

GENERAL NOTES

The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Features

Architectural features such as doors, windows, window shutters, chimney pieces should all be photographed and protected. No such items should be removed from site.

Undisclosed old or original features

During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instruction from the architects. Generally, such features are to be retained in situ and exposed or protected and covered over with contemporary finishes.

Floors and floor boarding

All original floor boarding must be retained in situ. In certain instances, it may be acceptable to remove original boards from isolated areas for use as replacement boarding in other largely original rooms. A strategy is to be evolved with the architects upon opening up works and disclosure of the extent of original boarding. If original puggin exists, it is to be retained.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

SCOPE OF DEMOLITIONS AND REMOVALS NOTES

Items - generally unless otherwise noted:

- Remove all services to engineers' instructions.
- Remove all fixings for services from floors, walls and soffits.
- Remove all soft floor finishes.
- Remove all light fittings.
- Remove all graphical signage.
- Remove all fixtures and fittings
- Remove all loose and built-in furniture.
- Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings within the older part of the building and report and await confirmation prior to removing.
- Remove all internal decorative linings including paper linings.
- Remove all modern sub framing and carcassing.
- Remove all non-structural brick and blockwork within the basement and WC areas.
- Remove all soft floor finishes.
- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.

Exclusions:

- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

DRAWING SPECIFIC NOTES

1. Site of former staircase re-opened
