

Proposed Lower Ground Floor

key	
	New timber floorboards
	Paver finish
	Stone/ tile finish
	Timber decking finish
	Carpet finish

annotations					
01	New structurally glazed rear extension	09	New timber sash window	17	Infill existing window in matching brickwork
02	Glazed partitions to vaults	10	omitted	18	New internal panelling matching surrounding panelling
03	New insulated drylining to existing walls	11	Walk-on glass rooflight	19	New traditional style timber staircase and balustrade
04	New internal partitions	12	omitted	20	New part glazed part solid stair enclosure
05	New built in joinery	13	External metal stairs	21	omitted
06	omitted	14	Structural glass balustrade	22	omitted
07	New door	15	Mild steel balustrade	23	omitted
08	Replacement glazing to windows	16	Timber privacy trellis 1.7m above terrace FFL	24	omitted
				25	Make good existing cement render as necessary
				26	omitted
				27	omitted
				28	Adapt existing railing to form a gate
				29	Wet underfloor heating to lower ground floor
				30	Electric underfloor heating to bathrooms on upper floors
				31	Recreation of pitched roof slope - natural welsh slates

note

Do not scale from this drawing. Use only figured dimensions. All dimensions to be checked on site. Any errors or omissions must be reported to Name Architects or the Contract Administrator.

scale bar

0 500 1000 2000 5000

north point

Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises;

rev B

rev A

note

Introduction of sloped roof to 4th floor terrace;

date

25.04.04

by

VV

project

38 Great James Street

status

Planning

client

Cooper

scale

1:100@A3 / 1:50@A1

date

January 2025

drawn

VV

check

VV

project no.

2407

dwg no.

