

AGAR GROVE

SECURED BY DESIGN - BOUNDARY CONDITIONS

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BOUNDARY CONDITIONS - SITE DIAGRAM



Secured By Design for Multi-Storey Dwellings sets out the following guidelines:

1 Public Access

1.1 The Security of the development is enhanced by discouraging casual intrusion by non-residents. Public access should therefore be restricted. An access control system should be provided. This may be a managed concierge system, a Proximity Access Control (PAC) system and door entry phone system, or a combination of both.

1.2 There should be no unnecessary paths which could be used to gain unobtrusive access and escape. Good signage should be provided to deter unauthorised access and to assist emergency services, trades persons, etc.

2 Natural Surveillance - Optimum natural surveillance should be incorporated, whereby residents can see and be seen.

Measures should include: -

2.1 An unobstructed view from dwellings of the site, its external spaces and neighbouring homes, to include external paths, galleries, roadways, communal areas, drying areas, landscaping, garages and parking areas.

2.2 The avoidance /elimination of recesses, blind corners, and hiding places.

The design team have developed an approach that is premised around these two principles of controlling public access and providing good natural surveillance over streets, shared gardens and courtyards. The scheme has a secure perimeter to blocks with high brick walls and well defined entrance points with secure access control systems. Within the blocks the property boundary walls have been kept to a low level (approx 900mm generally) for a high degree of natural surveillance from the rear of these ground floor units.

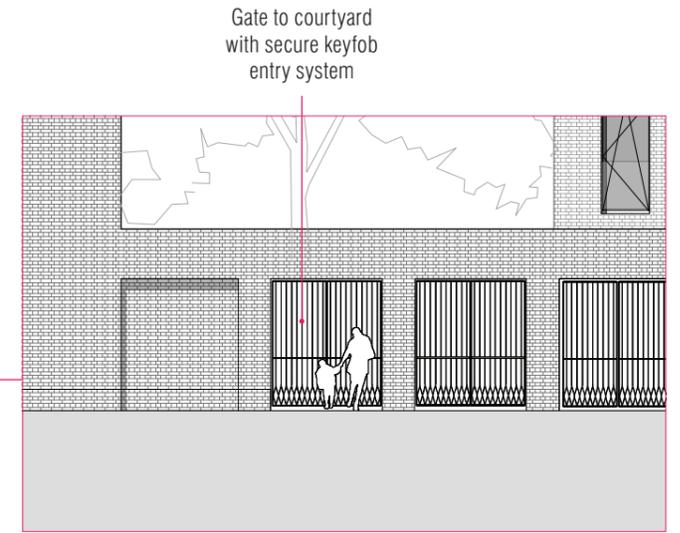
Additionally, the proposed scheme has only living spaces facing onto streets at ground level rather than bedrooms, unlike the existing estate, to increase surveillance of the streets and shared spaces.

- Garden Wall at least 1.8m with secure entrance
- Building Line
- Low Level Wall within courtyard

BOUNDARY CONDITIONS - PLOT CDE



Around the internal courtyard colonaded elevations with low level walls define the boundary conditions.