2. Existing infilled architraved opening re-opened

KEY

Demolition

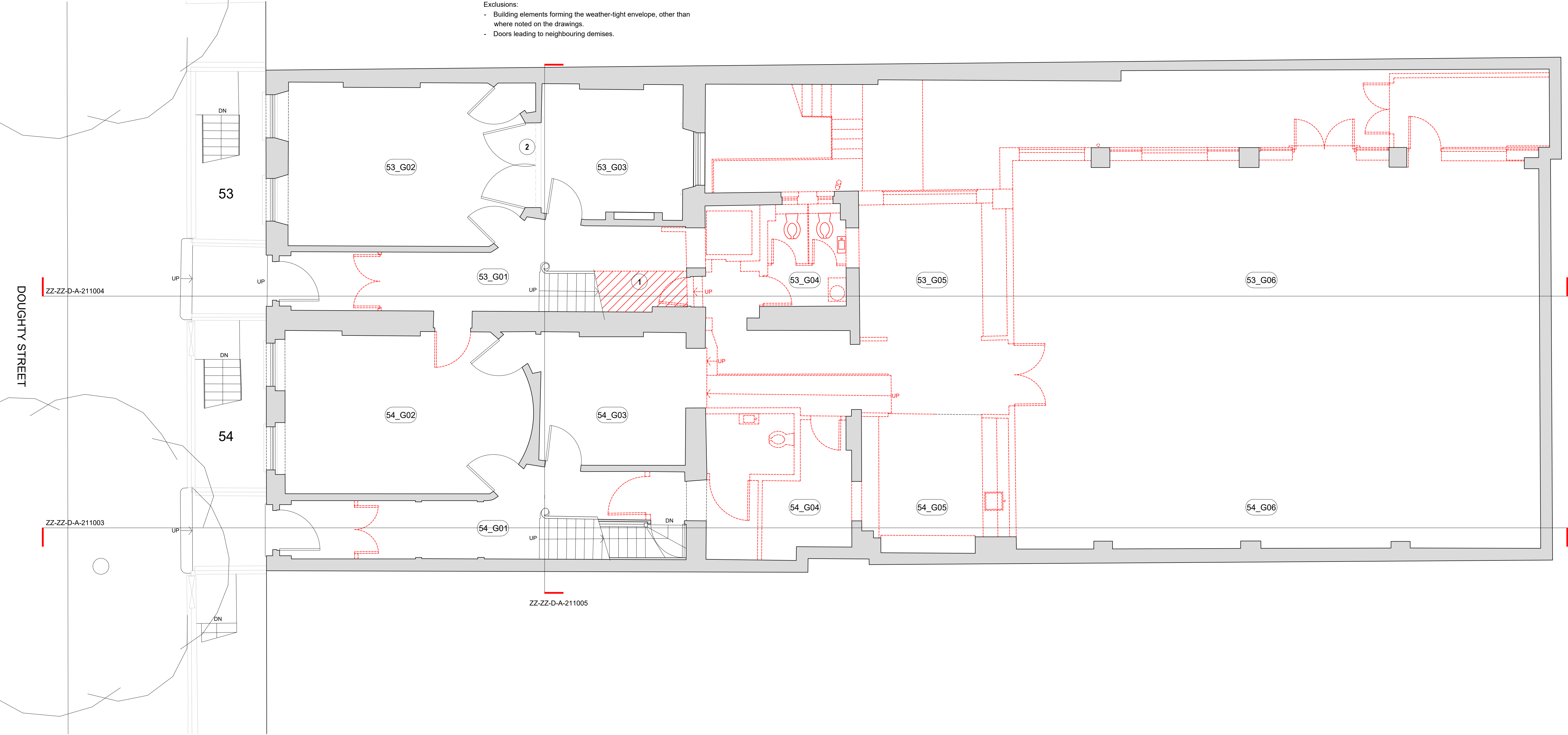
LEGEND

Room tag

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

The gazetteer is cross referenced to the room references on the existing drawings.



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	<div>1m5m</div> <div>TREHEARNARCHITECTS 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk</div>	
P01	24/12/20	MY	TM	FIRST ISSUE	<div>1. TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED.</div> <div>2. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.</div> <div>3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES</div> <div>4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE.</div> <div>5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY.</div> <div>6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.</div> <div>7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.</div> <div>8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.</div>	<div>PROJECT 53-54 Doughty Street</div> <div>DOCUMENT NAME EXISTING GA PLAN GROUND FLOOR</div> <div>PROJECT STAGE Stage 3</div> <div>SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval</div> <div>DOCUMENT REFERENCE DST-TA-ZZ-00- D -A-211001</div>	<div>JOB NO. L2237</div> <div>DATE 12/24</div> <div>SCALE (@A1) 1 : 50</div> <div>REVISION P01</div>

CEILING GENERAL NOTES

- Remove all 20th C false ceilings
- Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or if necessary undertake opening up work limited to 75 x 75 mm openings
- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

1. Existing rafts and 20th C ceiling removed
2. Lowered 20th C ceiling removed
3. Ceilings and cornice appear to be in original condition, investigate, remove central over boarding and moulding
4. Ceilings appear to be in original condition
5. Existing plasterboard ceilings removed
6. Existing ceiling removed to reinstate lightwell

