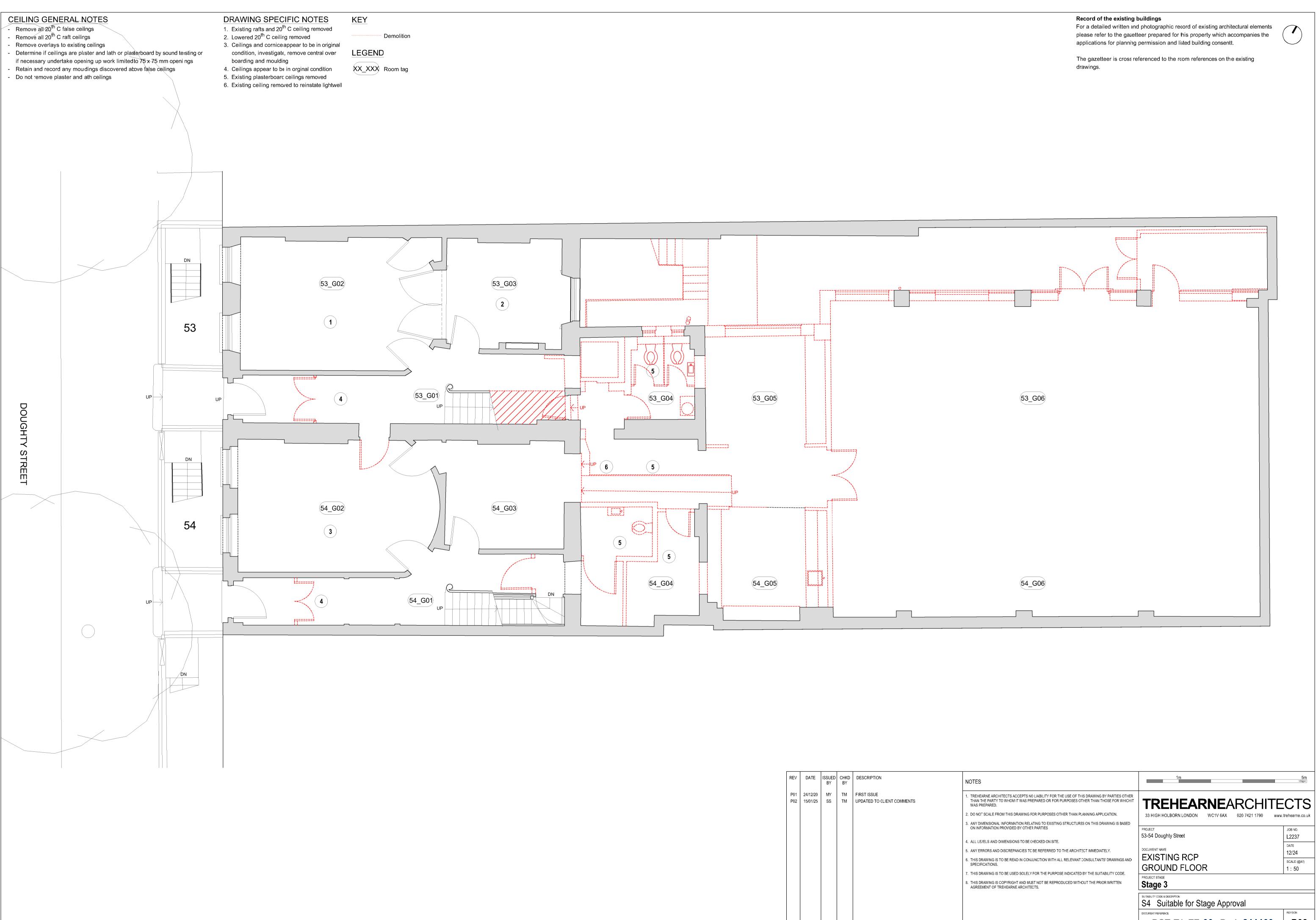


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					8. THIS DRAWING IS COPY AGREEMENT OF TREHE



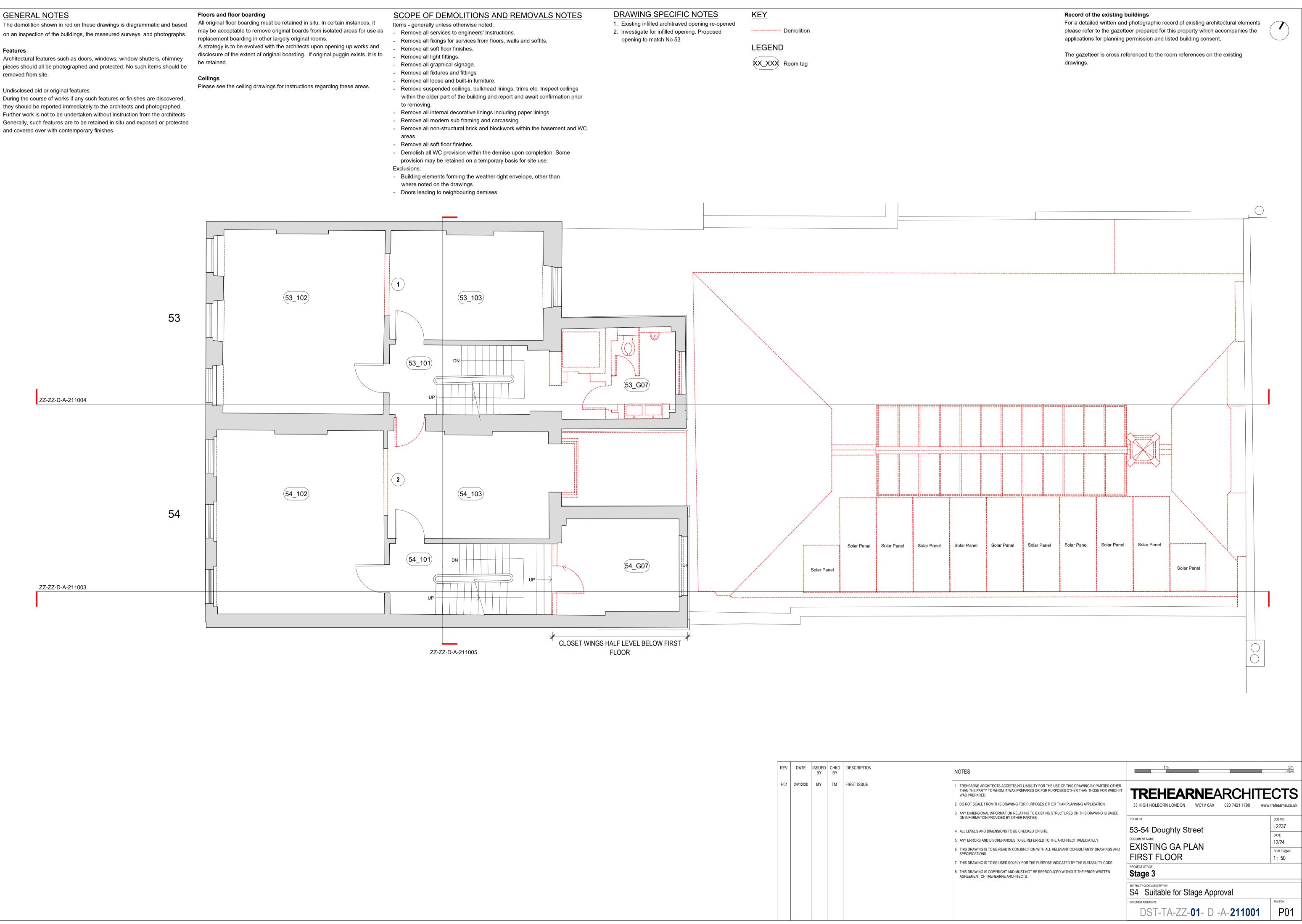
REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	1:50@A1
P01 P02	24/12/20 15/01/25	MY SS	ТМ ТМ	FIRST ISSUE UPDATED TO CLIENT COMMENTS	 TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICHIT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED 	TREHEARNEARCHITEC	CTS nearne.co.uk
					 ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LE/ELS AND DIMENSIONS TO BE (HECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TC BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. 7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN 	53-54 Doughty Street DOCUMENT NAME EXISTING RCP	DB NO. 2237 ATE 2/24 CALE (@A1) : 50
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Features

