

Kendall
Kingscott

Design & Access Statement

SW11: Alterations for Louvre Window to Bloomsbury Theatre

Client

University College
London

Project Number

240080

Document Number

240080 – 0250

Date

21.02.2025

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Document Control Record

Version	Date	Prepared by	Checked by
P01	21.02.2025	Zain Iqbal	Sabrina Fernandez

1.0 Introduction

This Design Access Statement has been prepared in support of a planning application submitted by Kendall Kingscott Limited on behalf of University College London respect of works to Bloomsbury Theatre regarding the alternations and refurbishment.

Project SW11 comprises the provision of refurbishment of second floor student spaces in the Bloomsbury Theatre, 15 Gordon St, London, WC1H 0AH

The statement comprises of the following sections–

1. Introduction
2. Site Description
3. Planning Statement
4. Proposed Works
5. Design & Access statement
6. Parking and Access
7. Sustainability
8. Summary & Conclusions

2.0 Site Description

The Bloomsbury Theatre building was constructed Cira 1960s, and it was part of the Universities College London (UCL) expansion and intended to serve both the university and wider public as a performance space.



Fig.1 London Borough of Camden map outlining listed buildings and Conservation Area

3.0 Planning statement

The works are in accordance with the relevant National and Local Policies. The London Borough of Camden's Local Area Requirements for Planning Applications (2018) state that where a development may give rise to noise, including plant, ventilation, air extraction or conditioning near a "noise sensitive use" (which) may include housing, schools/libraries, hospitals, offices, workshops, laboratories, hotels and open spaces, then an Acoustic Report should be provided in support of the planning application.

Policy Drivers are listed as:

National Planning Policy Framework;

Camden Local Plan Policies A1, and A4;

Relevant Neighbourhood Plans;

Appendix 3 of the Local Plan and Camden Planning Guidance on Amenity.

Guidance cited in Appendix 3 – Proposed Developments likely to be Sensitive to Noise.

Policy A4 Noise and vibration of the Camden Local Plan 2017 states that: The Council will seek to ensure that noise and vibration is controlled and managed.

Development should have regard to Camden's Noise and Vibration Thresholds (Appendix 3). We will not grant planning permission for:

a. development likely to generate unacceptable noise and vibration impacts; or

b. development sensitive to noise in locations which experience high levels of noise, unless appropriate attenuation measures can be provided and will not harm the continued operation of existing uses.

We will only grant permission for noise generating development, including any plant and machinery, if it can be operated without causing harm to amenity. We will also seek to minimise the impact on local amenity from deliveries and from the demolition and construction phases of

development.

There was no record of any planning permission for the existing external condenser units that are already in place. It is therefore required that a full planning application and listed building consent is required.

3.01 Site History

There is history record of planning permission for Bloomsbury Theatre, but no permissions have been submitted for proposed scheme.

3.02 Statement of Community Involvement

The building is situated within UCL's main campus, and the students and staff will benefit from the proposed works.

3.03 Supporting Documentation

The relevant information is attached within the Appendices of this Design and Access Statement.

Refer to Appendix A for Architectural Drawings.

Refer to Appendix B for Mechanical Drawings

Refer to Appendix C for Photos

Refer to Appendix D for Acoustic Testing Noise Report.

4.0 Proposed Works

A section of the window on the external elevation will have the glazing

removed and replaced with louvre. The proposed louvre approx. 200 x 1800mm

5.00 Design and Access Statement

5.01 Use

UCL seek to utilise Bloomsbury Theatre as a space for staff, students, performers and by upgrading the window to a louvre will add to the help ventilation and temperature regulation.

6.0 Parking and Access

The proposed works will have no change to the current access arrangements.

7.0 Summary & Conclusions

Throughout the design process every effort has been made to consider

the impact of the proposal and balance this against the comfort and wellbeing of both students and staff as well as the teaching and now administrative requirements of UCL.

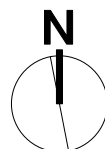
Kendall Kingscott was appointed to deliver Architectural Design Services and M&E services for the works proposed.

A key principle emphasised by UCL relates to the sustainability of any future works as it has pledged to become a carbon neutral entity by 2030. To this end, in accordance with Camden's approach towards sustainable development within the borough (set out within Policies CS13 and DP22 in Camden Development Policies) the proposed works 'include measures to minimise the effects of, and adapt to, climate change' through mechanical and electrical design.

The proposal will benefit UCL sustainable needs and will ultimately improve the comfort and wellbeing of both students and staff.