KEY

Demolition

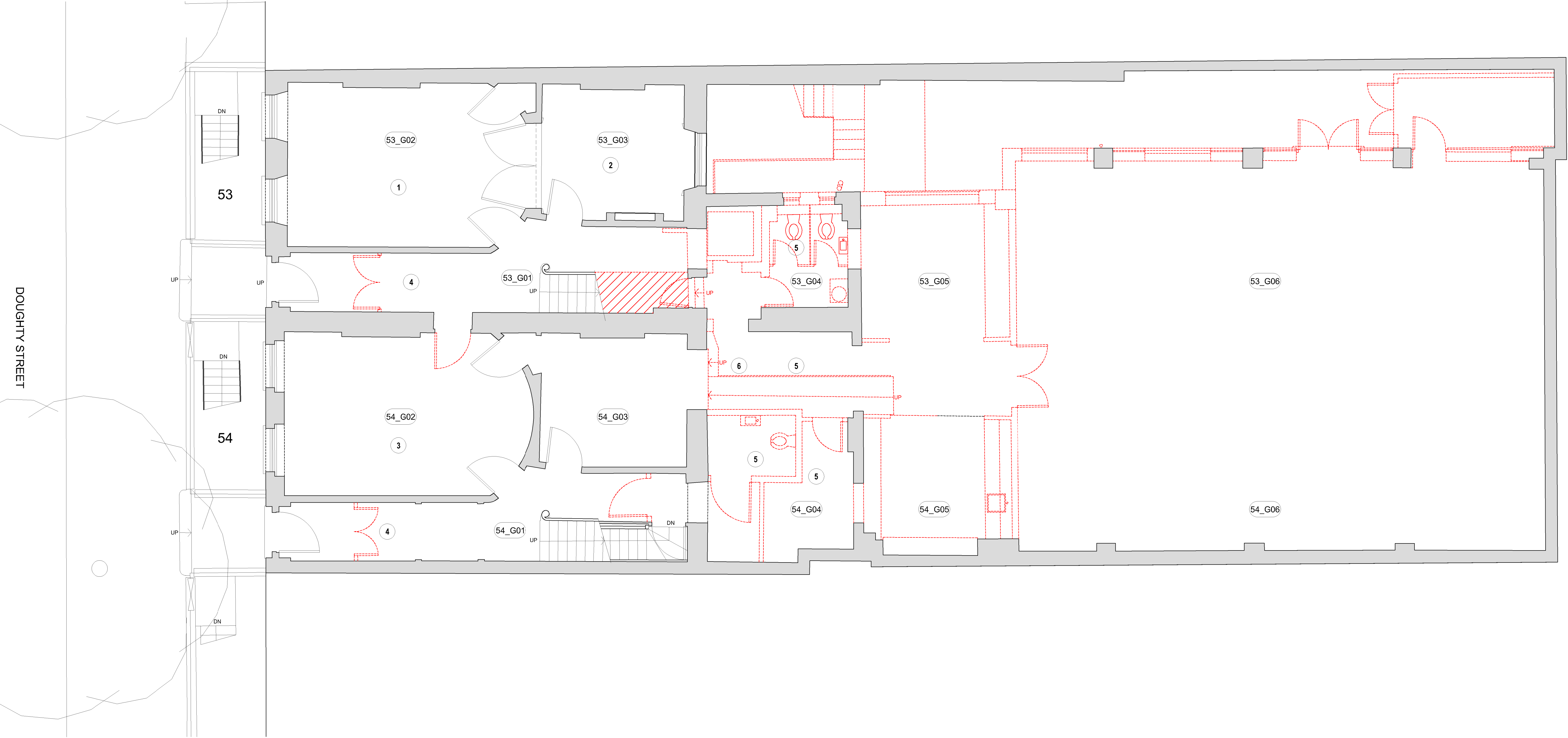
LEGEND

Room tag

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P02	15/01/25	SS	TM	UPDATED TO CLIENT COMMENTS	2. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. 3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES. 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. 7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.

1m

5m

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33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

PROJECT

53-54 Doughty Street

DOCUMENT NAME

EXISTING RCP GROUND FLOOR

PROJECT STAGE

Stage 3

SUITABILITY CODE & DESCRIPTION

S4 Suitable for Stage Approval

DOCUMENT REFERENCE

DST-TA-ZZ-00- D -A-211100

JOB NO.

L2237

DATE

12/24

SCALE (@A1)

1 : 50

REVISION

P02

GENERAL NOTES

The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Features

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Undisclosed old or original features

During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instruction from the architects. Generally, such features are to be retained in situ and exposed or protected and covered over with contemporary finishes.

Floors and floor boarding

All original floor boarding must be retained in situ. In certain instances, it may be acceptable to remove original boards from isolated areas for use as replacement boarding in other largely original rooms.

A strategy is to be evolved with the architects upon opening up works and disclosure of the extent of original boarding. If original puggin exists, it is to be retained.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

SCOPE OF DEMOLITIONS AND REMOVALS NOTES

Items - generally unless otherwise noted:

- Remove all services to engineers' instructions.
- Remove all fixings for services from floors, walls and soffits.
- Remove all soft floor finishes.
- Remove all light fittings.
- Remove all graphical signage.
- Remove all fixtures and fittings
- Remove all loose and built-in furniture.
- Remove suspended ceilings, bulkhead linings, trims etc. Inspect ceilings within the older part of the building and report and await confirmation prior to removing.
- Remove all internal decorative linings including paper linings.
- Remove all modern sub framing and carcassing.
- Remove all non-structural brick and blockwork within the basement and WC areas.
- Remove all soft floor finishes.
- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.