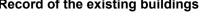
pieces should all be photographed and protected. No such items should be removed from site.

Undisclosed old or original features

During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instruction from the architects Generally, such features are to be retained in situ and exposed or protected and covered over with contemporary finishes.



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION
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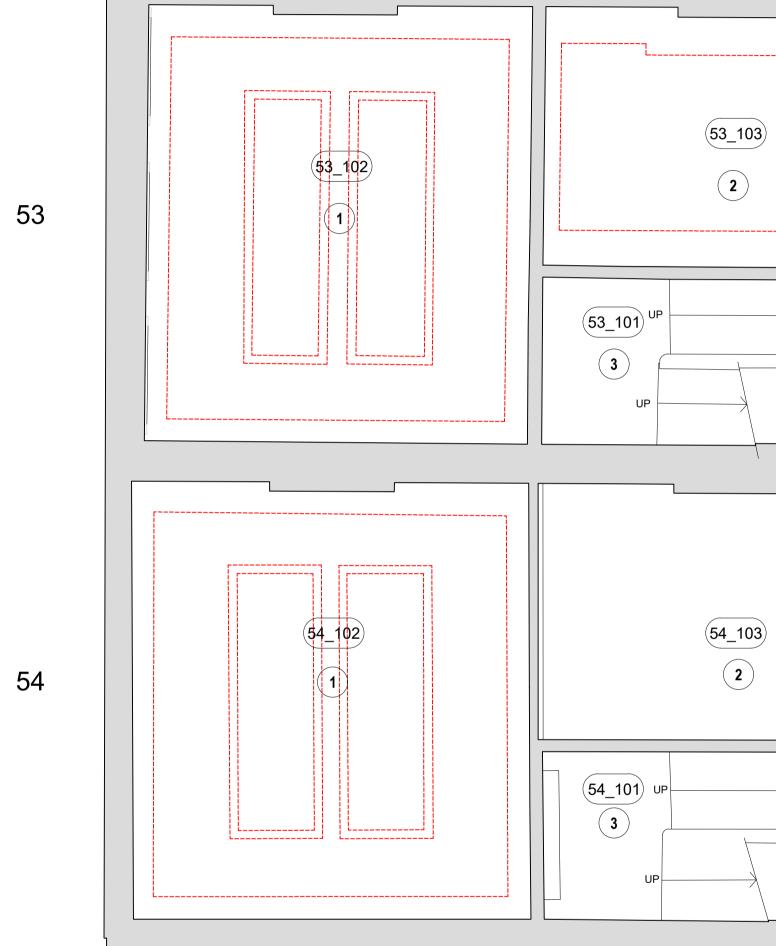
- Remove all 20th C false ceilings
 Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or
- if necessary undertake opening up work limited to 75 x 75 mm openings - Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES 1. Existing raft removed

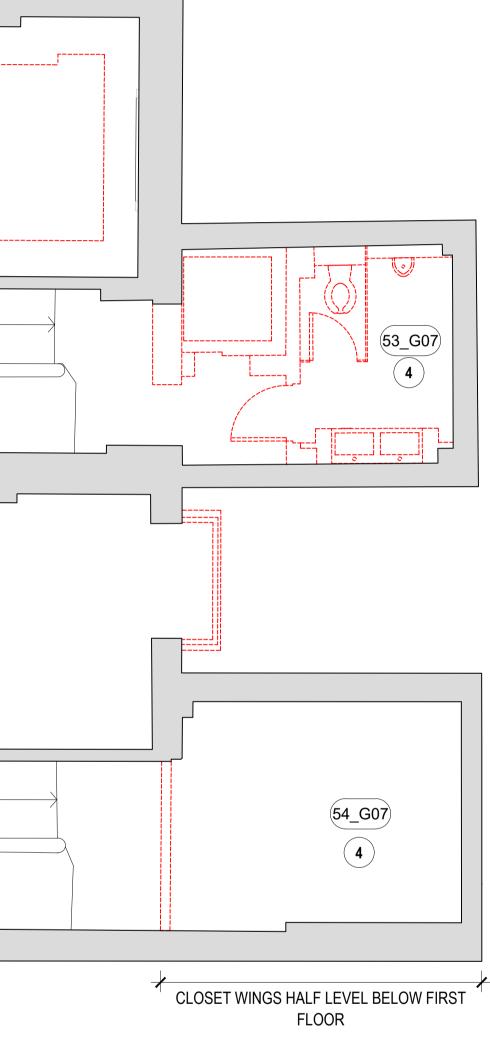
- 2. Ceilings and cornice appear to be in original condition, investigate, remove central over
- boarding and moulding 3. Ceilings appear to be in original condition 4. Existing plasterboard ceilings removed
- KEY

----- Demolition

LEGEND XX_XXX Room tag



54



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES
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					8. THIS DRAWING IS COPY AGREEMENT OF TREHE

Record of the existing buildings

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N THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.	33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.	.trehearne.co.uk
NFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ROVIDED BY OTHER PARTIES	PROJECT	JOB NO.
IENSIONS TO BE CHECKED ON SITE.	53-54 Doughty Street	L2237
ISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY.		DATE 12/24
) BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND	FIRST FLOOR	SCALE (@A1) 1:50
) BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.	PROJECT STAGE	<u> </u>
DPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN EHEARNE ARCHITECTS.	Stage 3	
	SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval	
	DOCUMENT REFERENCE	REVISION
	DST-TA-ZZ-01- D -A-211100	P01

The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Features

Architectural features such as doors, windows, window shutters, chimney pieces should all be photographed and protected. No such items should be removed from site.

Undisclosed old or original features

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Floors and floor boarding

All original floor boarding must be retained in situ. In certain instances, it may be acceptable to remove original boards from isolated areas for use as - Remove all services to engineers' Instructions. replacement boarding in other largely original rooms.

A strategy is to be evolved with the architects upon opening up works and disclosure of the extent of original boarding. If original puggin exists, it is to - Remove all light fittings. be retained.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

SCOPE OF DEMOLITIONS AND REMOVALS NOTES Items - generally unless otherwise noted:

- Remove all fixings for services from floors, walls and soffits.
- Remove all soft floor finishes.
- Remove all graphical signage.
- Remove all fixtures and fittings
- Remove all loose and built-in furniture. within the older part of the building and report and await confirmation prior to removing.
- Remove all internal decorative linings including paper linings. - Remove all modern sub framing and carcassing. areas.