Appendix A – Architectural Drawings

SW11 - 090 - BLOOMSBURY THEATRE
LOCATION PLAN



Suite 3, Sandford House,
1b Claremont Rd, Teddington,
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Project
CESB Small Works 2023/24

Client
UCL - University College London

Date
05/03/2024

Drawn
ML

Purpose/Status
FEASIBILITY

Scale
1:1000

Checked
GC

Paper Size
ISO A2

Filename
240080 CESB-SW11-Planning.vwx

P3 18/02/2025 JI ZI Planning Issue
P2 14/06/2024 ML AC STAGE 1 - Issued to client
P1 24/05/2024 ML AC STAGE 1 - Stakeholders issue

Rev Date By Ap Note

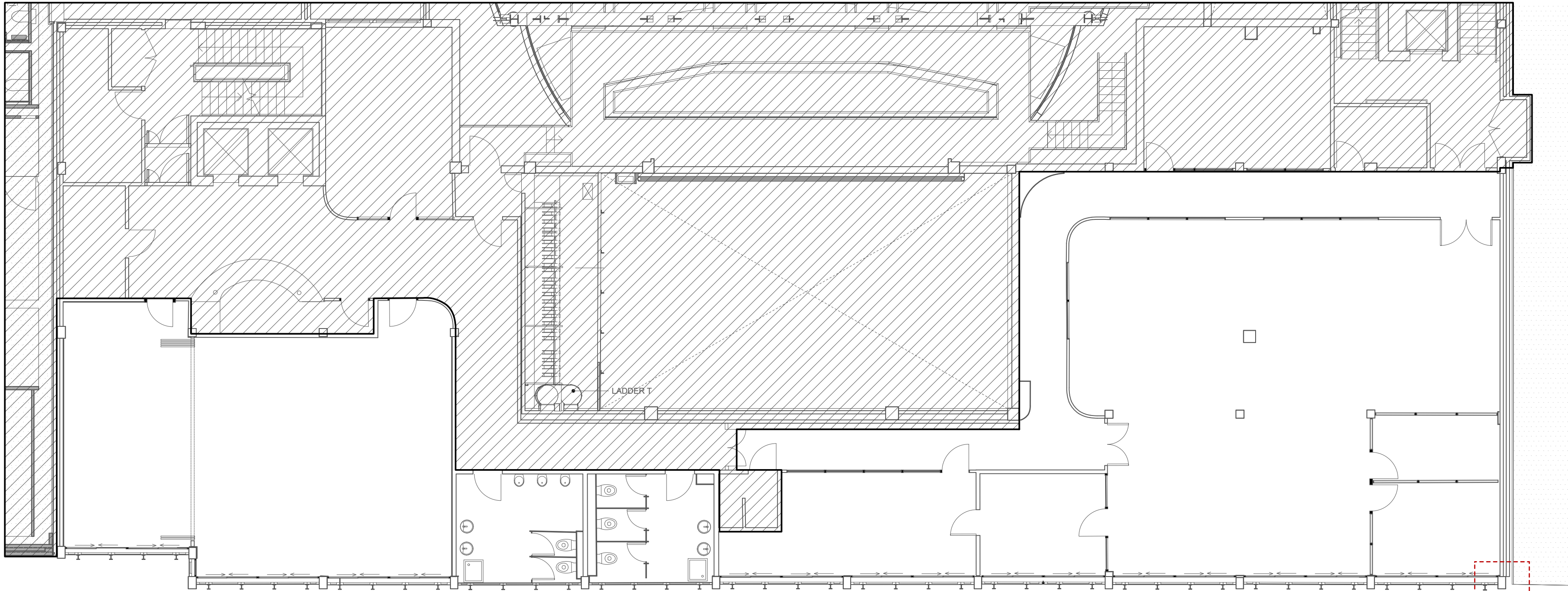
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SW11 - 009 - Bloomsbury Theatre - Site Location Plan
Location Plan