Exclusions:

- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

DRAWING SPECIFIC NOTES

- Existing infilled architraved opening re-opened
- Investigate for infilled opening. Proposed opening to match No 53

KEY

Demolition

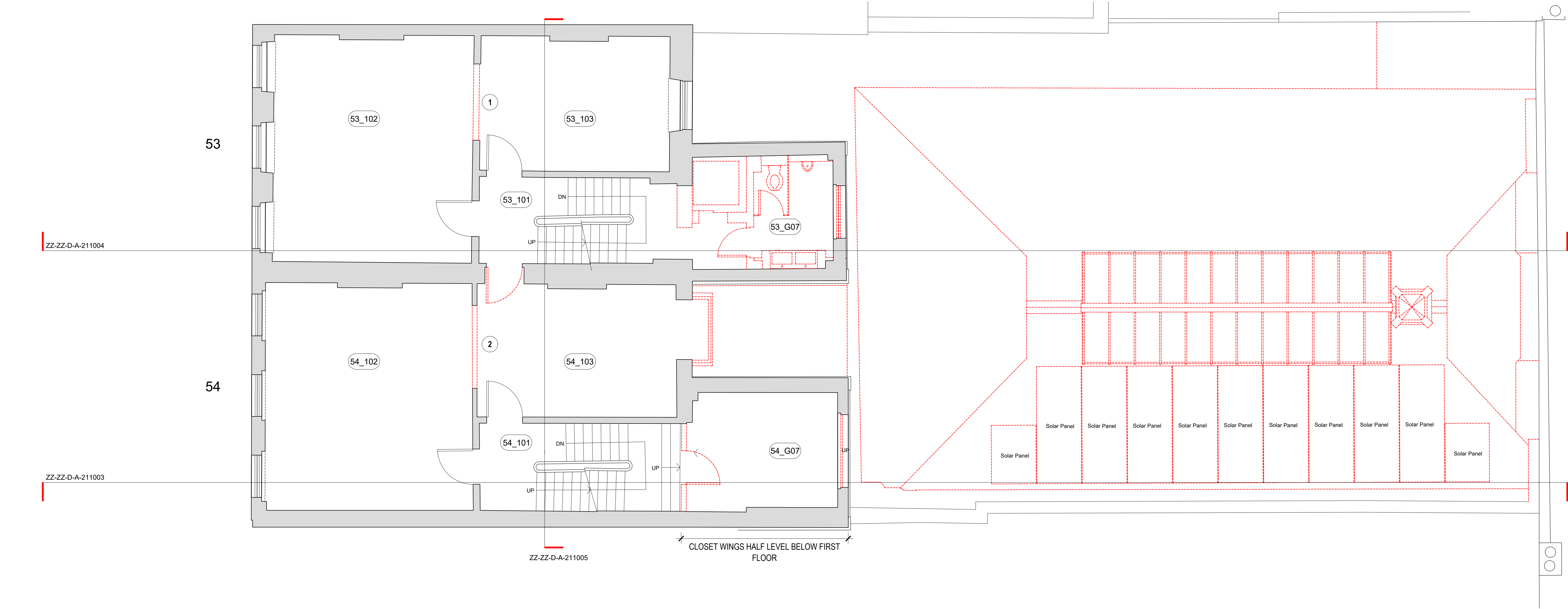
LEGEND

Room tag

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P01	24/12/20	MY	TM	FIRST ISSUE		<div>PROJECT</div> <div>53-54 Doughty Street</div> <div>DOCUMENT NAME</div> <div>EXISTING GA PLAN</div> <div>FIRST FLOOR</div> <div>PROJECT STAGE</div> <div>Stage 3</div> <div>SUITABILITY CODE & DESCRIPTION</div> <div>S4 Suitable for Stage Approval</div> <div>DOCUMENT REFERENCE</div> <div>DST-TA-ZZ-01- D -A-211001</div> <div>REVISION</div> <div>P01</div>	

