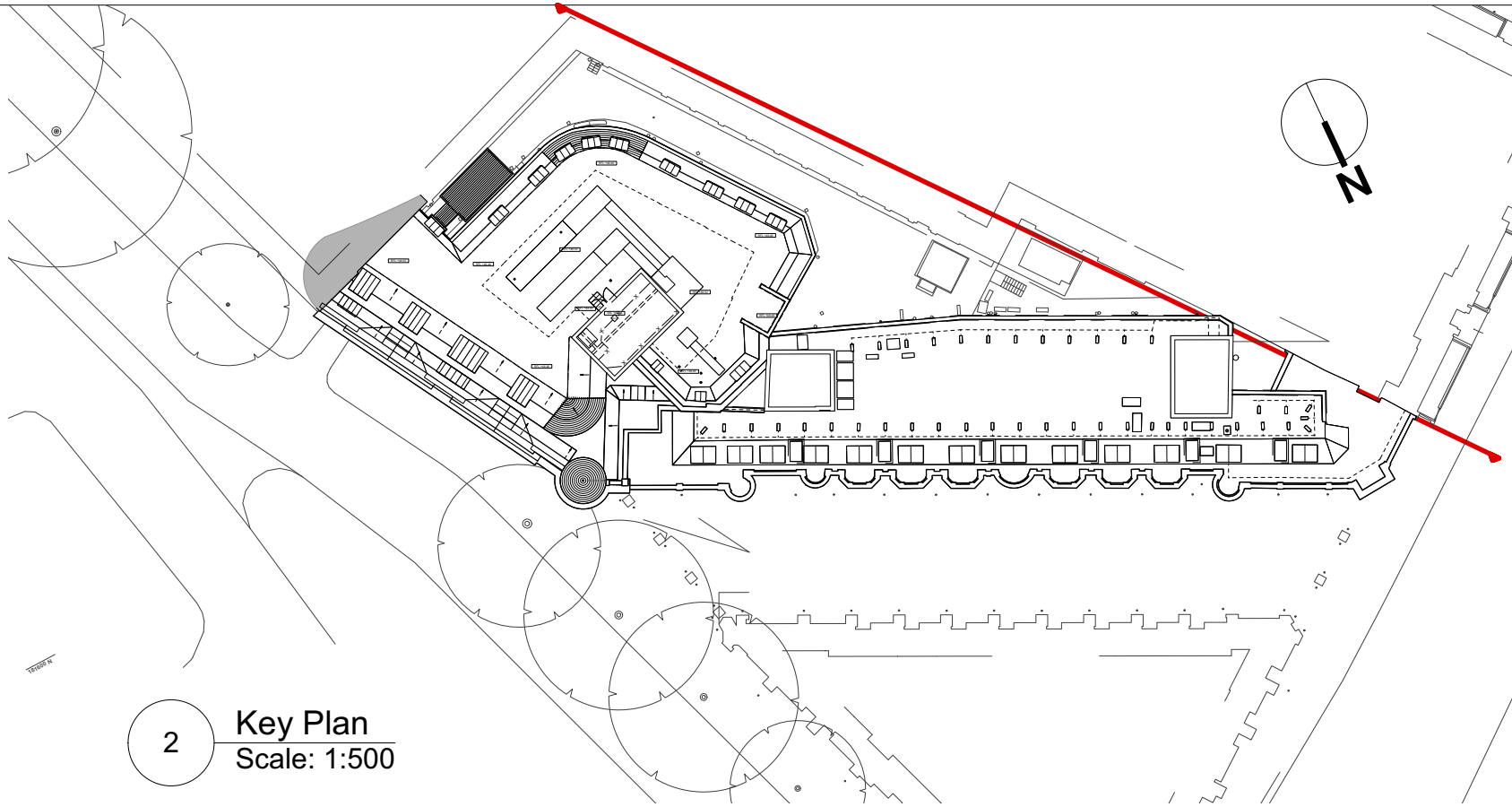


PLANNING

KEY

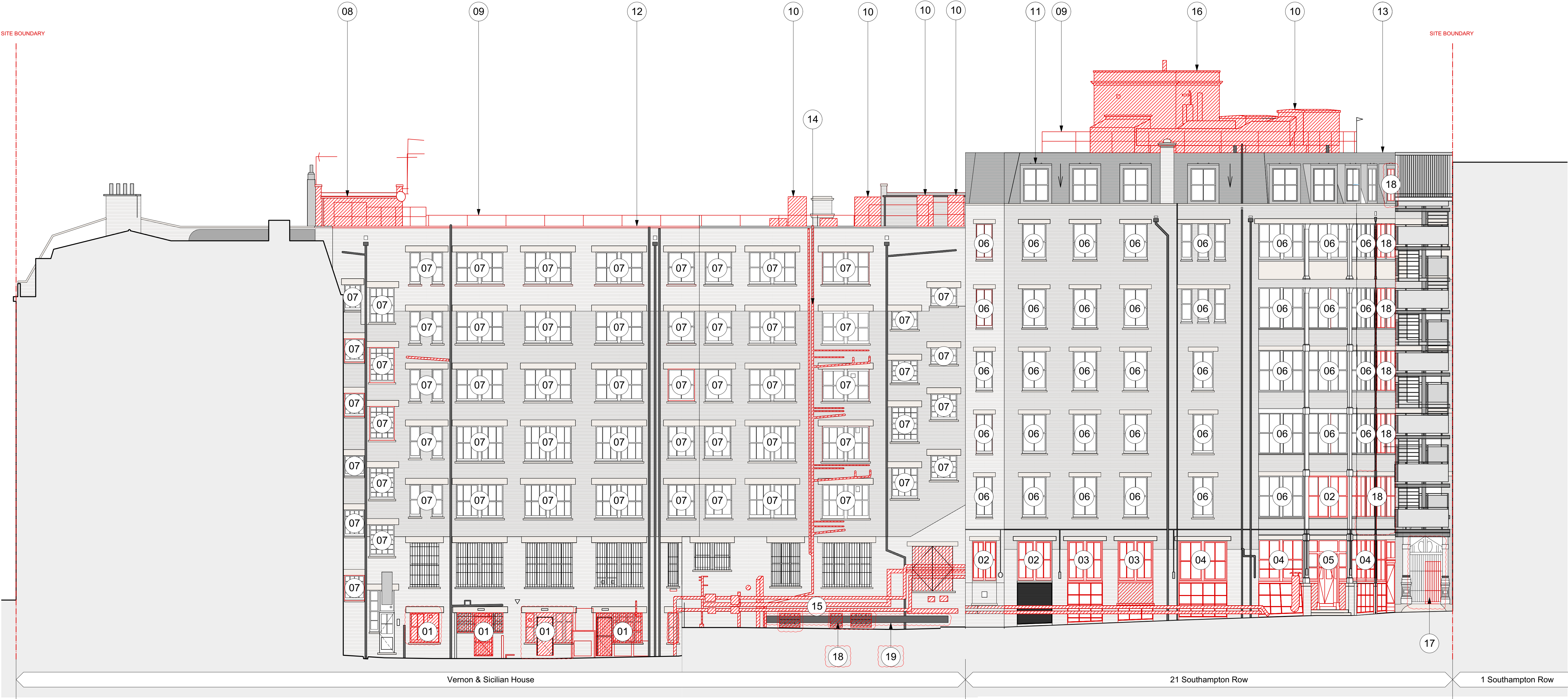
Indicates existing structure, walls & other building fabric to be demolished or altered

Schedule of Works Key:		09	01.262.09 - Existing key clamp handrail guarding to be removed and stored for reuse
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 262		10	01.262.10 - Existing rooftop plant to be removed completely
01	01.262.01 - Existing doors and windows to service yard of Vernon & Sicilian House LG retail units to be removed	11	01.262.11 - Existing dormers and windows to be retained and repaired as required
02	01.262.02 - Existing windows of 21 Southampton Row to service yard elevation to be removed	12	01.262.12 - Allow for entire existing roof coverings and structure to be removed back to primary steel beams, ready for installation of new timber joisted flat roof to SE specification
03	01.262.03 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to new slab for Cycle entrance	13	01.262.13 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
04	01.262.04 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level	14	01.262.14 - Existing external SVPs to be removed completely