Project Number/Drawing Number
240080-SW11-1101

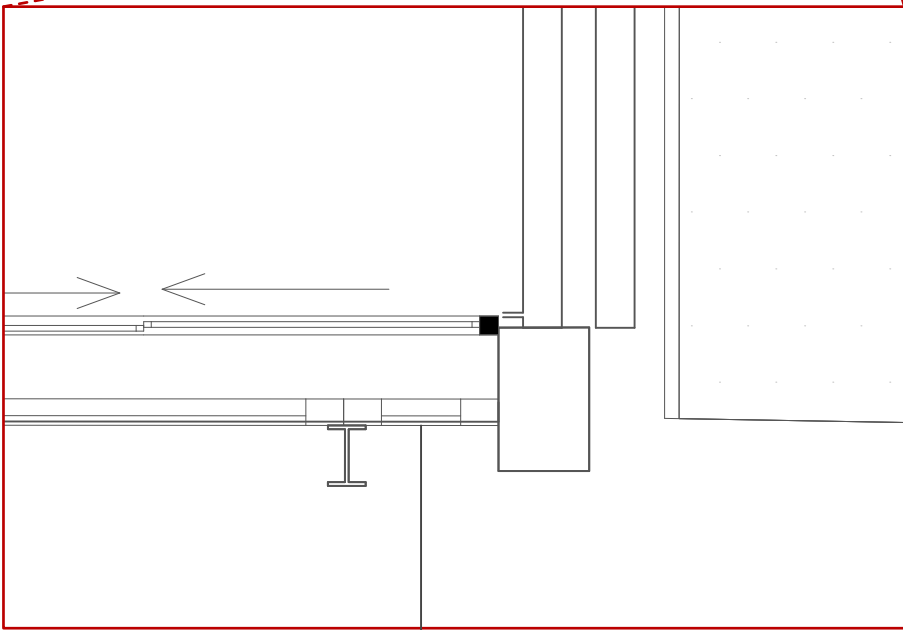
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P3
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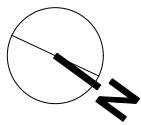


Existing Second Floor Plan
Scale: 1:100



Glazing to be removed and replaced with louvre

SW11 - 009 - BLOOMSBURY THEATRE
EXISTING SECOND FLOOR PLAN - UCLU COMMON ROOM, TOILETS & ROOMS 203A / 203B



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Project
CESB Small Works 2023/24

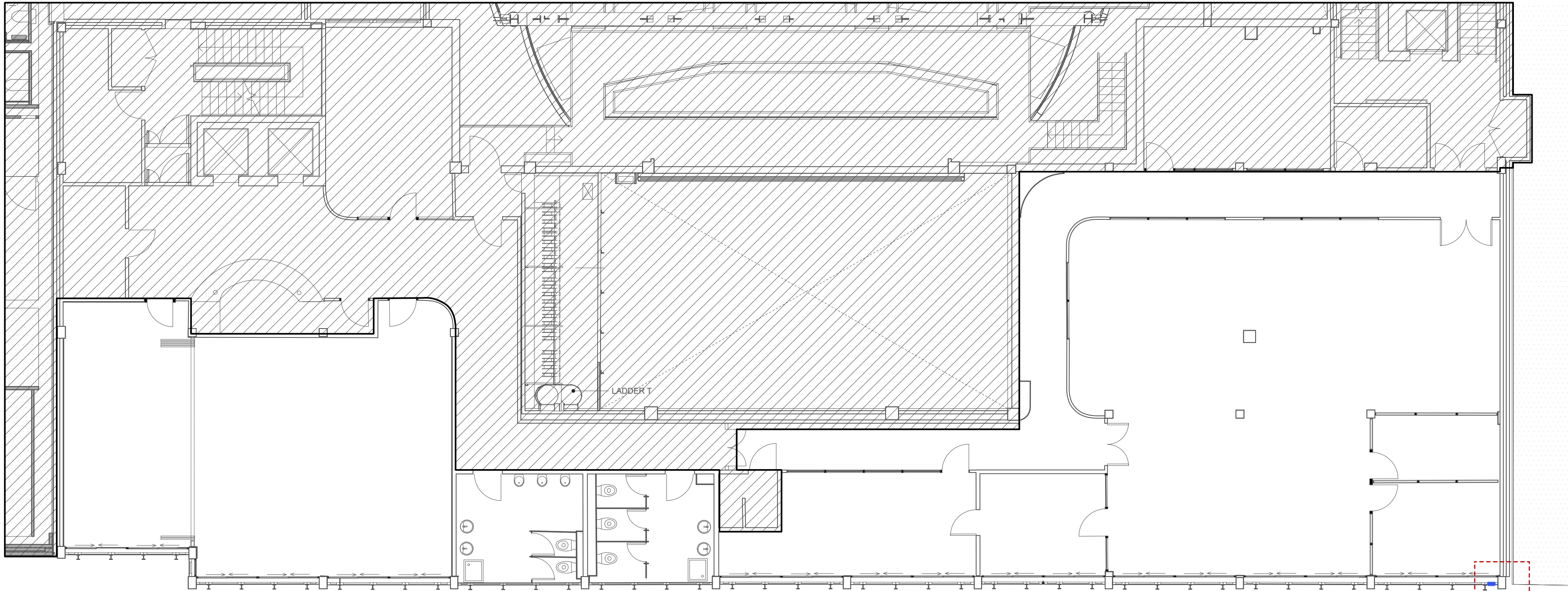
Client
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Date	Drawn	Purpose/Status
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Scale	Checked	Paper Size
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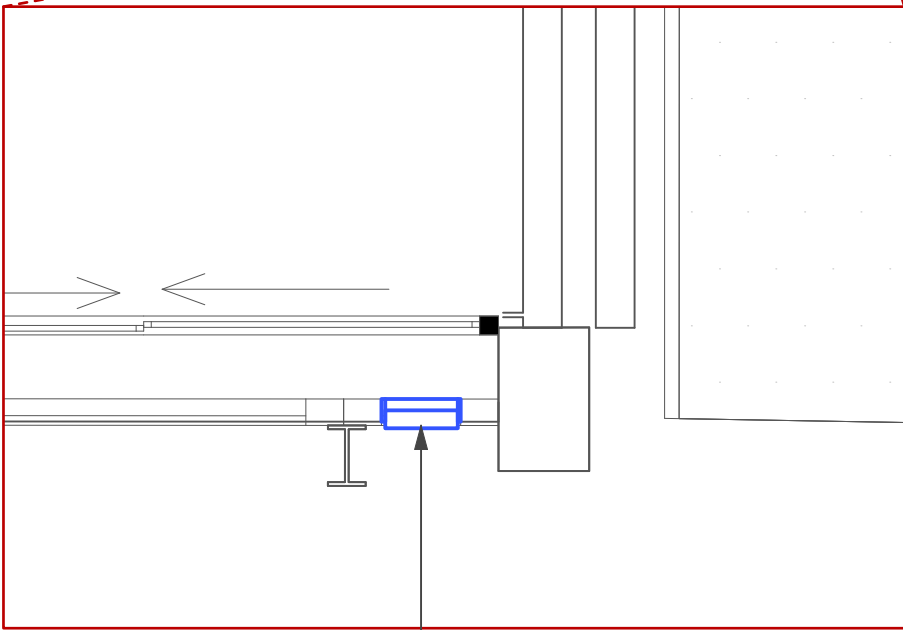
PO1 17/02/2025 J1 Z1 Planning
Rev Date By Ap Note