CEILING GENERAL NOTES

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- Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
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- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

1. Existing raft removed
2. Ceilings and cornice appear to be in original condition, investigate, remove central over boarding and moulding
3. Ceilings appear to be in original condition
4. Existing plasterboard ceilings removed

KEY

Demolition

LEGEND

Room tag

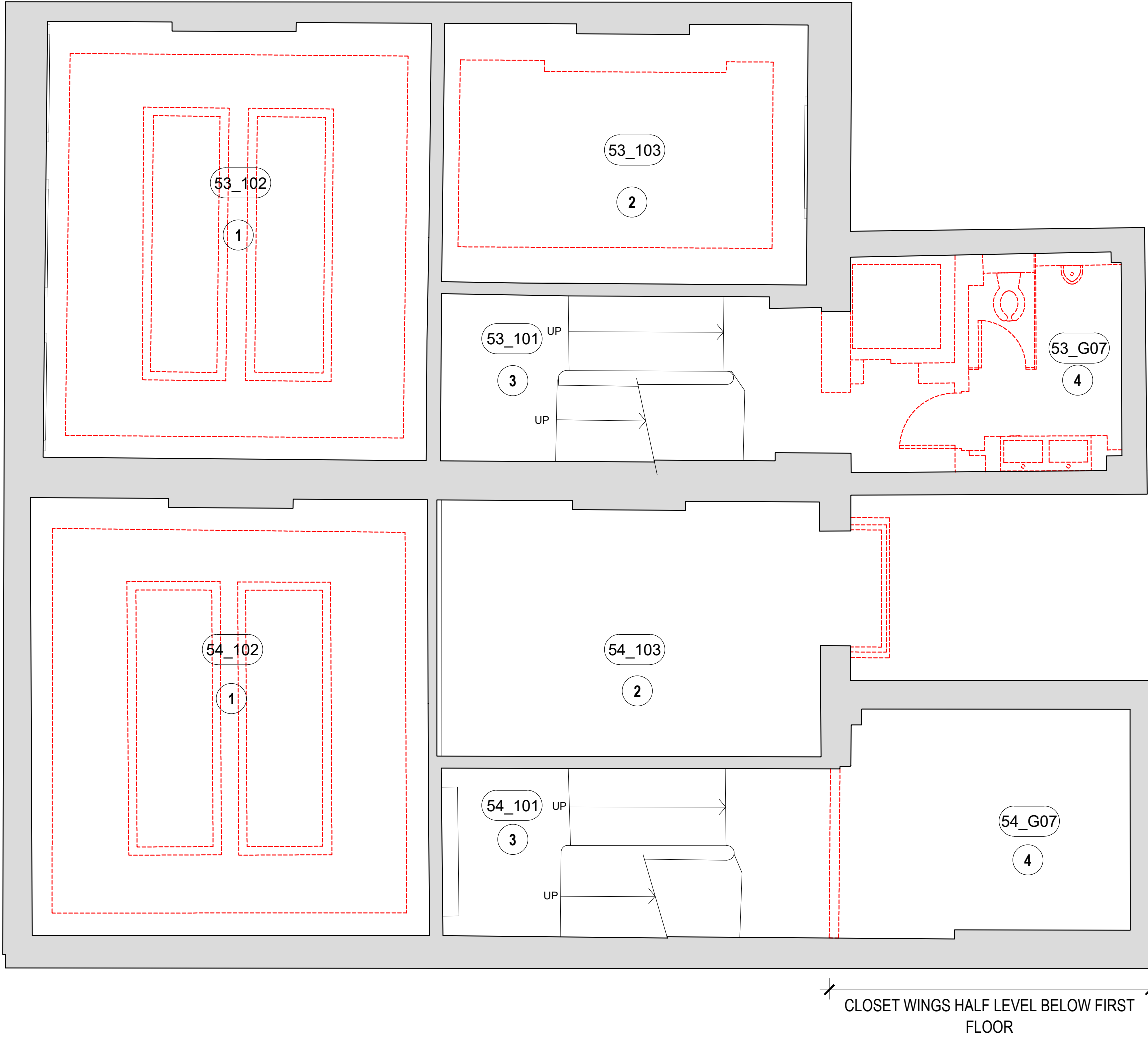
Record of the existing buildings

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53

54



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Ceilings

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SCOPE OF DEMOLITIONS AND REMOVALS NOTES

Items - generally unless otherwise noted:

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- Remove all soft floor finishes.
- Demolish all WC provision within the demise upon completion. Some provision may be retained on a temporary basis for site use.

