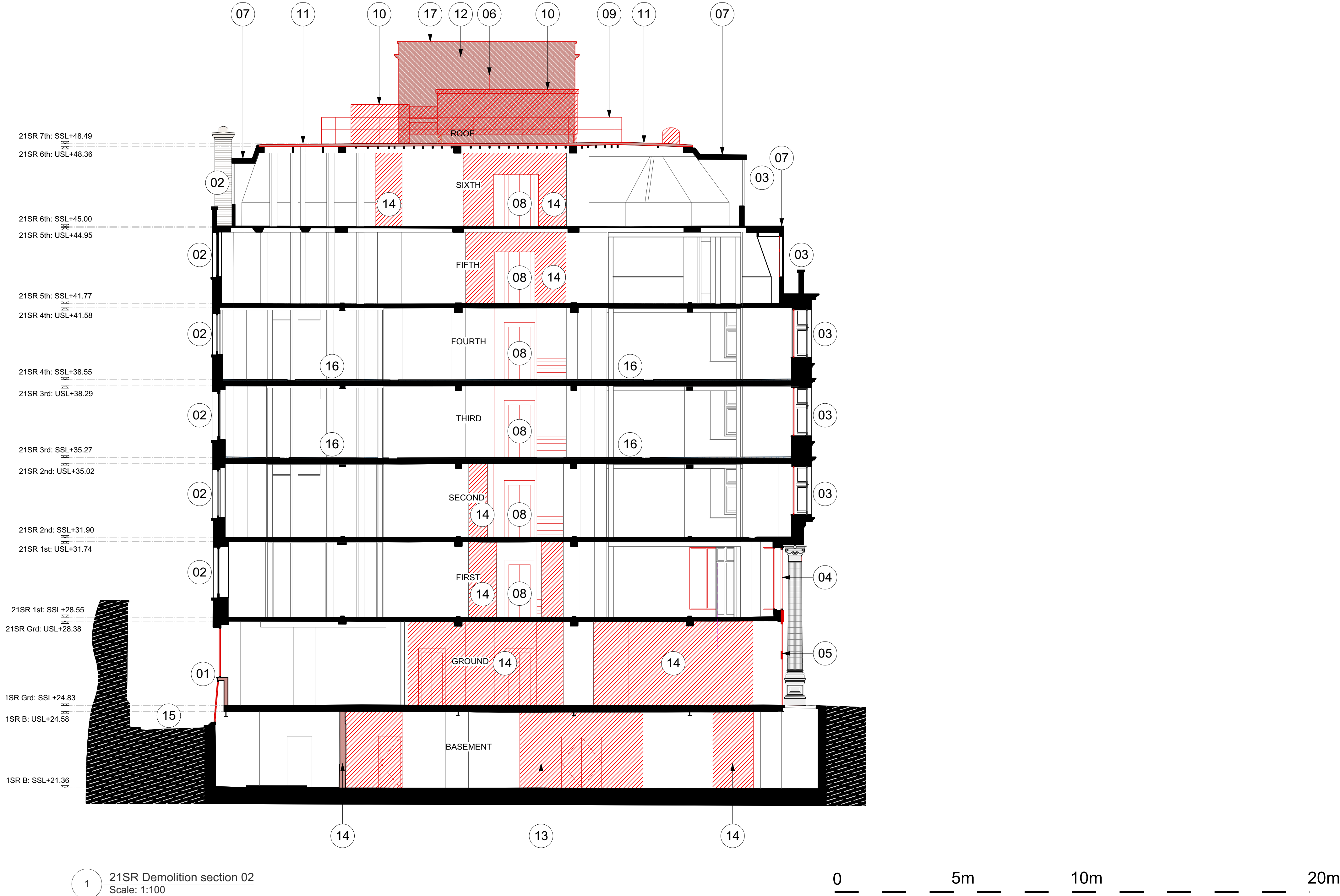
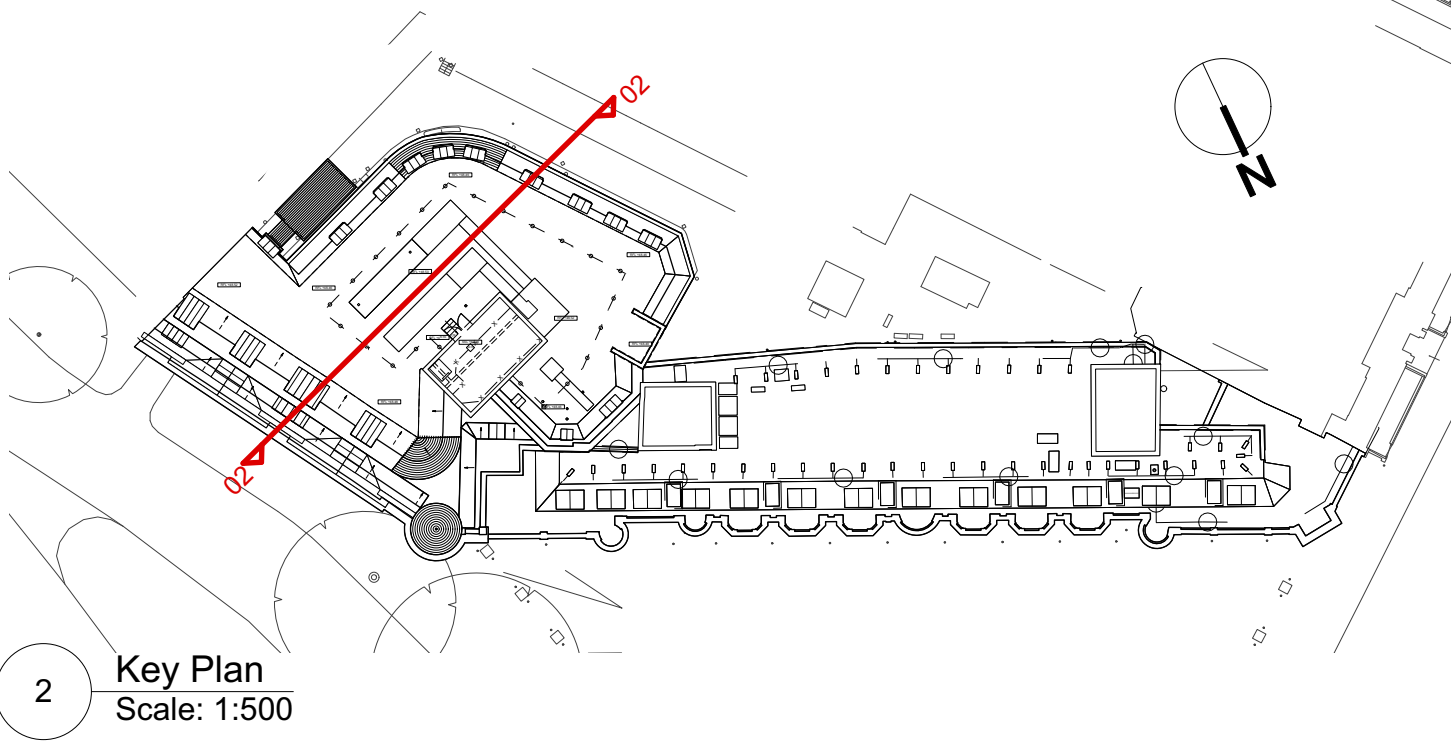


