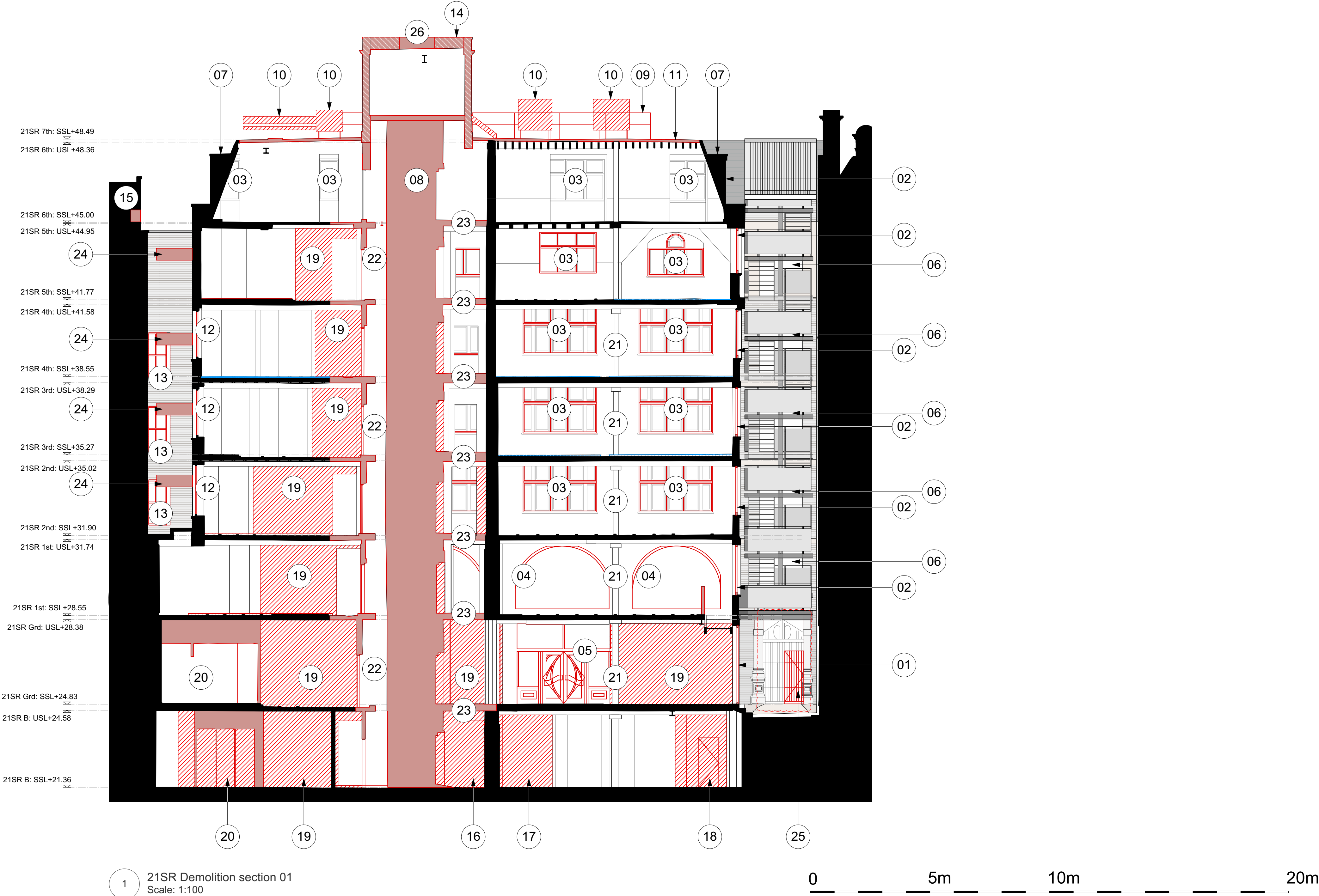
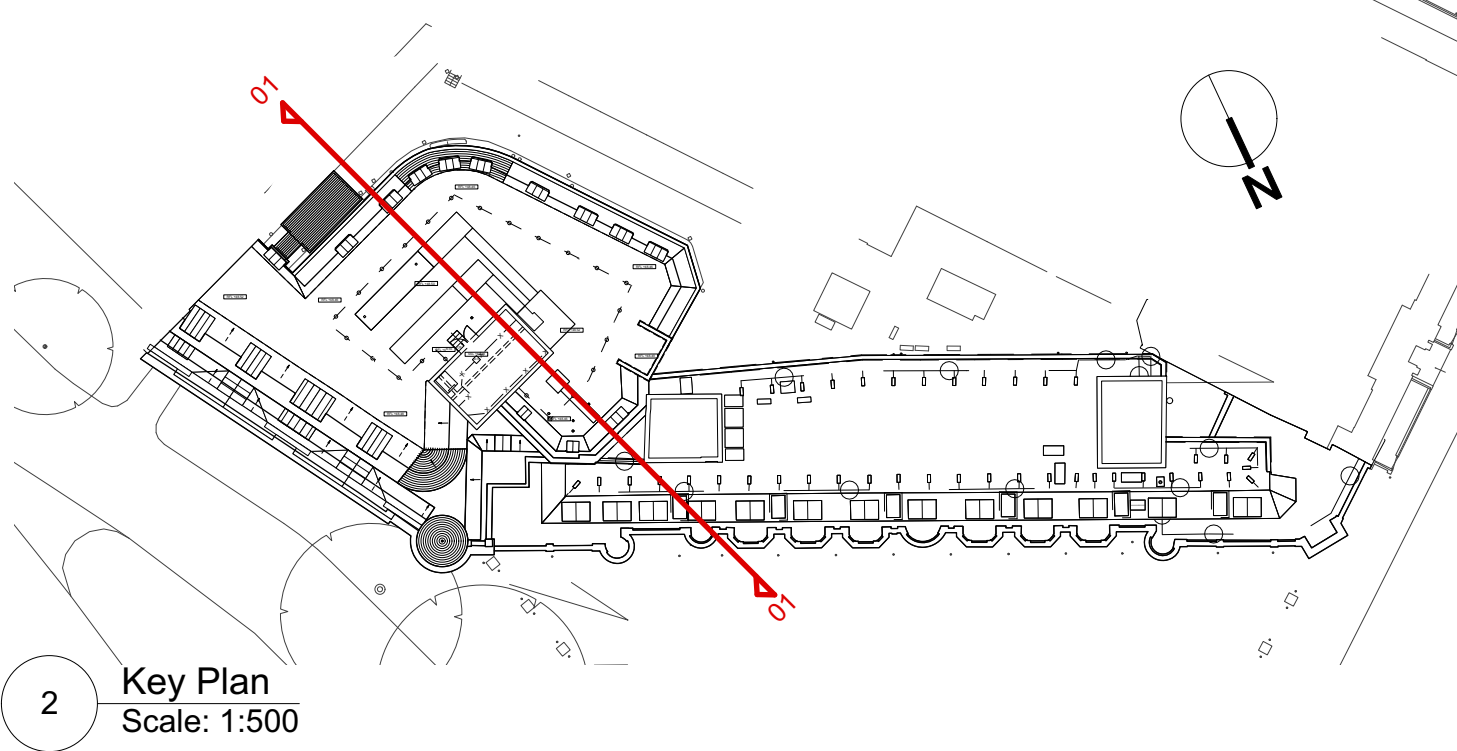