- Remove all soft floor finishes.

- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.
- Exclusions:
- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.



- Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings

- Remove all non-structural brick and blockwork within the basement and WC

DRAWING SPECIFIC NOTES

1. Original wall nib retained

_____ Demolition

LEGEND

XX_XXX Room tag

REV P01	DATE 24/12/20	ISSUED BY MY	CHKD BY TM	DESCRIPTION FIRST ISSUE	1. T V 2. D 3. A 5. A 5. A 6. T 5 7. T 8. T	DTES TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	Im TREEHEARNEARCHIT Ja HIGH HOLBORN LONDON WC1V GAX 020 7421 1790 PROJECT S3-54 Doughty Street DOCUMENT NAME EXISTING GA PLAN SECOND FLOOR PROJECT STAGE Stage 3 SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval DST-TA-ZZ-02- D -A-211001	www.trehearne.co.uk JOB NO. L2237 DATE 12/24 SCALE (@A1) 1 : 50
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Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



- Remove all 20th C false ceilings
 Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
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- if necessary undertake opening up work limited to 75 x 75 mm openings - Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

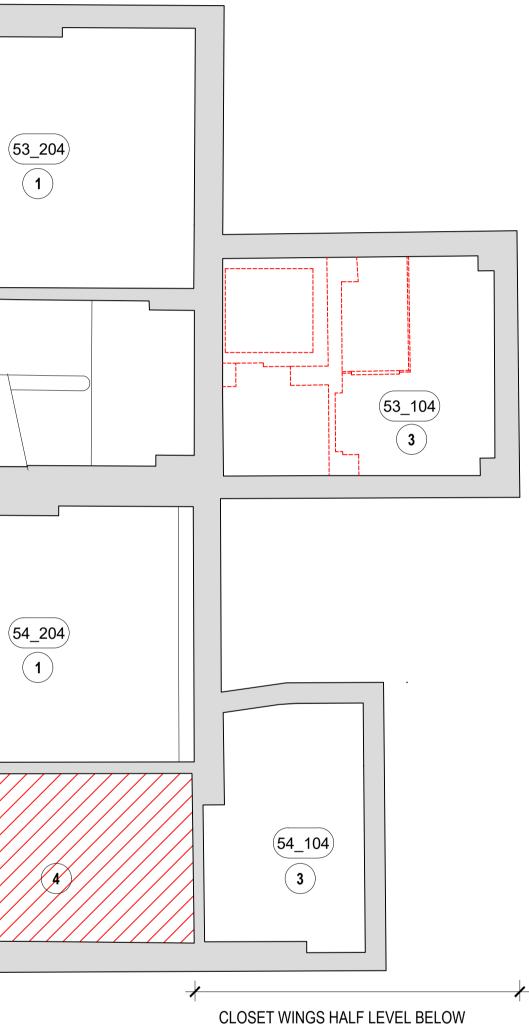
- 1. Generally retain 20th Century cornices to the perimeter of rooms when removing partitions
- 2. Ceilings appear to be in original condition
- 3. Existing plasterboard ceilings removed
- LEGEND 4. Opening formed for proposed staircase XX_XXX Room tag

KEY

----- Demolition

(53_203) (1) 53 (53_202) (53_201) (1) (54_203) (54_204) (54_202) (1) 54_201 1

54





REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES
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Record of the existing buildings

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DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN EMENT OF TREHEARNE ARCHITECTS.	PROJECT STAGE Stage 3	
	SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval	
	DST-TA-ZZ-02- D -A-211100	P01

The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Features

Architectural features such as doors, windows, window shutters, chimney pieces should all be photographed and protected. No such items should be removed from site.

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Floors and floor boarding

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A strategy is to be evolved with the architects upon opening up works and disclosure of the extent of original boarding. If original puggin exists, it is to - Remove all light fittings. be retained.

Ceilings

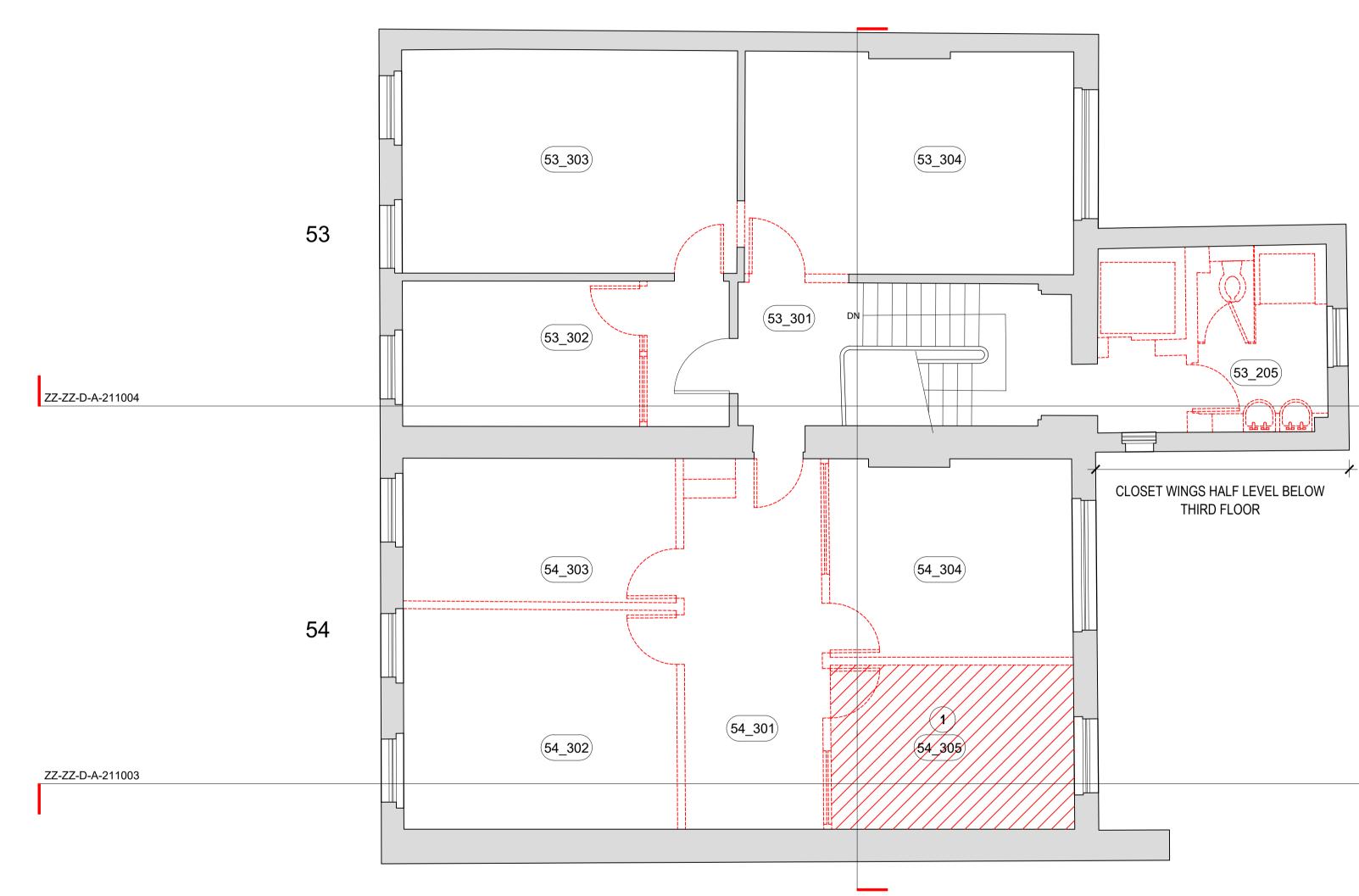
Please see the ceiling drawings for instructions regarding these areas.