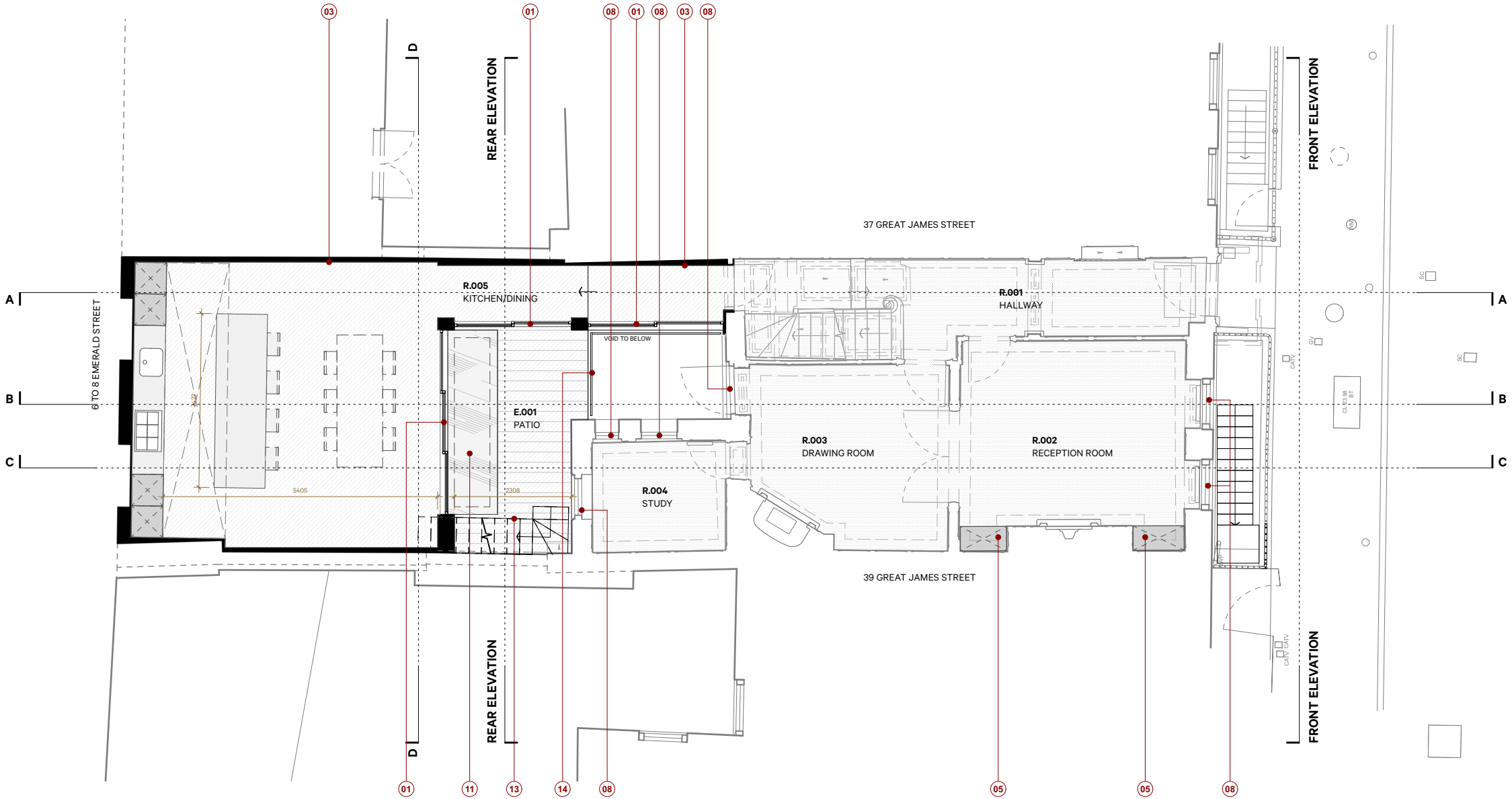
02-299

rev.

B

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NAME



Proposed Ground Floor

key		annotations					
	New timber floorboards		New structurally glazed rear extension		New timber sash window		Infill existing window in matching brickwork
	Paver finish		Glazed partitions to vaults		omitted		New internal panelling matching surrounding panelling
	Stone/ tile finish		New insulated drylining to existing walls		Walk-on glass rooflight		New traditional style timber staircase and balustrade
	Timber decking finish		New internal partitions		omitted		New part glazed part solid stair enclosure
	Carpet finish		New built in joinery		External metal stairs		omitted
			omitted		Structural glass balustrade		omitted
			New door		Mild steel balustrade		omitted
			Replacement glazing to windows		Timber privacy trellis 1.7m above terrace FFL		omitted

- Make good existing cement render as necessary
- omitted
- omitted
- Adapt existing railing to form a gate
- Wet underfloor heating to lower ground floor
- Electric underfloor heating to bathrooms on upper floors
- Recreation of pitched roof slope - natural welsh slates

note

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scale bar

0 500 1000 2000 5000

north point

B

Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises;

25.05.15

VV

rev A

note

Introduction of sloped roof to 4th floor terrace;

