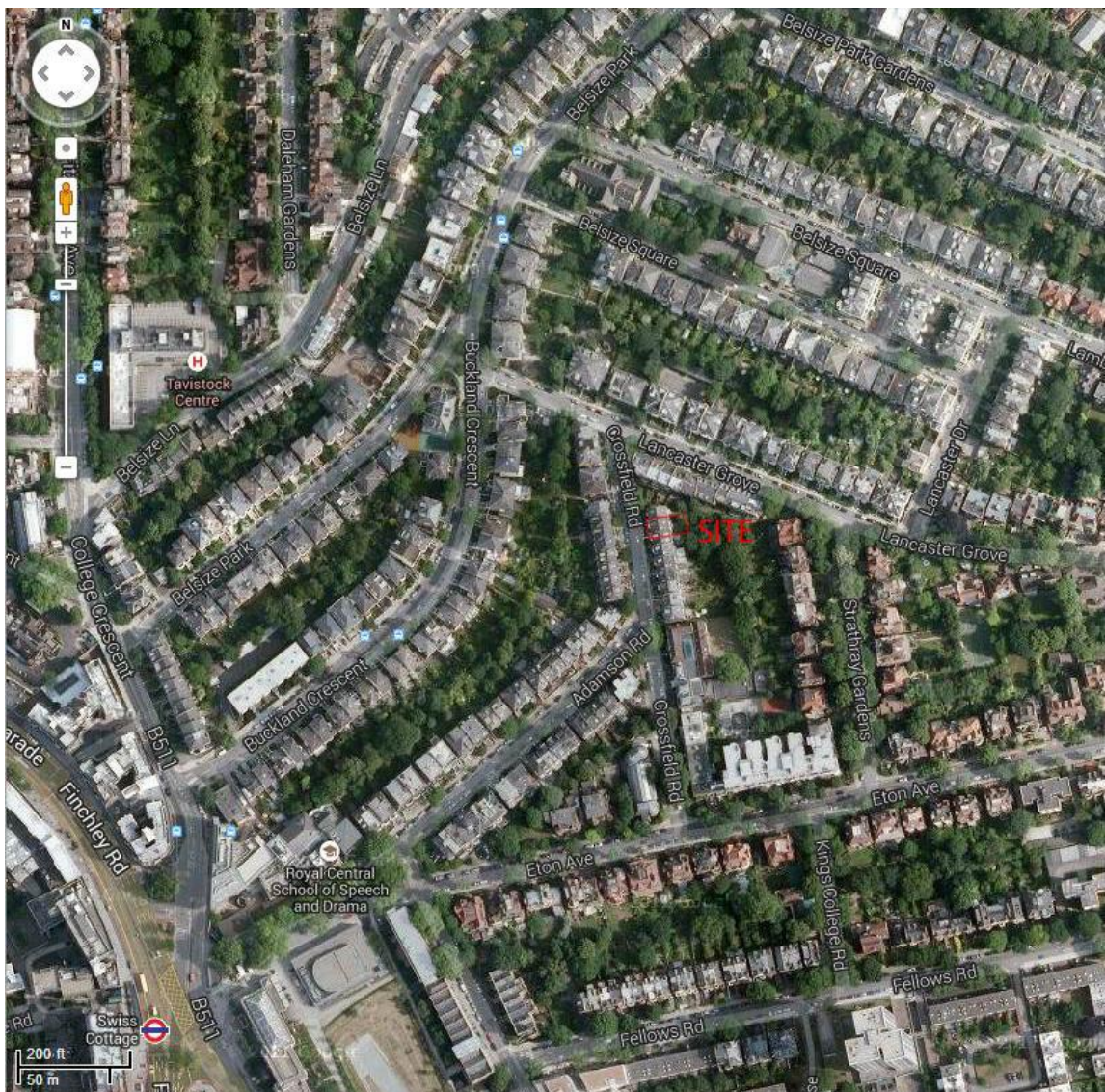
Design & Access Statement



London January 2014

## Short Proposal Description

- This document aims to promote a better understanding of proposed garden house extension and subterranean development for No 15a Crossfield Road, Hampstead, NW3 4NT London and has to be viewed along with the related architectural drawings and other documents attached to this proposal.
- Prior to planning phase we have carefully studied the planning history of the subject site in order to take under consideration all requirements and comments in regards to the previous planning applications and proposals.  
The planning consent property is located on the lower ground floor (garden flat\*) of one of the terrace house having the gross area of 65 sqm and the garden in the back yard of the house with approximate dimensions of 6 by 25 meters. The location plan (aerial\*) is shown below:



Site location plan (Google Maps Aerial\*)

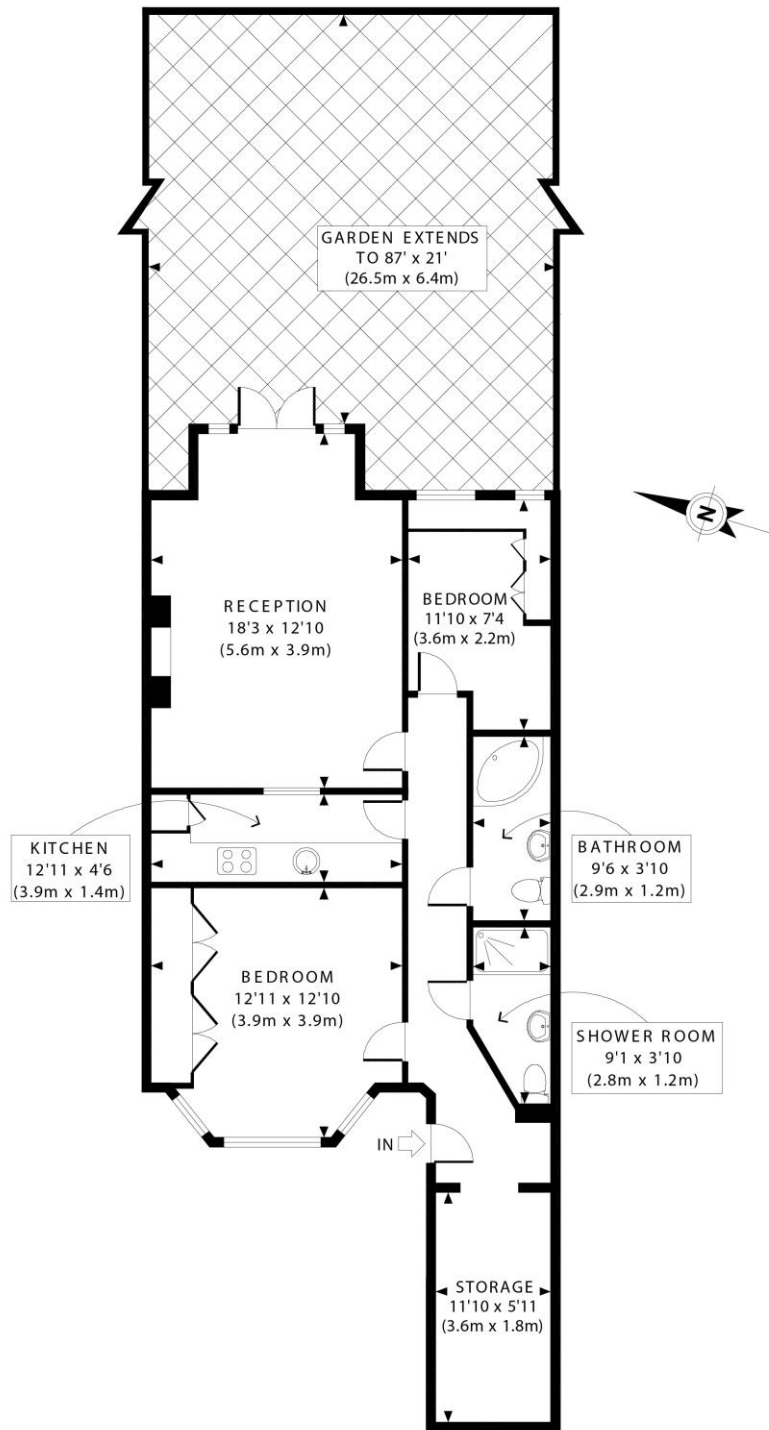




Site plan (Google Maps Aerial\*)

- Our proposal contents 2 parts of house extension in the back yard of the property:
  1. Winter garden extension
  2. Subterranean extension (located directly under the winter garden extension\*).