SCOPE OF DEMOLITIONS AND REMOVALS NOTES Items - generally unless otherwise noted:

- Remove all fixings for services from floors, walls and soffits.
- Remove all soft floor finishes.
- Remove all graphical signage. - Remove all fixtures and fittings
- Remove all loose and built-in furniture.
- within the older part of the building and report and await confirmation prior to removing.
- Remove all modern sub framing and carcassing. areas.

- Remove all soft floor finishes.

- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.
- Exclusions:
- where noted on the drawings.
- Doors leading to neighbouring demises.



ZZ-ZZ-D-A-211005

- Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings

- Remove all internal decorative linings including paper linings.

- Remove all non-structural brick and blockwork within the basement and WC

- Building elements forming the weather-tight envelope, other than

DRAWING SPECIFIC NOTES

1. Area of floor removed for proposed staircase

----- Demolition

LEGEND

XX_XXX Room tag

REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	5m
P01	24/12/20	MY	ТМ	FIRST ISSUE	 TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES 	TREHEARNEARCHIT 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 W	ECTS /www.trehearne.co.uk
					 ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. THIS DRAWING IS TO BE LIVED COLIENT FOR THE DUPDOCE INDICATED BY THE OUTTABLE TO CODE. 	53-54 Doughty Street DOCUMENT NAME EXISTING GA PLAN THIRD FLOOR	L2237 DATE 12/24 SCALE (@A1) 1 : 50
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Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



- Remove all 20th C false ceilings
- Remove all 20th C raft ceilings Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or
- if necessary undertake opening up work limited to 75 x 75 mm openings Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

- 1. Generally retain 20th Century cornices to the perimeter of rooms when removing partitions
- 2. Existing plasterboard ceilings removed

KEY _____

LEGEND

Demolition

XX_XXX Room tag



54

REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION
P01	24/12/20	MY	ТМ	FIRST ISSUE

NOTES WAS PREPARED.

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



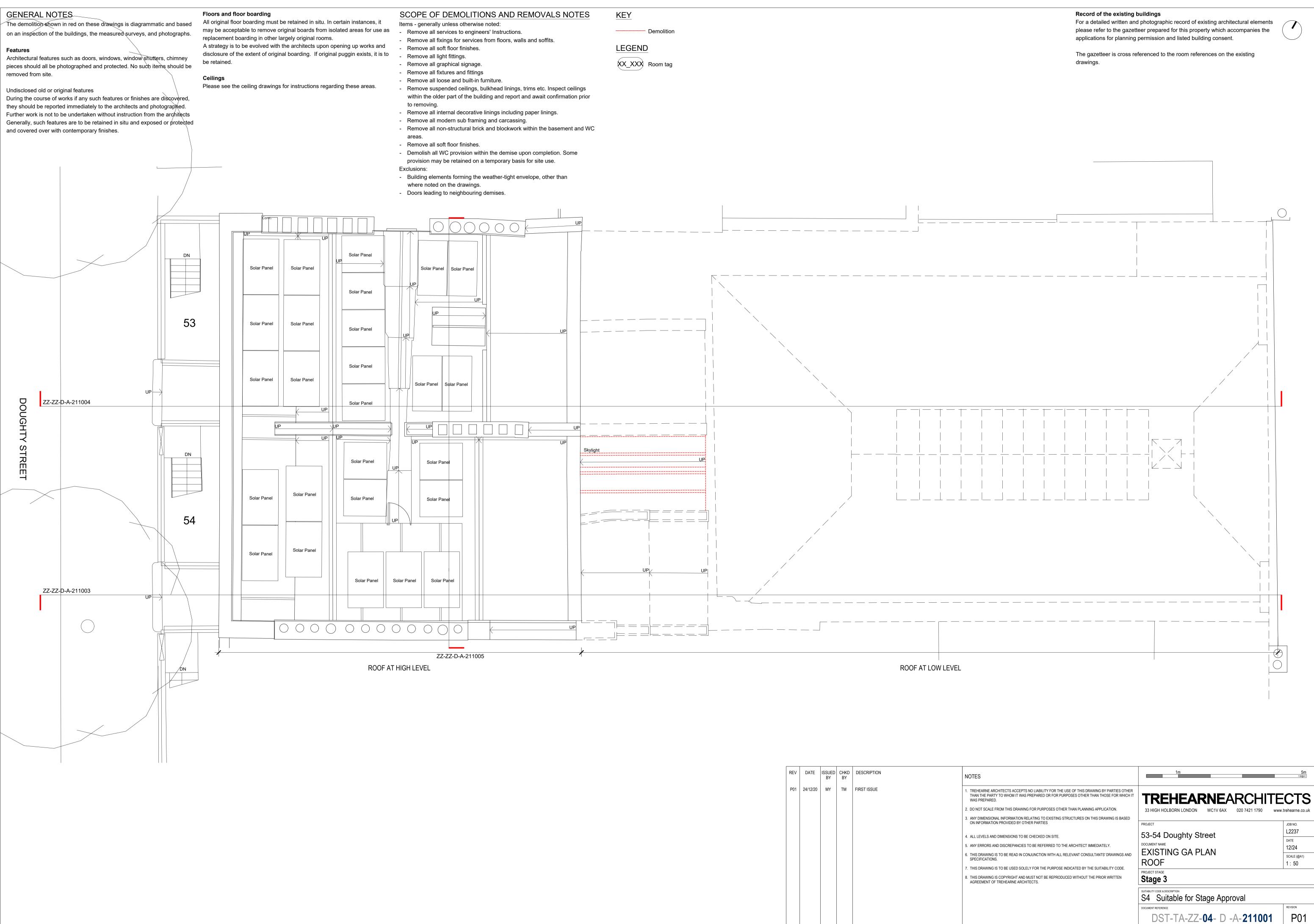
The gazetteer is cross referenced to the room references on the existing drawings.

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- to removing.

- where noted on the drawings.



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The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Features

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Undisclosed old or original features

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Ceilings

Please see the ceiling drawings for instructions regarding these areas.