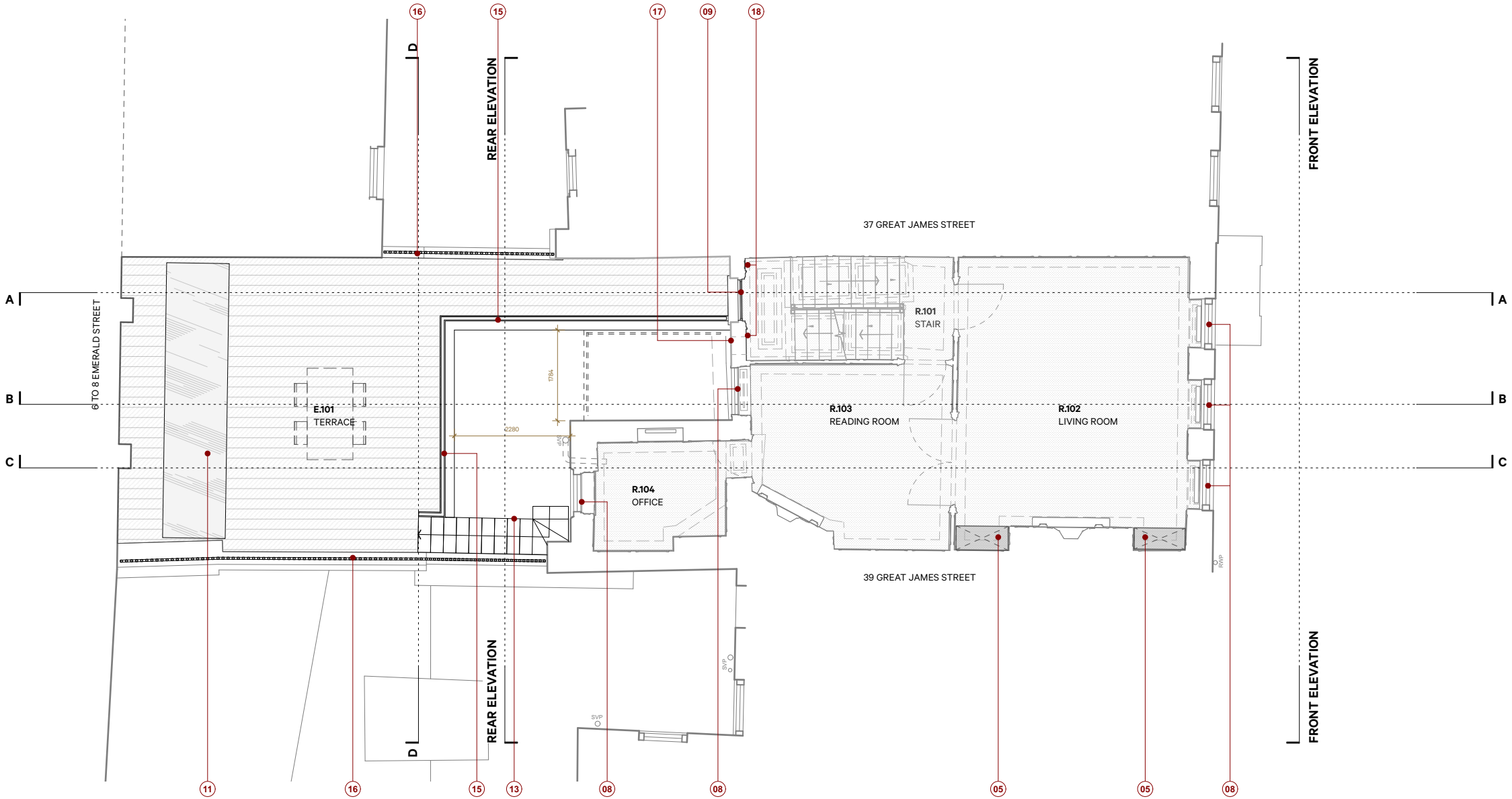
date 25.04.04

by VV

dwg title	Proposed GF Plan	project no.	2407	dwg no.	02-300	rev.	B
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed First Floor

key		annotations			
	New timber floorboards	01	New structurally glazed rear extension	09	New timber sash window
	Paver finish	10	Glazed partitions to vaults	11	omitted
	Stone/ tile finish	12	New insulated drylining to existing walls	13	Walk-on glass rooflight
	Timber decking finish	14	New internal partitions	15	omitted
	Carpet finish	16	New built in joinery	17	External metal stairs
		18	omitted	19	Structural glass balustrade
		20	New door	21	Mild steel balustrade
		22	Replacement glazing to windows	23	Timber privacy trellis 1.7m above terrace FFL
		24		25	

17	Infill existing window in matching brickwork	25	Make good existing cement render as necessary
18	New internal panelling matching surrounding panelling	26	omitted
19	New traditional style timber staircase and balustrade	27	omitted
20	New part glazed part solid stair enclosure	28	Adapt existing railing to form a gate
21	omitted	29	Wet underfloor heating to lower ground floor
22	omitted	30	Electric underfloor heating to bathrooms on upper floors
23	omitted	31	Recreation of pitched roof slope - natural welsh slates
24	omitted		

note
Do not scale from this drawing. Use only figured dimensions. All dimensions to be checked on site. Any errors or omissions must be reported to Name Architects or the Contract Administrator.

scale bar
0 500 1000 2000 5000

north point

Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises;

rev B

rev A

note

Introduction of sloped roof to 4th floor terrace;

