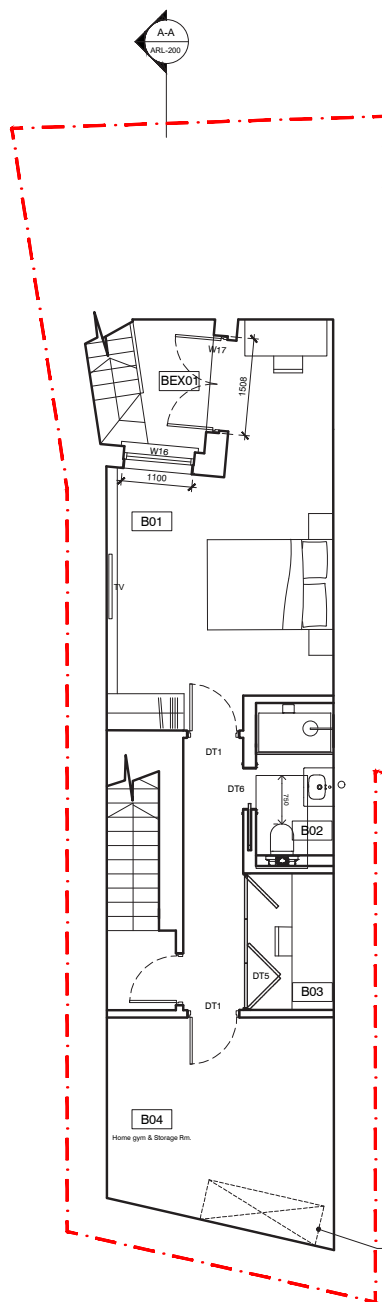


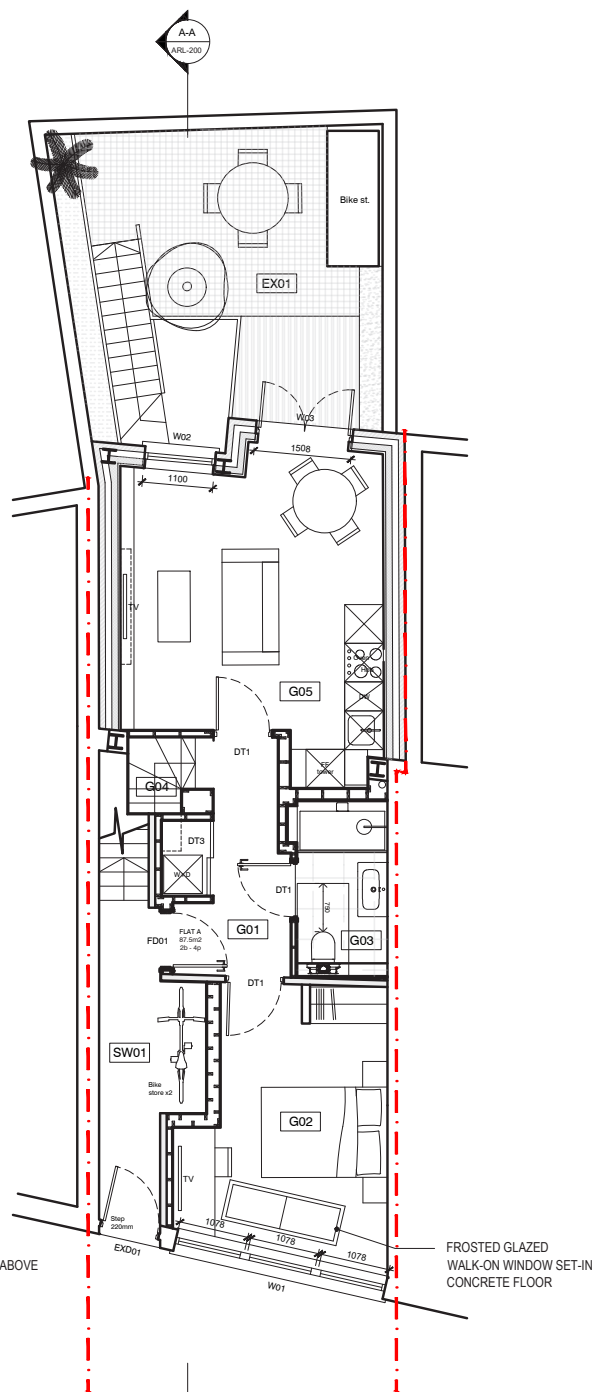
# Arlington Road

## Design & Access Statement

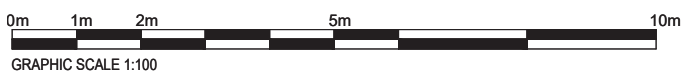
Rev A / May 2024



1 BASEMENT FLOOR PLAN  
SCALE 1:100 @ A3



2 GROUND FLOOR PLAN  
SCALE 1:100 @ A3



Proposed floor plans

# Design & Access Statement

## 1. Project Summary

This DAS forms part of the planning application for a new basement to extend the lower ground floor flat at 175 Arlington Road.

The site is located at 175 Arlington Road, London NW1 7EY. Just north of the junction with Parkway.

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## 2. Site Details

The site is rectangular in shape measuring 18.3 long and 4.7 wide. The site is currently occupied by a two-storey terrace building which includes , a ground level, a first-floor level and a second floor level. The property has a rear garden.

The site is within the Camden Town Conservation Area.

The property on the site shares a party wall with the property at 173 Arlington Road along the south site boundary and 177 Arlington Road along the north site boundary.

The proposed development at 175 Arlington Road involves the basement to the rear of the property and across the full width of the site. The basement will be constructed using underpin footings along the majority of the basement footprint.

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## 3. Conservation Area Summary

Summary extract from Camden Town Conservation Area Appraisal and Management Strategy;

'The Camden Town Conservation Area can be divided into two sub areas of distinctly different character, a busy commercial and retail area, and, a quieter more formal residential area.

The commercial sub area consists of a traditional wide shopping street linking the busy junction at Mornington Crescent to the eclectic and lively town centre at the heart of

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Camden Town. The focus of Camden Town is Britannia Junction which acts as a hub and an important interchange, with busy, noisy, dynamic and diverse characteristics. This retail and commercial area is powerfully urban in character with few openings between the continuous building lines and an absence of public open spaces and soft landscaping. Within this part of the Conservation Area there are two underground stations, an array of banks, restaurants, street markets, shops and stalls, signs and vehicles all existing within an historic architectural streetscape. The buildings reflect the diverse and changing architectural styles over the last