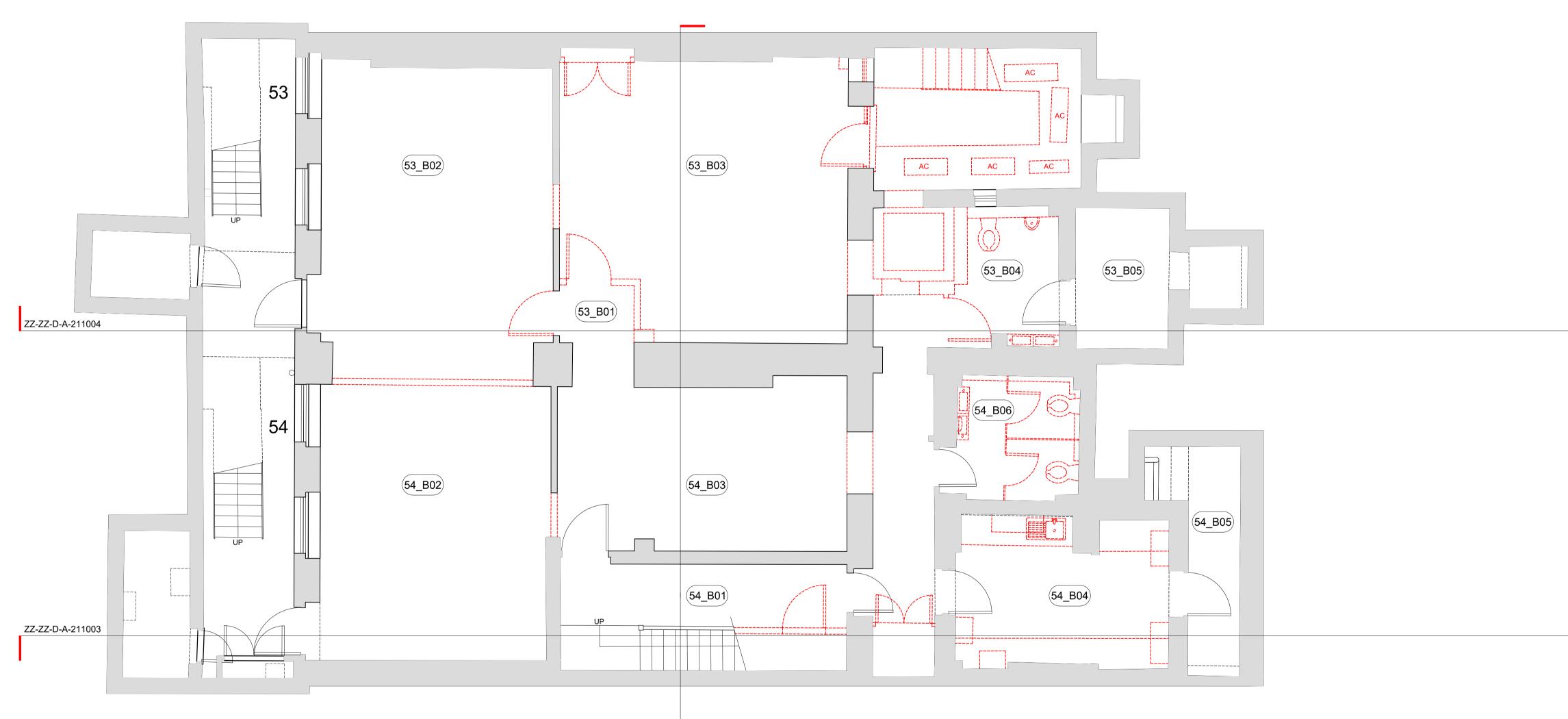
SCOPE OF DEMOLITIONS AND REMOVALS NOTES

Items - generally unless otherwise noted: - Remove all fixings for services from floors, walls and soffits.

- Remove all soft floor finishes.
- Remove all light fittings. - Remove all graphical signage.
- Remove all fixtures and fittings
- Remove all loose and built-in furniture.
- to removing. - Remove all internal decorative linings including paper linings.
- Remove all modern sub framing and carcassing. areas.

- Remove all soft floor finishes.

- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.
- Exclusions:
- where noted on the drawings.
- Doors leading to neighbouring demises.



ZZ-ZZ-D-A-211005

KEY

- Demolition _____ LEGEND

XX_XXX Room tag

- Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings within the older part of the building and report and await confirmation prior

- Remove all non-structural brick and blockwork within the basement and WC

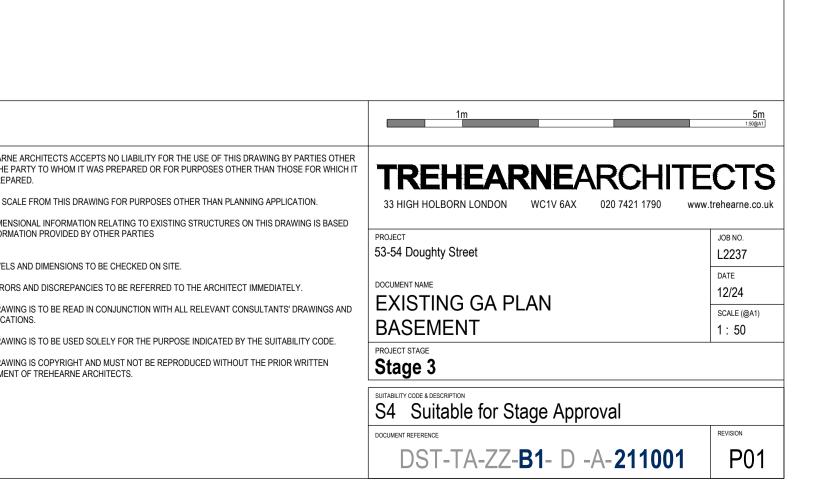
- Building elements forming the weather-tight envelope, other than

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Record of the existing buildings

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- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

Existing rafts and 29th C cornices removed
 Existing plasterboard ceilings removed