date

25.04.04

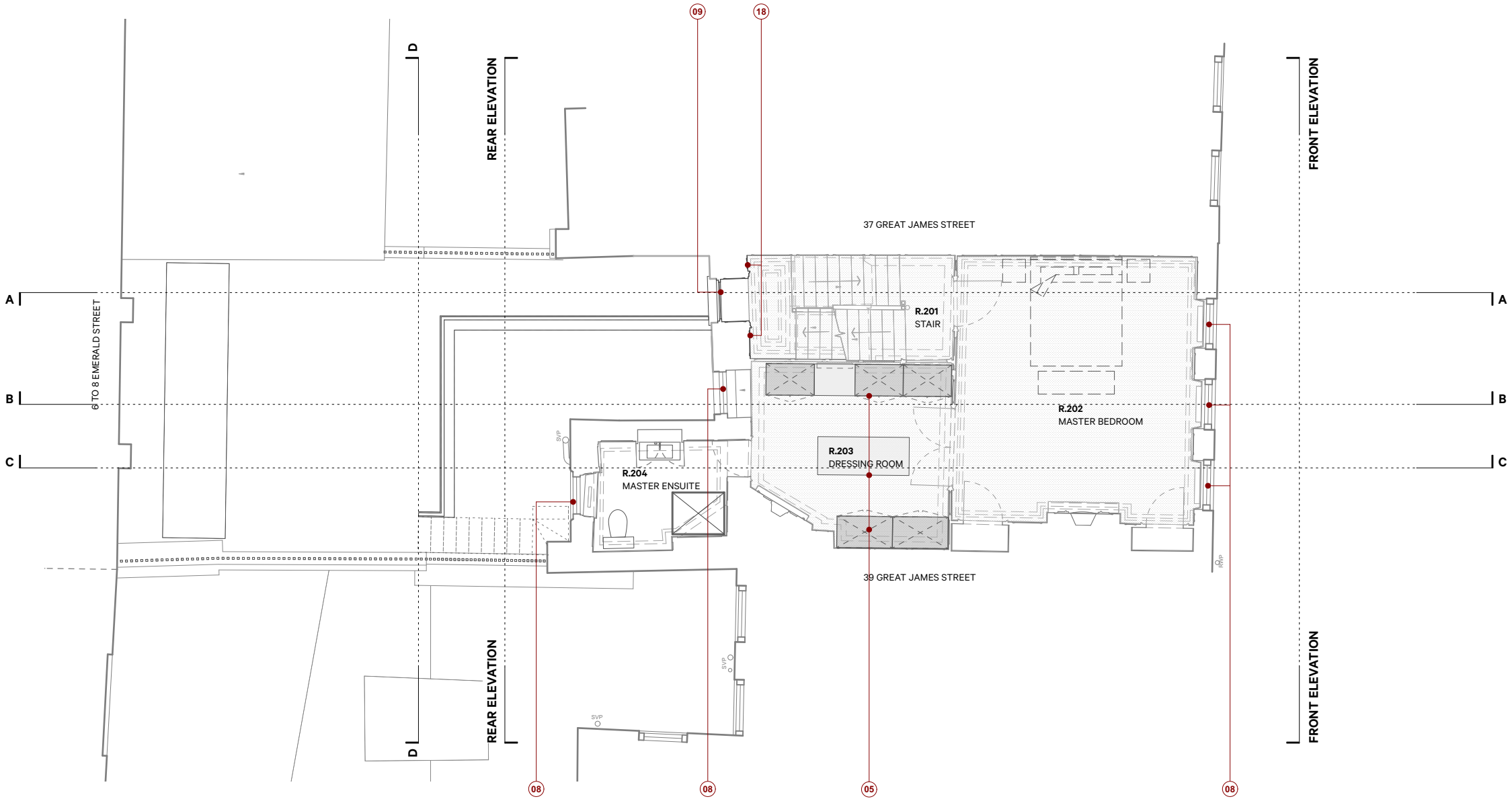
by

VV

dwg title	Proposed 1F Plan	project no.	2407	dwg no.	02-301	rev.	B
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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NAME



Proposed Second Floor

key		annotations			
	New timber floorboards	01	New structurally glazed rear extension	09	New timber sash window
	Paver finish	02	Glazed partitions to vaults	10	omitted
	Stone/ tile finish	03	New insulated drylining to existing walls	11	Walk-on glass rooflight
	Timber decking finish	04	New internal partitions	12	omitted
	Carpet finish	05	New built in joinery	13	External metal stairs
		06	omitted	14	Structural glass balustrade
		07	New door	15	Mild steel balustrade
		08	Replacement glazing to windows	16	Timber privacy trellis 1.7m above terrace FFL

17	Infill existing window in matching brickwork	25	Make good existing cement render as necessary
18	New internal panelling matching surrounding panelling	26	omitted
19	New traditional style timber staircase and balustrade	27	omitted
20	New part glazed part solid stair enclosure	28	Adapt existing railing to form a gate
21	omitted	29	Wet underfloor heating to lower ground floor
22	omitted	30	Electric underfloor heating to bathrooms on upper floors
23	omitted	31	Recreation of pitched roof slope - natural welsh slates
24	omitted		

note
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scale bar
0 500 1000 2000 5000

north point

Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises;