The overall existing gross area of the garden flat is 65 sqm which could be extended up to 133,5 sqm, gaining 68,5 sqm more or at least double of the usable space. The existing floor plan is shown below:



LOWER GROUND FLOOR  
GROSS INTERNAL  
FLOOR AREA 814 SQ FT

APPROX. GROSS INTERNAL FLOOR AREA 814 SQ FT / 76 SQ M  
Ref: GCBP - 090713

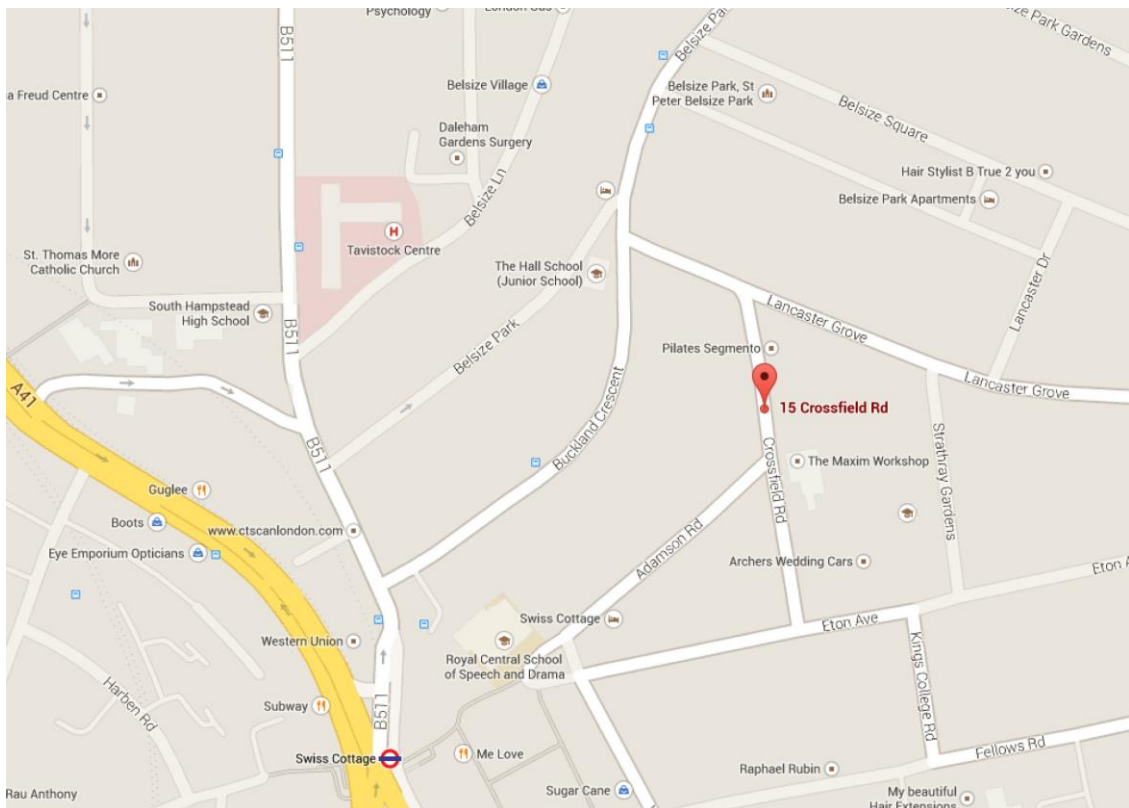
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Disclaimer: Floor plan measurements are approximate and are for illustrative purposes only. While we do not doubt the floor plan accuracy and completeness, you or your advisors should conduct a careful, independent investigation of the property in respect of monetary valuation

- As planners we understand that the appearance in the most cases is a crucial point for the historical buildings in the areas like this one. That's why we did everything possible in order to avoid any potential visual damage of the house, even if it has been dealt with a rear façade only, trying to follow the main character of the building, its proportions and architectural style. We hope that the proposed development will be accepted as shown in the attached related drawings and would be glad to assist you in case you will decide to make a site visit for better understanding of our concept.
- Additionally to the drawings package provided we can supply the structural calculation for proposed development if this will be required at that planning stage.

### **Site Accessibility**

- The site is good accessible from the street. There is no wheelchair access at the moment due to the original levelling as a garden flat. A lift for disabled access could be installed however in case if it's needed outside the property close to the flat street entrance.
- There is the very good public transport links in the area, within the walking distance to the "Swiss Cottage" tube station (Jubilee Line\*) and a number of local busses: 13 - 31 - 46 - 82 - 113 - 187 - 268 - 603 - C11 - N13 - N28 - N31 - N113;
- The car parking is off street parking and is available for all residents on parking permit basis.



City map fragment of the area

**DARTEL DESIGN LIMITED**  
London January 2014