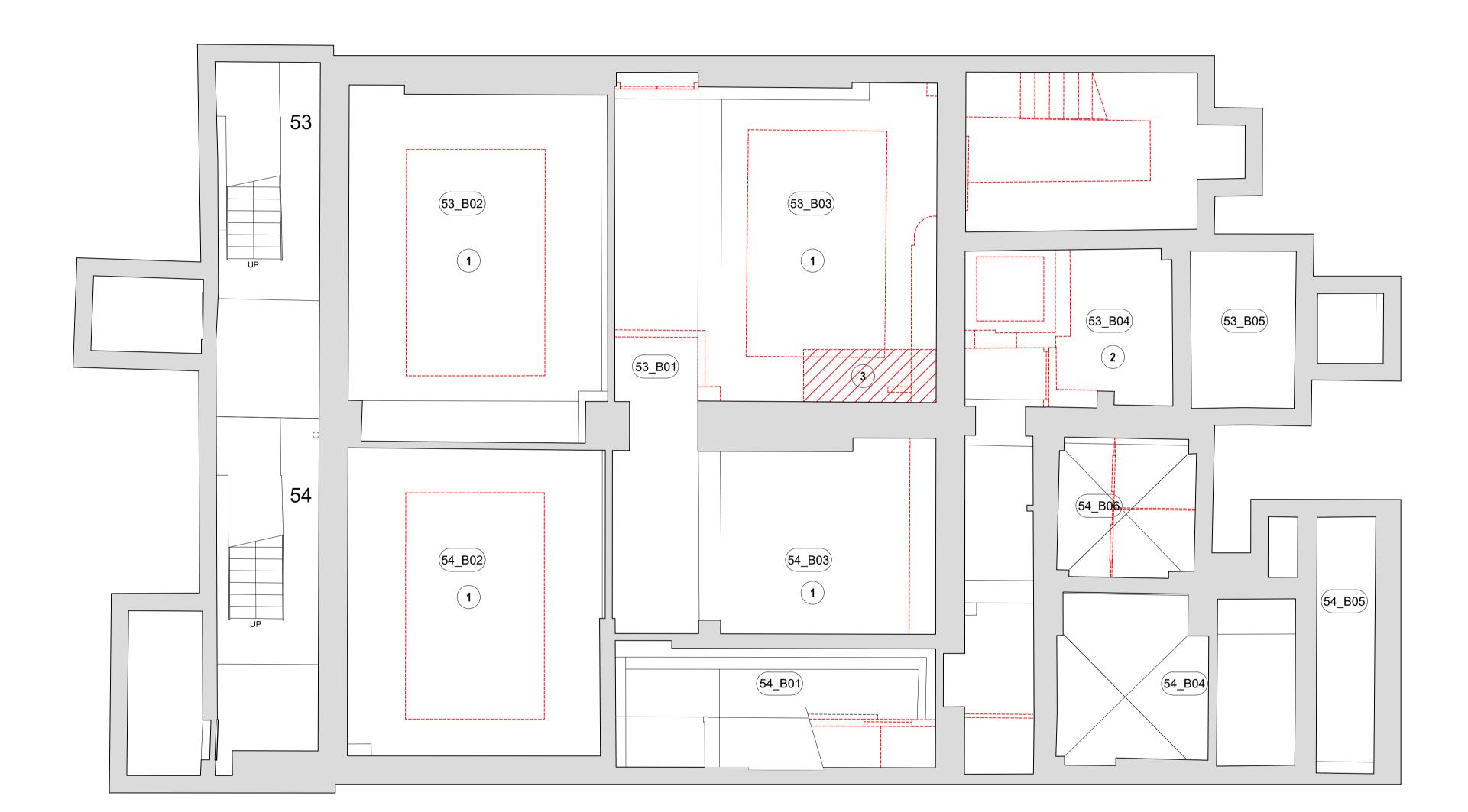
- 3. Formal straircase location re-opend

LEGEND

XX_XXX Room tag

----- Demolition

KEY



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M THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.	33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www	.trehearne.co.uk		
NFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ROVIDED BY OTHER PARTIES	PROJECT	JOB NO.		
MENSIONS TO BE CHECKED ON SITE.	53-54 Doughty Street	L2237		
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OPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN EHEARNE ARCHITECTS.	Stage 3			
	SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval			
	DOCUMENT REFERENCE	REVISION		
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Features

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REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES
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DRAWING SPECIFIC NOTES

1. Sinage removed 2. Services and window vents generally removed KEY

- Demolition _____

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	DOCUMENT REFERENCE	REVISION
	DST-TA-ZZ- ZZ - D -A- 211001	P01



54 DOUGHTY STREET

Basement + 17.85 **—**

SCOPE OF DEMOLITIONS AND REMOVALS NOTES

- Items generally unless otherwise noted: - Remove all services to engineers' Instructions.
- Remove all fixings for services from floors, walls and soffits.
- Remove all light fittings.
- Remove all graphical signage.
- Remove all fixtures and fittings
- Remove all loose and built-in furniture. - Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings within the older part of the building and report and await confirmation prior
- Remove all internal decorative linings including paper linings.
- Remove all modern sub framing and carcassing.
- Remove all soft floor finishes.
- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.
- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

53 DOUGHTY STREET

REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES
P01	24/12/20	MY	ТМ	FIRST ISSUE	1. TREHEARNE ARCHI THAN THE PARTY TO WAS PREPARED.
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					3. ANY DIMENSIONAL I ON INFORMATION P
					4. ALL LEVELS AND DI
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					6. THIS DRAWING IS TO SPECIFICATIONS.
					7. THIS DRAWING IS TO
					8. THIS DRAWING IS CO AGREEMENT OF TRI

DRAWING SPECIFIC NOTES 1. Existing pitched roof removed

2. Existing beam structure remained

KEY

----- Demolition

LEGEND XX_XXX Room tag

Record of the existing buildings

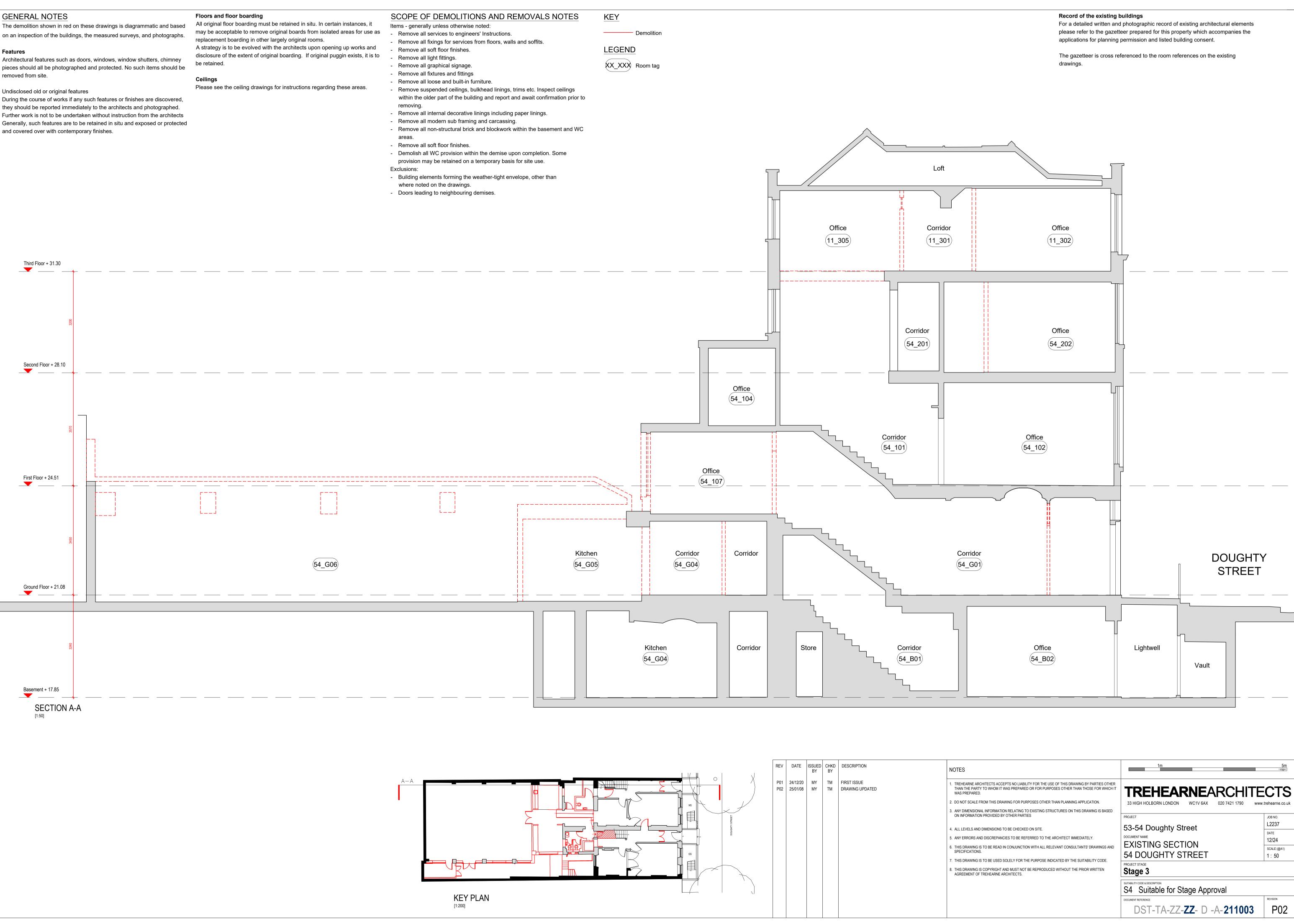
For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