Drawing Title
**SW11 - 009 - Bloomsbury Theatre - Exg. Second Floor
UCLU Common Room, Toilets & Rooms 203A / 203B**
Project Number/Drawing Number
240080-SW11-1200
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P01
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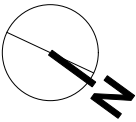
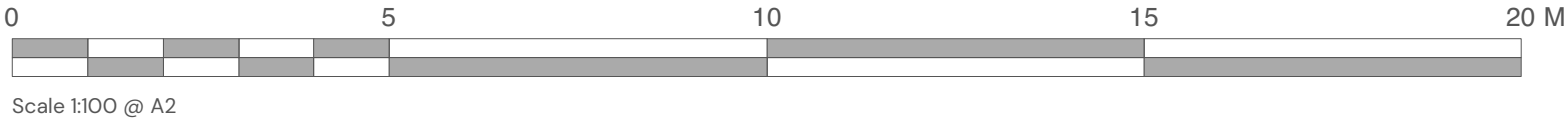


Existing Second Floor Plan
Scale: 1:100



New Louvre approx 200 X
1800mm

SW11 - 009 - BLOOMSBURY THEATRE
PROPOSED SECOND FLOOR PLAN - UCLU COMMON ROOM, TOILETS & ROOMS 203A / 203B



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Project
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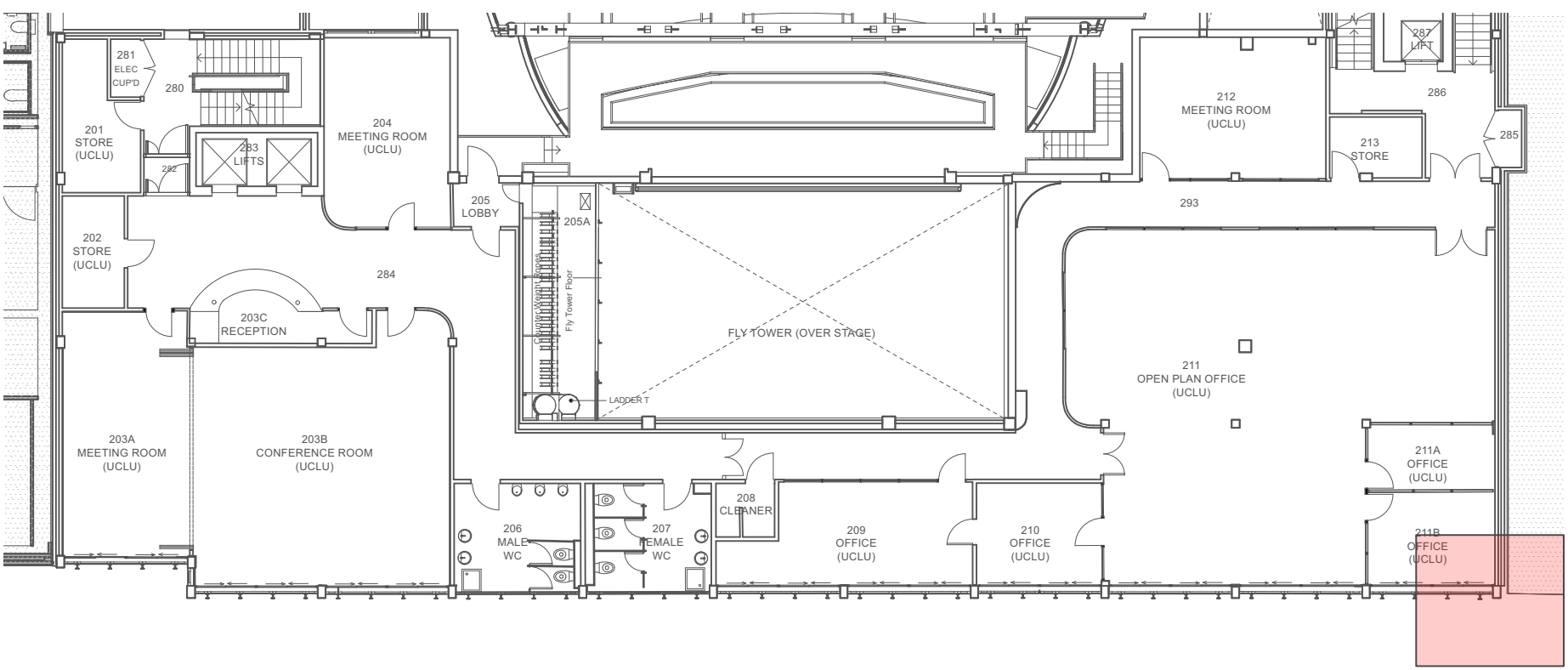
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Rev	Date	By	Ap	Note