rev B

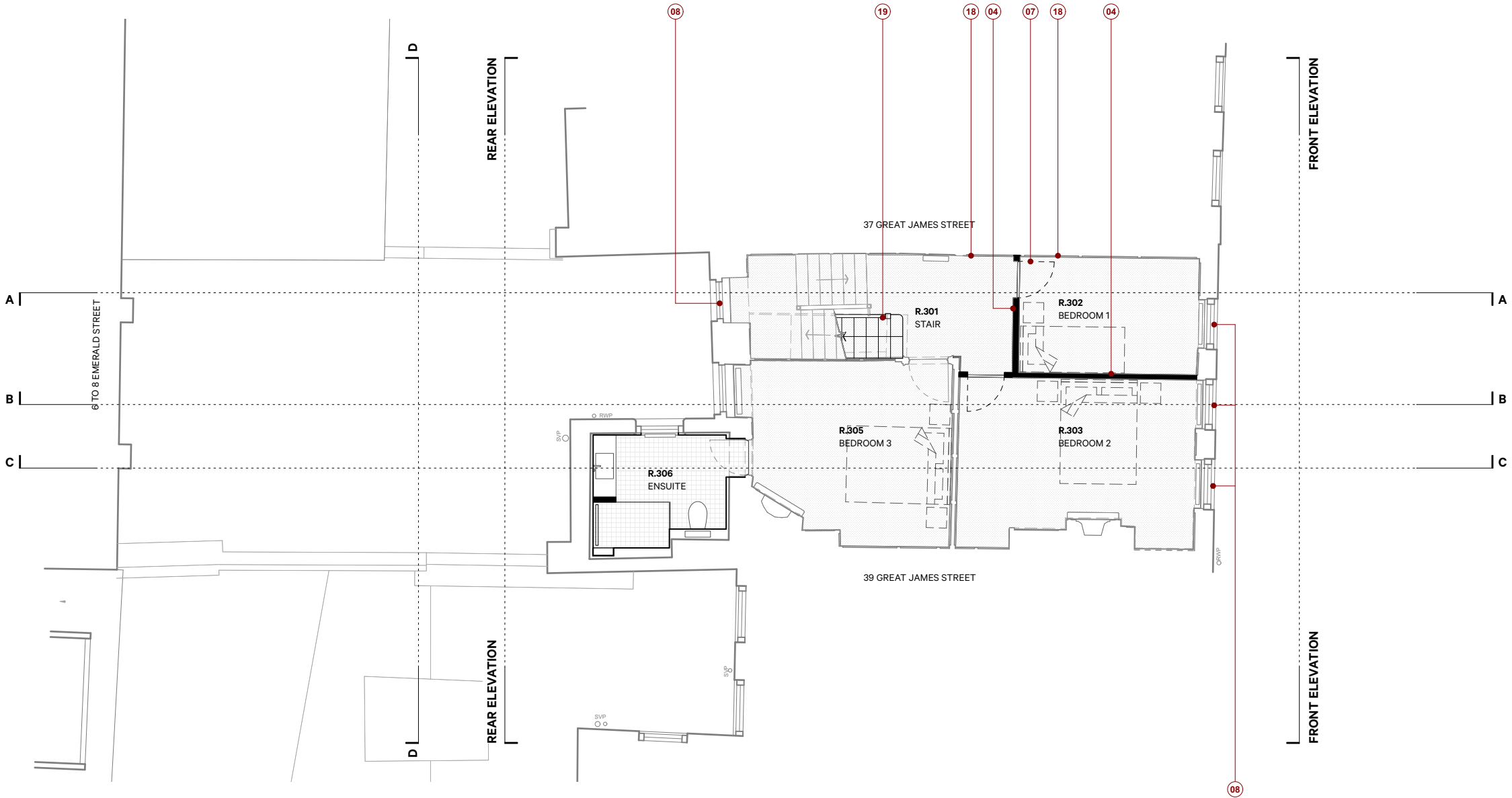
rev A note Introduction of sloped roof to 4th floor terrace;

date 25.04.04 by VV

dwg title	Proposed 2F Plan	project no.	2407	dwg no.	02-302	rev.	B
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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NAME



Proposed Third Floor

key		annotations			
	New timber floorboards	01	New structurally glazed rear extension	09	New timber sash window
	Paver finish	02	Glazed partitions to vaults	10	omitted
	Stone/ tile finish	03	New insulated drylining to existing walls	11	Walk-on glass rooflight
	Timber decking finish	04	New internal partitions	12	omitted
	Carpet finish	05	New built in joinery	13	External metal stairs
		06	omitted	14	Structural glass balustrade
		07	New door	15	Mild steel balustrade
		08	Replacement glazing to windows	16	Timber privacy trellis 1.7m above terrace FFL

17	Infill existing window in matching brickwork	25	Make good existing cement render as necessary
18	New internal panelling matching surrounding panelling	26	omitted
19	New traditional style timber staircase and balustrade	27	omitted
20	New part glazed part solid stair enclosure	28	Adapt existing railing to form a gate
21	omitted	29	Wet underfloor heating to lower ground floor
22	omitted	30	Electric underfloor heating to bathrooms on upper floors
23	omitted	31	Recreation of pitched roof slope - natural welsh slates
24	omitted		

note

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scale bar

0 500 1000 2000 5000

north point

Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises;

rev B

rev A

note

Introduction of sloped roof to 4th floor terrace;

date

25.04.04

by

VV

dwg title

Proposed 3F Plan

project no.

2407

dwg no.

02-303

rev.