PLANNING

- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 300	
01	01.300.01 - Existing windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation to be removed and structural openings to be enlarged down to slab level
02	01.300.02 - Existing windows to existing fire escape to be removed
03	01.300.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
04	01.300.04 - Existing first floor windows to Southampton Row to be removed completely
05	01.300.05 - Existing shopfront glazing to be removed at ground floor level
06	01.300.06 - Existing non original fire escape door and window to be removed from existing structural openings
07	01.300.07 - Existing dormers to be retained and repaired as required
08	01.300.08 - Lift car, associated services and shaft to be removed entirely
09	01.300.09 - Existing key clamp handrail guarding to be removed and stored for reuse
10	01.300.10 - Existing rooftop plant to be removed completely
11	01.300.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
12	01.300.12 - Existing windows to 21 Southampton Row lightwell to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
13	01.300.13 - Existing windows to Sicilian House lightwell to be removed and blocked up
14	01.300.14 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
15	01.300.15 - New structural opening to be formed in existing lit motor room wall for new ductwork route
16	01.300.16 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
17	01.300.17 - Allow for existing lobby to be removed
18	01.300.18 - Existing internal plant to be removed completely
19	01.300.19 - Allow for masonry wall to be removed
20	01.300.20 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
21	01.300.21 - Existing feature round steel columns to be retained and protected throughout works
22	01.300.22 - Non original partitions forming services risers to be demolished entirely
23	01.300.23 - Existing concrete slabs to be removed within stair core
24	01.300.24 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification to provide new ventilation route
25	01.300.25 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
26	01.300.26 - New opening to be cut into lift motor room roof for new AOV installation



<p>dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.</p> <p>Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.</p> <p>This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.</p> <p>All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.</p> <p>Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.</p>	Revision	Date	Amendment	Date	Project			Job Ref.	<div>halebrown</div> <div>architects</div>
	PL-1	22/07/2022	Issued for Planning	Jan 2021	Vernon House			383	
	PL-2	01/03/2023	Revisions as per agreed amendments	Scale	Drawn	Check	Title		
	PL-3	07/02/2025	Revisions as bubbled	1:100 @A1	KP	DT	21SR - Demolition Section 01		
				Status	Client Ref		Drwg. no.	Rev.	
			PLANNING	EDR	383 (DE) 300		PL-3		
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				T: 020 3735 7442 E: <a href="mailto:mail@halebrown.com">mail@halebrown.com</a> W: <a href="http://www.halebrown.com">www.halebrown.com</a>					