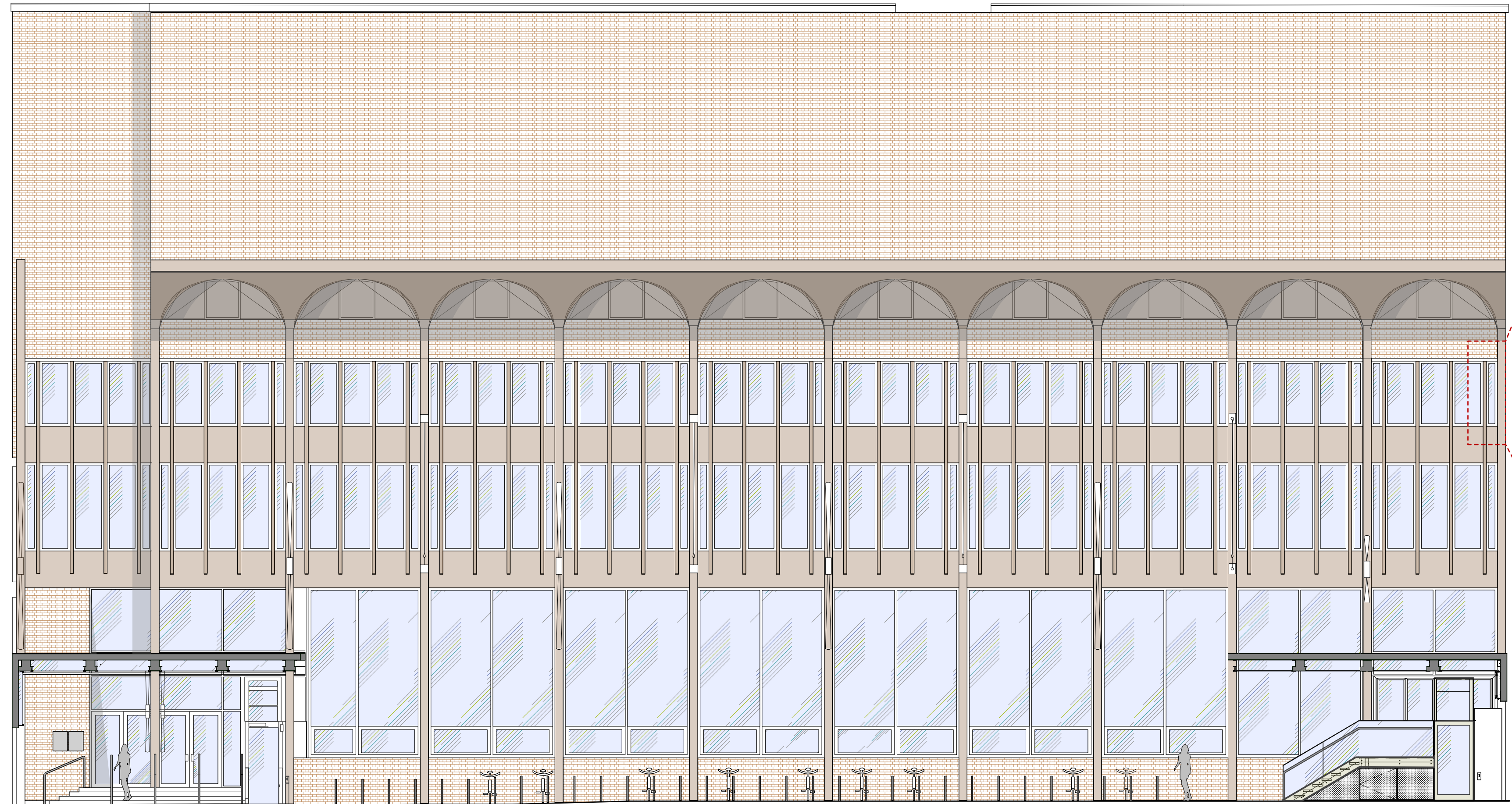
Drawing Title	SW11 - 009 - Bloomsbury Theatre - Proposed Second Floor UCLU Common Room, Toilets & Rooms 203A / 203B
Project Number/Drawing Number	240080-SW11-1407