B

project

38 Great James Street

status

Planning

client

Cooper

scale

1:100@A3 / 1:50@A1

date

January 2025

drawn

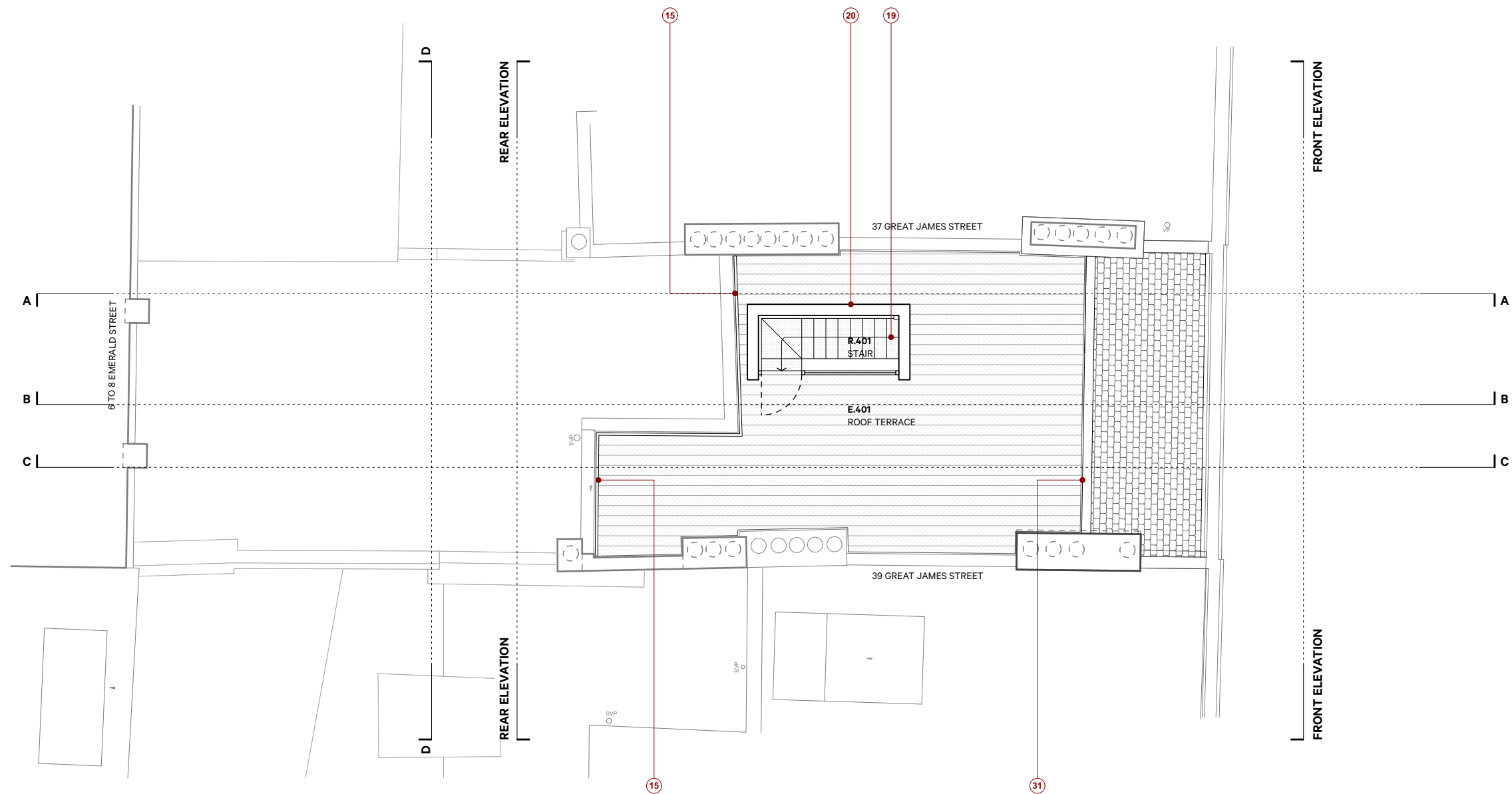
VV

check

VV

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Proposed Fourth Floor

key	annotations				note	north point	dwg title	project no.	2407	dwg no.	02-304	rev.	B
	01 New structurally glazed rear extension	09 New timber sash window	17 Infill existing window in matching brickwork	25 Make good existing cement render as necessary	<i>Do not scale from this drawing. Use only figured dimensions. All dimensions to be checked on site. Any errors or omissions must be reported to Name Architects or the Contract Administrator.</i>		Proposed 4F Plan	2407	02-304	B			
	02 Glazed partitions to vaults	10 omitted	18 New internal panelling matching surrounding panelling	26 omitted									
	03 New insulated drying to existing walls	11 Walk-on glass rooflight	19 New traditional style timber staircase and balustrade	27 omitted									
	04 New internal partitions	12 omitted	20 New part glazed part solid stair enclosure	28 Adapt existing railing to form a gate									
	05 New built in joinery	13 External metal stairs	21 omitted	29 Wet underfloor heating to lower ground floor									
	06 omitted	14 Structural glass balustrade	22 omitted	30 Electric underfloor heating to bathrooms on upper floors									
	07 New door	15 Mild steel balustrade	23 omitted	31 Recreation of pitched roof slope - natural welsh slates									
	08 Replacement glazing to windows	16 Timber privacy trellis 1.7m above terrace FFL	24 omitted										

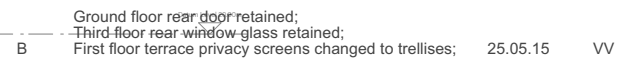
scale bar

0 500 1000 2000 5000

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Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;

by A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title	Proposed Section A-A	project no. 2407	dwg no. 03-300	rev. B
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project	38 Great James Street	status	Planning	client	Cooper
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV
				check	VV