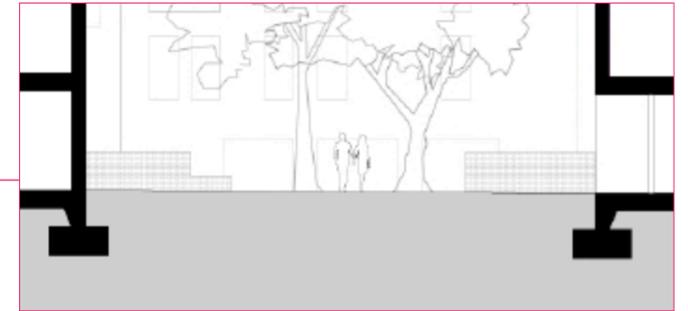
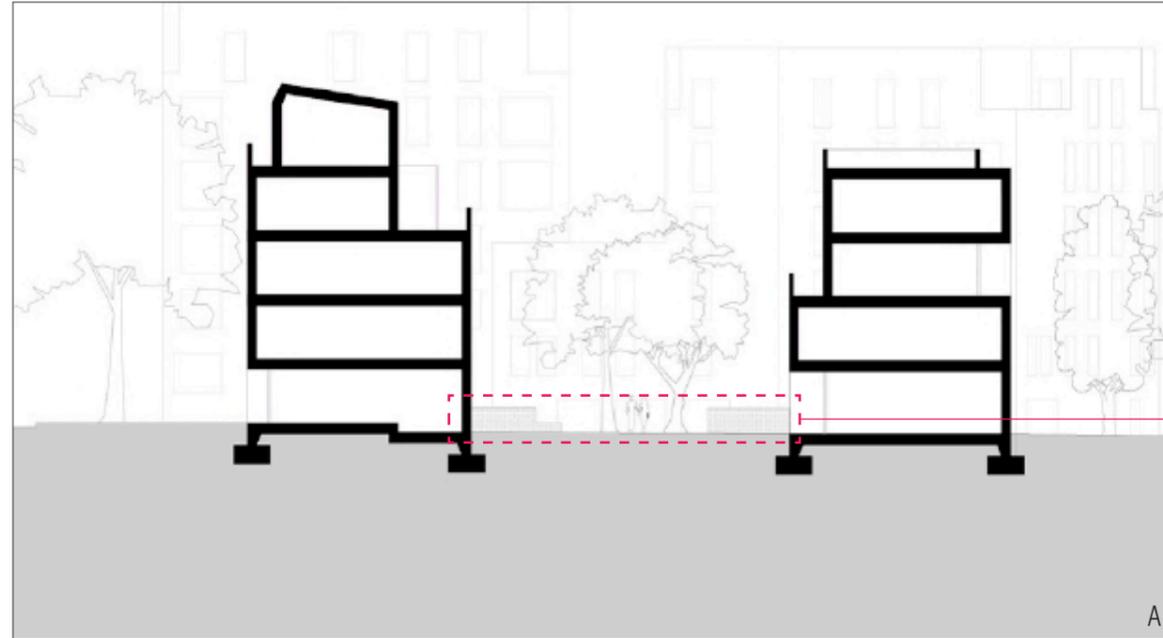
Plot CDE has a 3m high brick perimeter wall with metal gates and railings forming apertures and entry systems to meet SBD standards. All communal and private openings will be to BS PAS 24-2012.

The visual permeability of this edge condition is crucial to the quality of the courtyard space, as it provides optimum natural surveillance from the house and its amenity space over the courtyard.

BOUNDARY CONDITIONS - PLOT FGHI



Plot FGHI rear garden walls consist of a low level garden wall with integrated bin and bike storage, 900mm height; a planter of 450mm height defines the boundary.

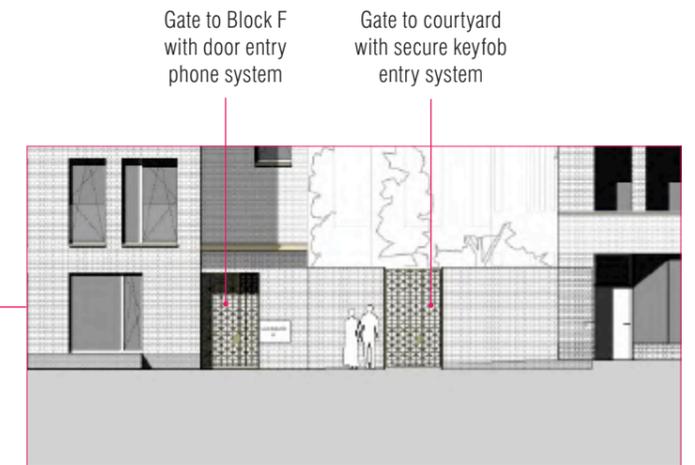


The garden walls allow optimum natural surveillance of the shared public space and provide a clear boundary to private gardens. The visual permeability of this edge condition is crucial to the quality of the shared public space.

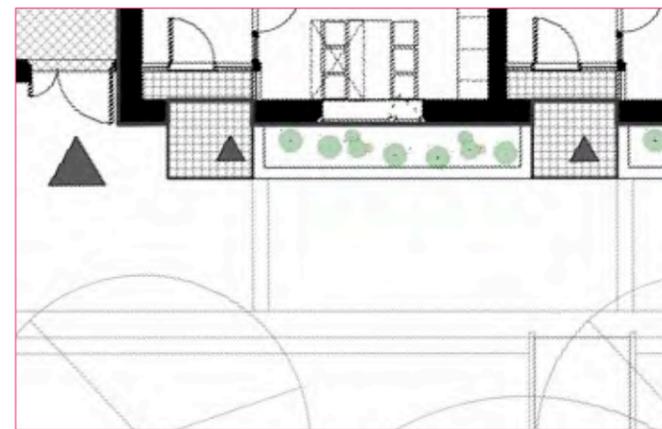


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Low-level planters define defensible space in front of ground level windows on plot boundary.