PLANNING

- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessments and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:			
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 301			
01	01.301.01 - Allow for existing windows to service yard elevation to be removed and structural openings to be enlarged down to slab level	09	01.301.09 - Existing key clamp handrail guarding to be removed and stored for reuse
02	01.301.02 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration	10	01.301.10 - Existing rooftop plant to be removed completely
03	01.301.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	11	01.301.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
04	01.301.04 - Existing first floor windows to Southampton Row to be removed completely	12	01.301.12 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
05	01.301.05 - Existing shopfront glazing to be removed at ground floor level	13	01.301.13 - Allow for existing lobby to be removed
06	01.301.06 - Existing doors to lift motor room to be removed and replaced	14	01.301.14 - Allow for masonry wall to be removed
07	01.301.07 - Existing dormers to be retained and repaired as required	15	01.301.15 - Existing tarmac surface to be removed
08	01.301.08 - Lift car, associated services and shaft to be removed entirely	16	01.301.16 - Existing screed to be removed
		17	01.301.17 - New opening to be cut into lift motor room roof for new AOV installation



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.

This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments
PL-3	07/02/2025	Revisions as bubbled

Date Jan 2021	Drawn KP	Check DT	Project Vernon House	Job Ref. 383
Scale 1:100 @A1			Title 21SR - Demolition Section 02	
Status PLANNING		Client Ref EDR	Drwg. no. 383 (DE) 301	Rev. PL-3
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