two hundred years. Terraces of flat fronted early to mid 19th century houses now fronted by shops, mid Victorian stucco terraces, Victorian Gothic buildings, late Victorian and Edwardian red brick parades four and five storeys high with decorative gables, imposing banks, places of entertainment and public houses occupying key focal sites, and 20th century buildings all contribute to the wide ranging variety of architectural styles.

To the east, the backs of the retail premises on Camden High Street are accessed by cobbled mews which today are still largely in commercial use. Beyond the commercial interests are areas of late 18th and early 19th century residential development while to the west of the High Street narrow passage-ways link through to quiet tree lined streets forming the residential sub area. These streets of stock brick and stucco terraces date from the early to mid 19th century and are more consistent in character, and are in marked contrast to the dynamic, busy commercial frontages.

The Conservation Area has a high proportion of 19th century buildings both listed and unlisted, which make a positive contribution to the historic character and appearance of the Conservation Area. There is an overall 19th century architectural and historic character and appearance throughout.'

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## 4. Description of Proposal

It is proposed to construct the basement to the full width of the site and to the part of the rear garden. This will result in the basement extending outside the footprint of the above ground floor. The formation level of the proposed basement will be at approximately 25mOD. The structure will be supported by 'L' shaped underpin footings. Please refer to the Basement Impact Assessment for further structural details.

There are no changes to the proposed front facade as part of this application, and no proposed changes to the previously consented shop front alterations as part of the previous granted permission.

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## 5. Use

The proposed use of the basement will be residential use.

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## 6. Size & Scale

The size of the proposed basement is 45.9sqm GIA.

The scale of the proposed basement finish floor is set at a depth of -2.9m below ground floor finish level.

## 7. Access

The proposed basement will be accessed via the ground floor residential unit. It is within Flood Zone 1, see flood map below. In case of an emergency, there is a secondary escape route within the rear garden.