Exclusions:

- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

DRAWING SPECIFIC NOTES

1. Original wall nib retained

KEY

Demolition

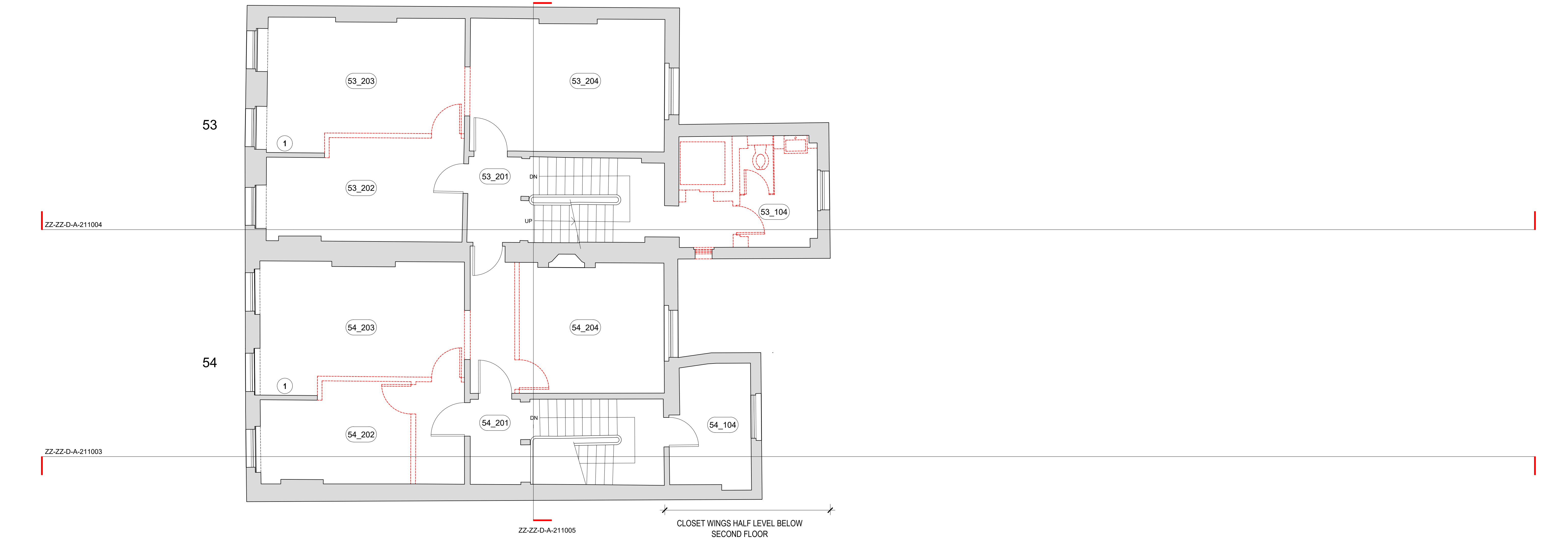
LEGEND

Room tag

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CEILING GENERAL NOTES

- Remove all 20th C false ceilings
- Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or if necessary undertake opening up work limited to 75 x 75 mm openings
- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

1. Generally retain 20th Century cornices to the perimeter of rooms when removing partitions
2. Ceilings appear to be in original condition
3. Existing plasterboard ceilings removed
4. Opening formed for proposed staircase