		1.008/11
ECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT	TREHEARNEARCHITE	CTS
ITHIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.	33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www	.trehearne.co.uk
NFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ROVIDED BY OTHER PARTIES		L
	PROJECT	JOB NO.
IENSIONS TO BE CHECKED ON SITE.	53-54 Doughty Street	L2237
	DOCUMENT NAME	DATE
ISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY.		12/24
BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND	EXISTING ELEVATION	SCALE (@A1)
	REAR	1:50
BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.	PROJECT STAGE	
OPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN EHEARNE ARCHITECTS.	Stage 3	
	SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval	
	DOCUMENT REFERENCE	REVISION
	DST-TA-ZZ- ZZ - D -A- 211002	P01

removed from site.

During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instruction from the architects and covered over with contemporary finishes.

- where noted on the drawings.



The demolition shown in red on these drawings is diagrammatic and Floors and floor boarding based on an inspection of the buildings, the measured surveys, and All original floor boarding must be retained in situ. In certain instances, photographs.

Features

Basement + 17.85

Architectural features such as doors, windows, window shutters, chimney pieces should all be photographed and protected. No such items should be removed from site.

A strategy is to be evolved with the architects upon opening up works and disclosure of the extent of original boarding. If original puggin

Ceilings

exists, it is to be retained.

use as replacement boarding in other largely original rooms.

it may be acceptable to remove original boards from isolated areas for

Please see the ceiling drawings for instructions regarding these areas.

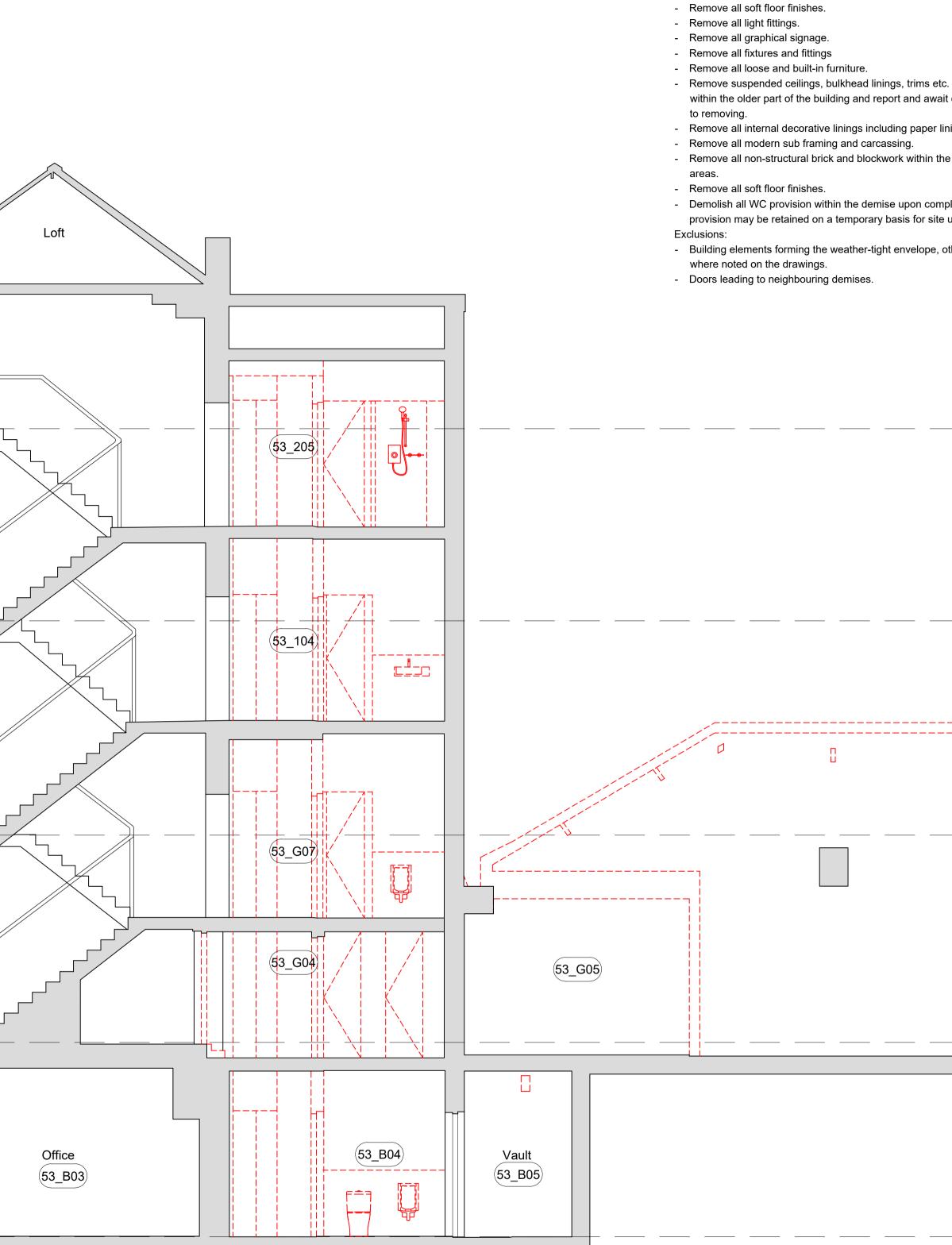
Undisclosed old or original features

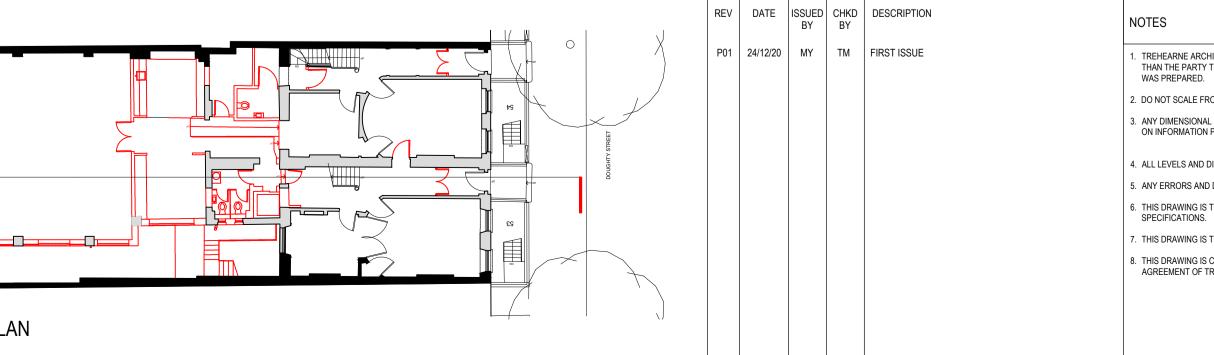
During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instruction from the architects