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P01
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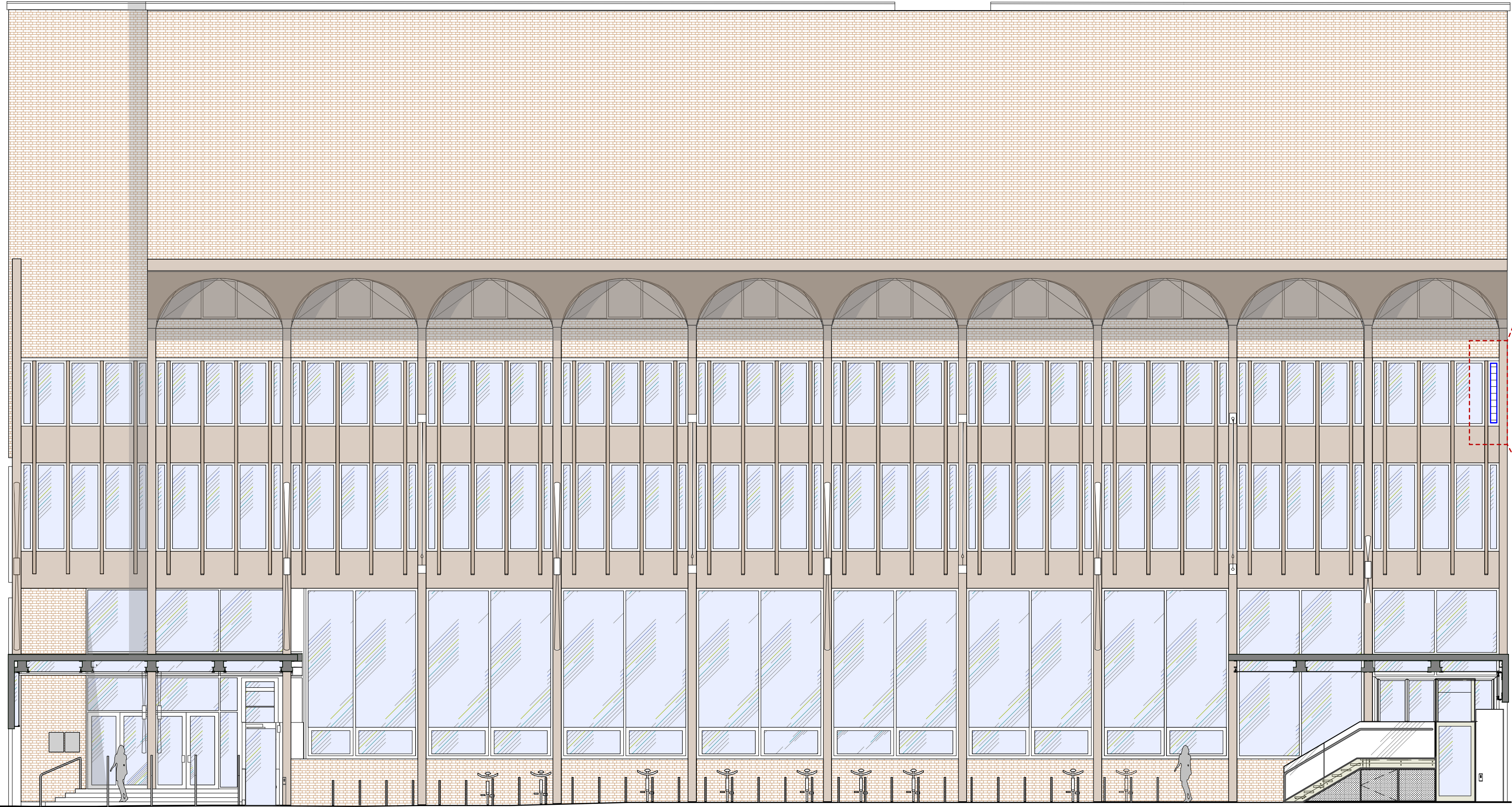
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Key Plan (NTS)