05	01.262.05 - Existing door of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level	15	01.262.15 - Existing external low level ductwork to be removed completely
06	01.262.06 - Existing windows to rear elevation of 21 Southampton Row to be retained strip out existing painting and get ready for redecoration	16	01.262.16 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing.
07	01.262.07 - Existing windows to rear elevation of Vernon & Sicilian House and 21 Southampton Row to be retained strip out existing painting and get ready for redecoration	17	01.262.17 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
08	01.262.08 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.	18	01.262.18 - Existing windows to be removed
		19	01.262.19 - Existing sub station cabling and metal support frame retained

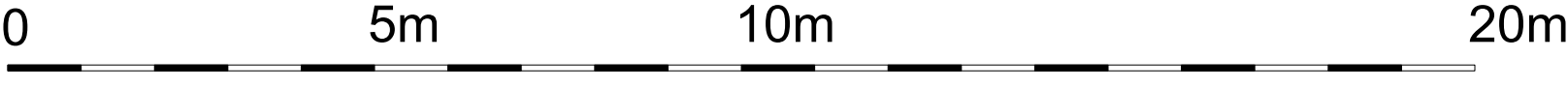


SITE BOUNDARY

SITE BOUNDARY



1 Vernon & Sicilian House Demolition South West Context Elevation
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments
PL-3	07/02/2025	Revisions as bubbled

Date Jan 2021	Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100	Drawn KP	Check DT	Title Vernon & Sicilian Hse Demolition South West Context Elevation
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 262	Rev. PL-3
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com			

halebrown
architects