Generally, such features are to be retained in situ and exposed or protected and covered over with contemporary finishes. Loft [____] Office Corridor (53_302) (53_301) Third Floor + 31.30 **F**==== Office Corridor (53_202) (53_201) Second Floor + 28.10 Corridor Office (53_102) (53_101) First Floor + 24.51 _____ Corridor 53_G01 Entrance DOUGHTY STREET Ground Floor + 21.08 ====_ Office (53_B02) Corridor (53_B01)

A-A

KEY PLAN

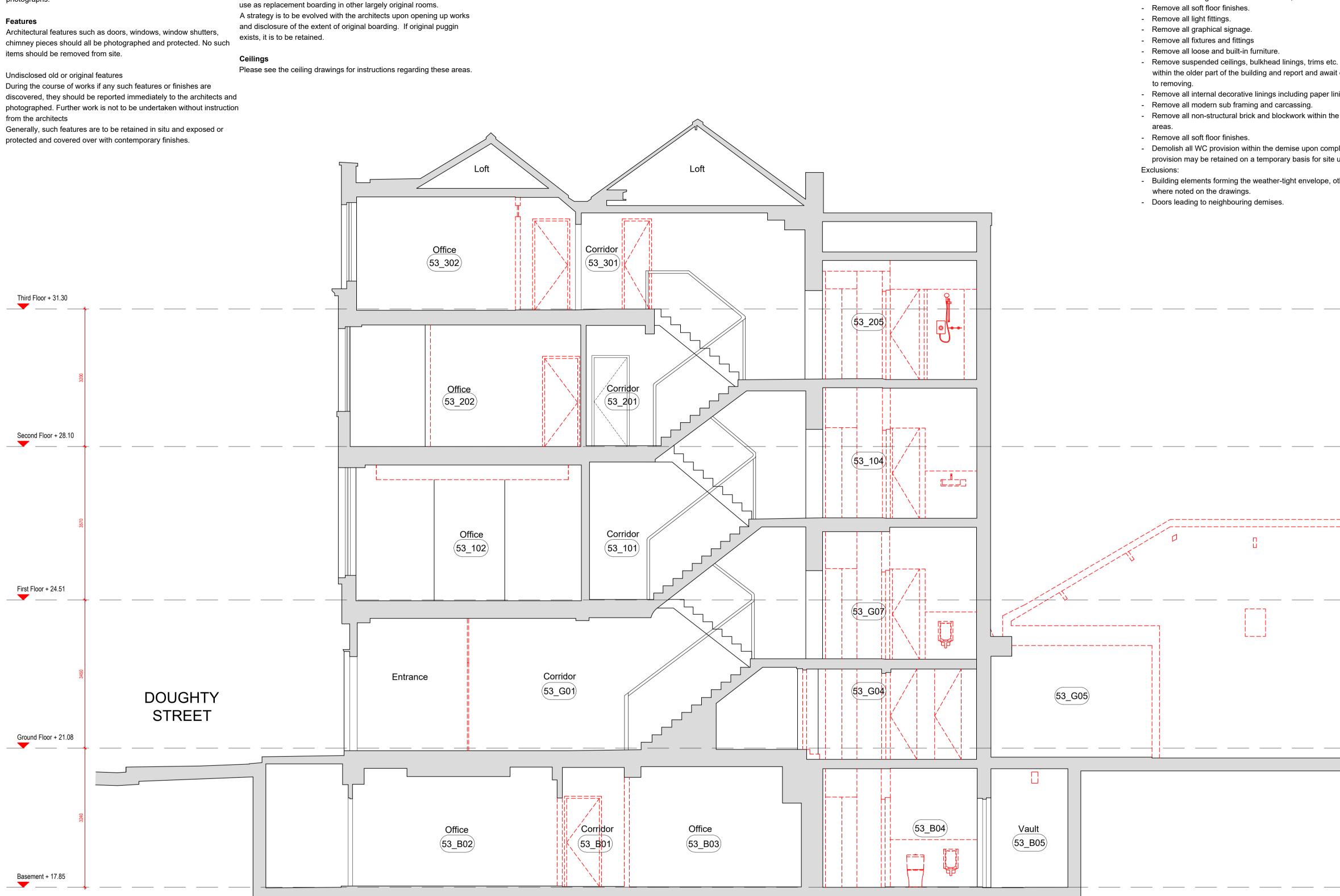


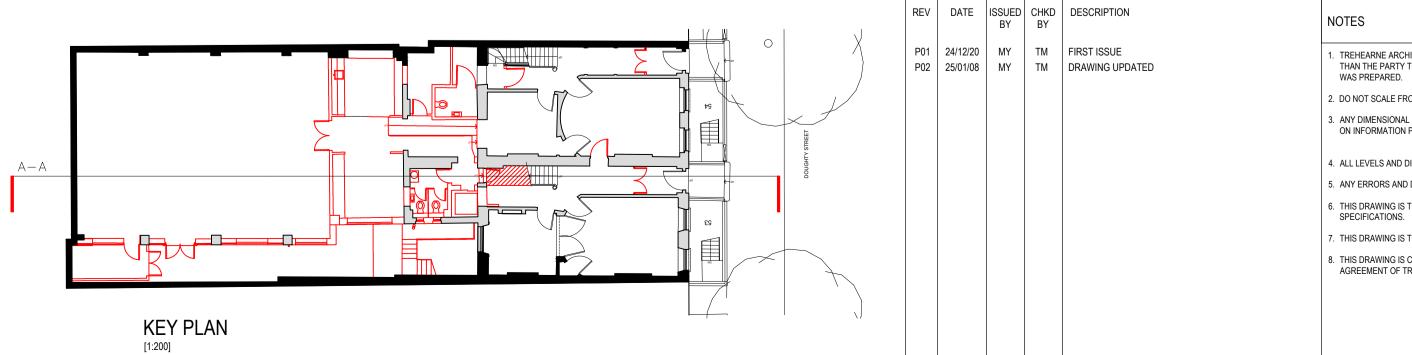


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- - -	areas. Remove all soft floor finishes. Demolish all WC provision within the dem provision may be retained on a temporary Exclusions: Building elements forming the weather-tig where noted on the drawings. Doors leading to neighbouring demises.	/ basis for site use.	please refer to the gazett applications for planning	Duildings I photographic record of exist eer prepared for this property permission and listed building ferenced to the room referenc	which accompanies the g consent.	
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	DESCRIPTION	NOTES		1m		5m 1:50@A1
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		 SPECIFICATIONS. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDIC THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED 		53 DOUGHTY ST	KEEI	1 : 50
		8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCEL AGREEMENT OF TREHEARNE ARCHITECTS.		Stage 3 SUITABILITY CODE & DESCRIPTION S4 Suitable for Stag	e Approval	
				DOCUMENT REFERENCE	Z- D -A-211004	P01

The demolition shown in red on these drawings is diagrammatic and Floors and floor boarding based on an inspection of the buildings, the measured surveys, and All original floor boarding must be retained in situ. In certain instances, photographs.

it may be acceptable to remove original boards from isolated areas for





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