Existing window
Scale: 1:20

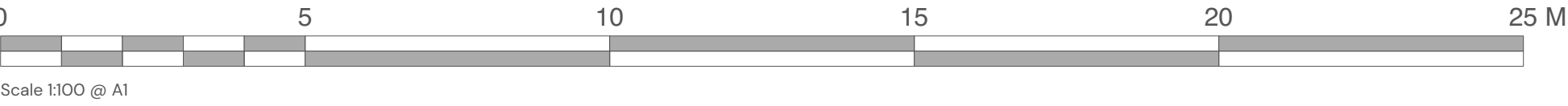


New Louvre approx 200 X 1800mm

Proposed Louvre
Scale: 1:20

Proposed Elevation
Scale: 1:100

EXISTING AND PROPOSED ELEVATIONS



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Project
CESB Small Works 2023/24

Client
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Date
05/03/2024

Drawn
JI

Purpose/Status
PLANNING

Scale
1:100

Checked
ZI

Paper Size
ISO A1

Filename
240080 CESB-SW11-Planning.vwx

PO1 14/02/2025 JI Z1 Planning
Rev Date By Ap Note

Drawing Title
SW11 - 009 - Bloomsbury Theatre - Existing and Proposed Elevation

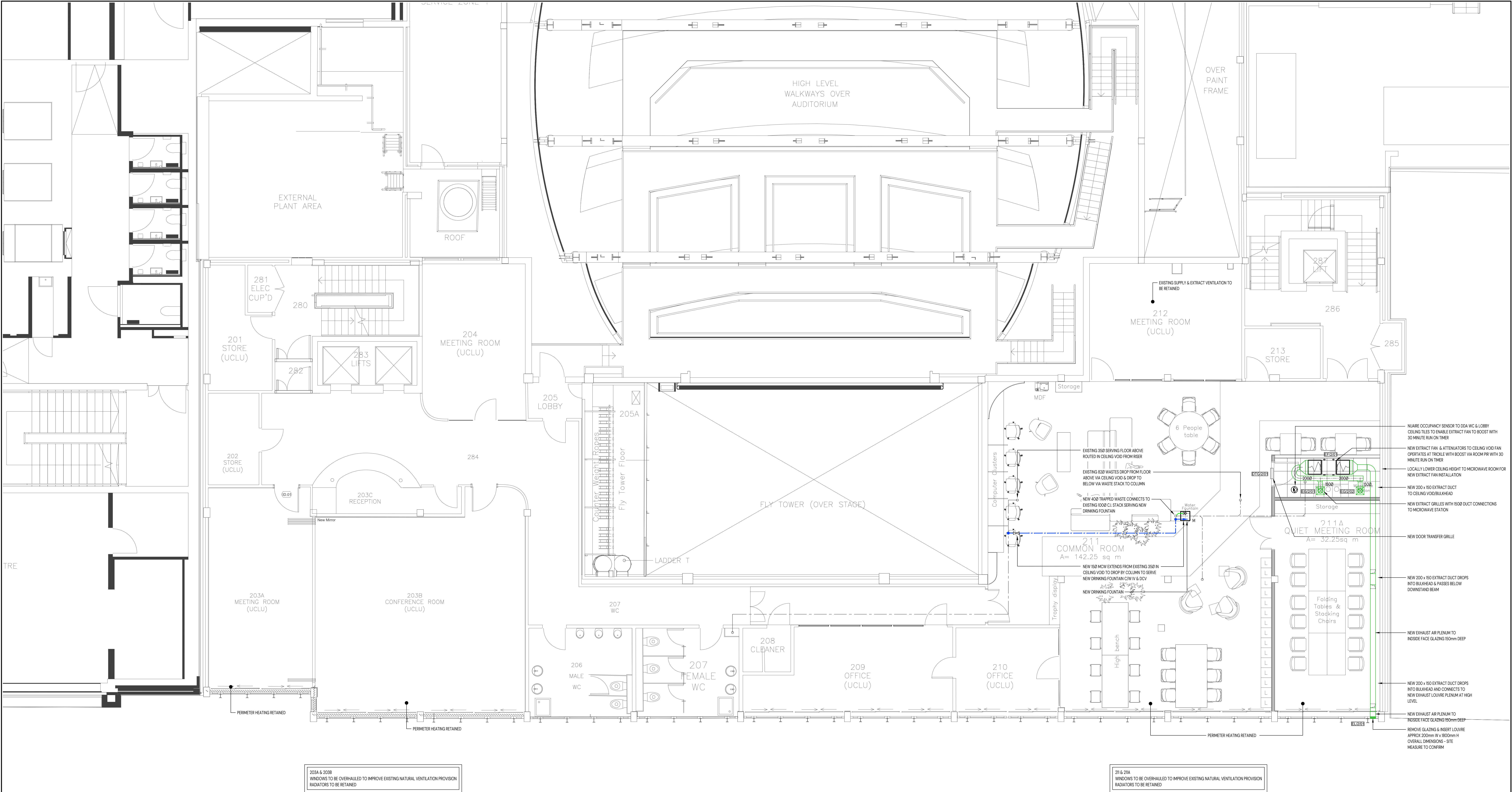
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Appendix B – Mechanical Drawings