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NAME

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy trellis 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25** Make good existing cement render as necessary
- 26** omitted
- 27** omitted
- 28** Insert painted metal gate to match existing railing
- 29** Raised chimneys as approved for 39 GJS
- 30** 6 over 6 sashes to retained frames
- 31** Recreation of pitched roof slope - natural welsh slates

note

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scale bar



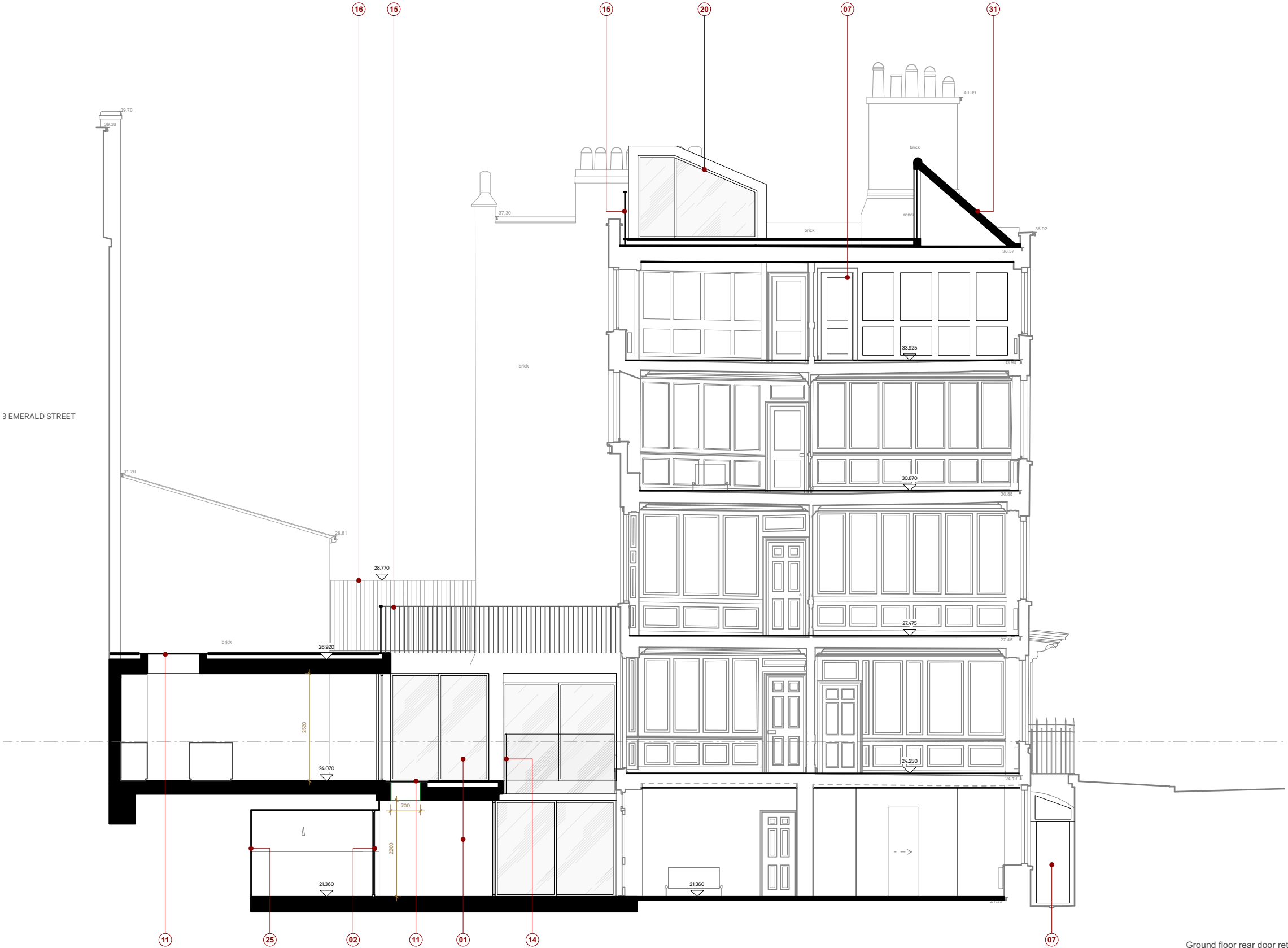
Proposed Section A-A ^{project}no. 2407

Project 38 Great James Street

scale 1:100@A3 / 1:50@A1

status	Planning	client	Cooper
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date	January 2025	drawn	VV	check	VV
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Proposed Section B-B

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy trellis 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

note

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scale bar



Ground floor rear door retained;
Third floor rear window-glass retained;
First floor terrace privacy screens changed to trellises; 25.05.15 VV

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;