NOTES

- Unless stated otherwise, all dimensions are in millimetres.
- All service routes and equipment locations are indicative, actual locations shall be determined by site dimensions.
- Where applicable, all dimensions shall be checked by the contractor on-site, prior to commencement of any works.
- THIS IS NOT A WORKING OR INSTALLATION DRAWING.
- Requirements of the Health & Safety at Work Act 1974 & subsequent amendments thereto are brought to the attention of all those who design, install or maintain the plant and equipment shown on these drawings or are required to enter areas shown on these drawings.
- All works shall be designed & installed in full compliance with the appropriate European Standards (BS EN) or alternatively British Standards (BS) & BS EN Standards do not exist for a specific system.
- This drawing is provided to indicate design intent for the mechanical services arrangements and is not to be used as a working drawing. The mechanical contractor shall be responsible for the final coordination & installation of the complete mechanical services & ancillary services installations and shall incorporate the latest Architectural, Structural & Electrical design information for individual mechanical system requirements, refer to the mechanical services specification, drawings & schedules.
- This drawing is to be read in conjunction with all relevant Architects, Consultants and Project Managers' drawings, specifications and schedules. This shall include, but not be limited to, the following:
 - Mechanical, Electrical & Public Health services drawings
 - Engineering specifications
 - Architectural drawings & specifications
 - Structural engineering drawings & documentation
 - Fire consultants drawings & specifications
 - Main contract preliminaries
 - Any queries relating to setting out shall be raised with the Project Manager.
- The existing information contained on this drawing has been produced from a non-destructive visual survey and record documentation only. It is the Contractor's responsibility to verify all information prior to any services being installed and to report out.
- Any recent information and floor plans issued to the Contractor may not be fully up to date and accurate and shall be used as guidance only.
- Existing mechanical services have not been fully traced.
- Existing mechanical services are to be retained unless stated otherwise and only removed or generally altered within the areas undergoing refurbishment or where services are being upgraded.
- Mechanical Contractor to identify to the main contractor all risks, ceilings, boogies etc. which conceal service routes which require to be opened up to enable inspection, servicing of retained services, equipment isolation and strip-out of concealed services routes.
- New drinking fountain drainage to be installed in plastic pipework with trapped connection to existing SVP.
- The water services installation shall be installed in accordance with BS EN 806, BS EN 805 and the Water Supply (Water Fittings) Regulations 1999.
- Water service pipework shall be installed by a WAFPS Registered Contractor.
- All water service pipework shall be installed in copper tube to BS EN 1207/EN 10225.
- All low points to have drain valves.
- All high points to have air valves.
- All cold water pipework up to the final isolating valve shall be insulated. All cold water pipework insulation shall include a vapour seal.
- Fire protection to be provided wherever a fire compartment is broken and shall be suitably fire stopped to the same standard as the barrier/floor/wall being penetrated and to comply with the appointed Fire Consultant's requirements.
- Main Contractor to provide access equipment for high level services above 3.0m.
- The Contractor shall provide the client with an electronic copy of the operational and maintenance manual to UCL standards as detailed within the specification.
- Reference is to be made to the UCL Design Standards for Mechanical, Electrical and Public Health Services Specifications which are available at <https://www.ucl.ac.uk/estate/epk/water/2022/rev/design-standards-mechanical-electrical-and-public-health-services>

203A & 203B
WINDOWS TO BE OVERHAULED TO IMPROVE EXISTING NATURAL VENTILATION PROVISION
RADIATORS TO BE RETAINED

211 & 211A
WINDOWS TO BE OVERHAULED TO IMPROVE EXISTING NATURAL VENTILATION PROVISION
RADIATORS TO BE RETAINED

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