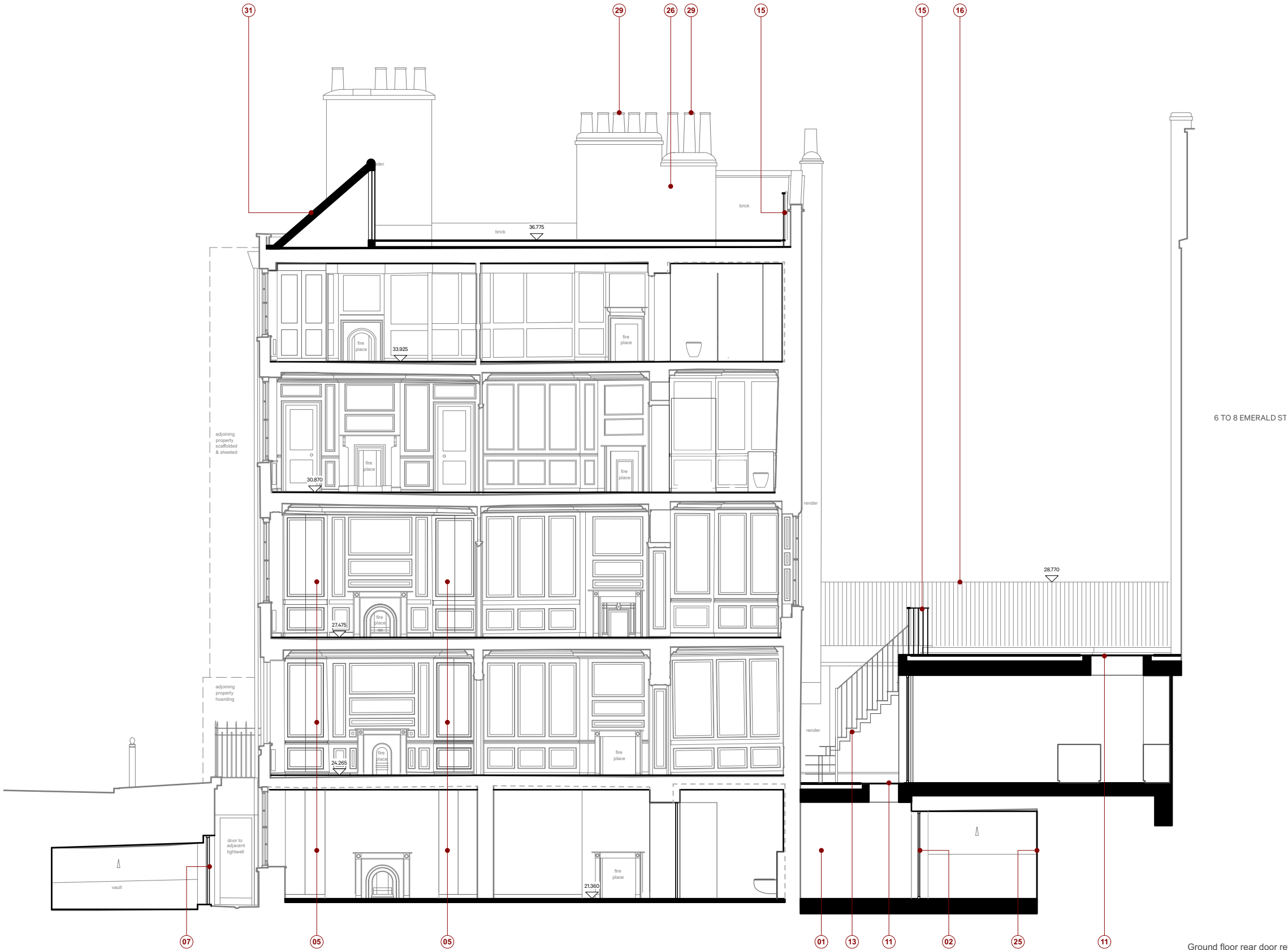
rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section B-B project no. 2407 dwg no. 03-301 rev. B

project 38 Great James Street status Planning client Cooper
scale 1:100@A3 / 1:50@A1 date January 2025 drawn VV check VV

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NAME



Proposed Section C-C

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy trellis 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

note

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scale bar



Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises; 25.05.15 VV

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;

rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section C-C project no. 2407 dwg no. 03-302 rev. B

project	38 Great James Street	status	Planning	client	Cooper
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV
		check	VV		

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NAME

Proposed Section D-D

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy trellis 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

note

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scale bar



B Ground floor rear door retained;
Third floor rear window glass retained;
First floor terrace privacy screens changed to trellises; 25.05.15 VV

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;

rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section D-D project no. 2407 dwg no. 03-303 rev. B

project	38 Great James Street	status	Planning	client	Cooper
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV
		check	VV		

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key

Architectural elevation drawing of the rear facade of a building at 39 Great James Street. The drawing shows a three-story structure with a ground floor featuring a large rear door and a window, and upper floors with multiple windows. Elevation markers (09, 14, 17, 20, 30, 31) are placed along the facade. A dashed line indicates the 'level of rear lightwell'. The drawing is labeled '39 GREAT JAMES STREET' and 'temporary timber roof'. A note at the bottom states: 'Ground floor rear door retained; Third floor rear window glass retained;'

NAME