KEY

Demolition

LEGEND

Room tag

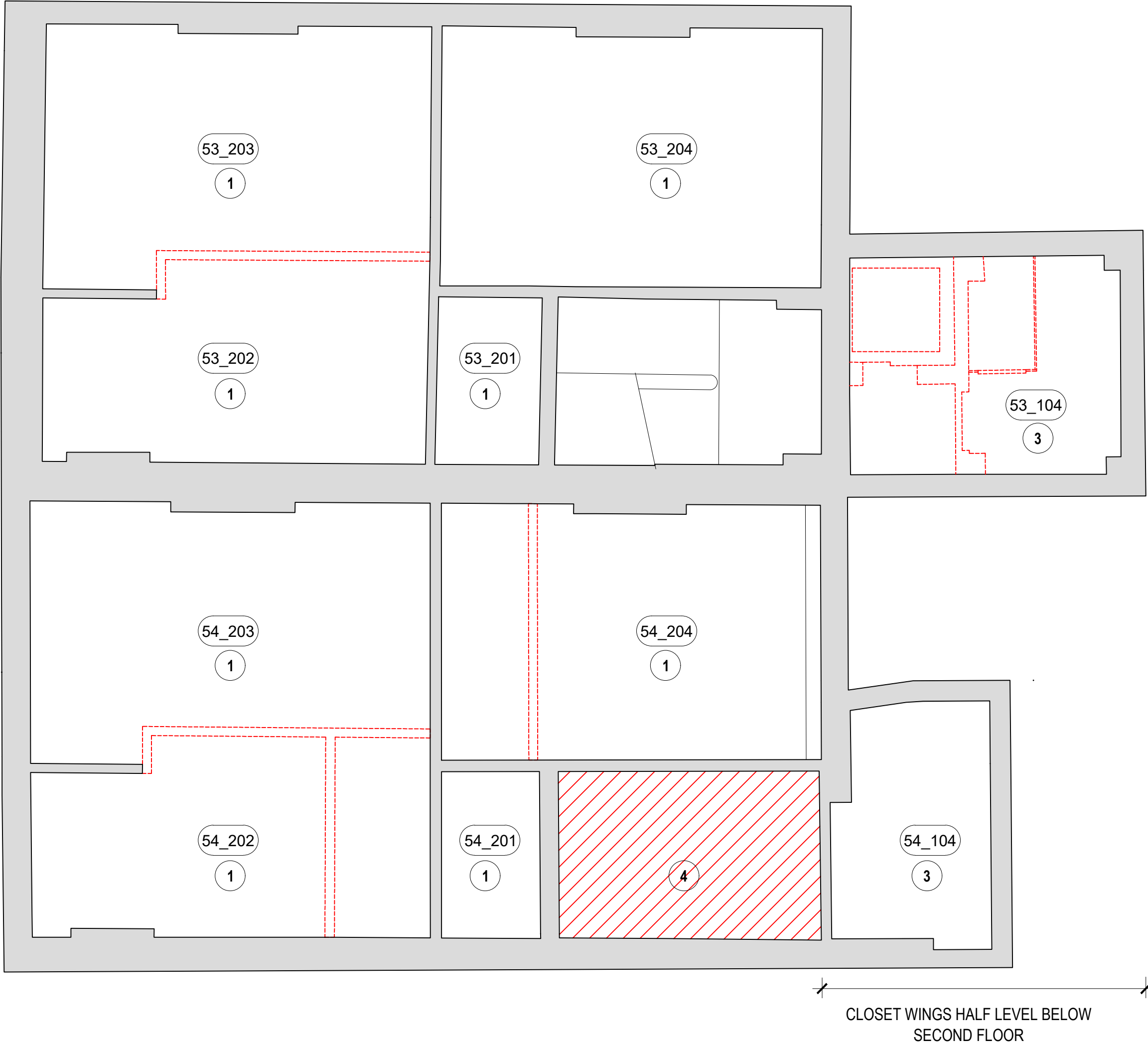
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- Remove all soft floor finishes.
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Exclusions:

- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

DRAWING SPECIFIC NOTES

1. Area of floor removed for proposed staircase

KEY

Demolition

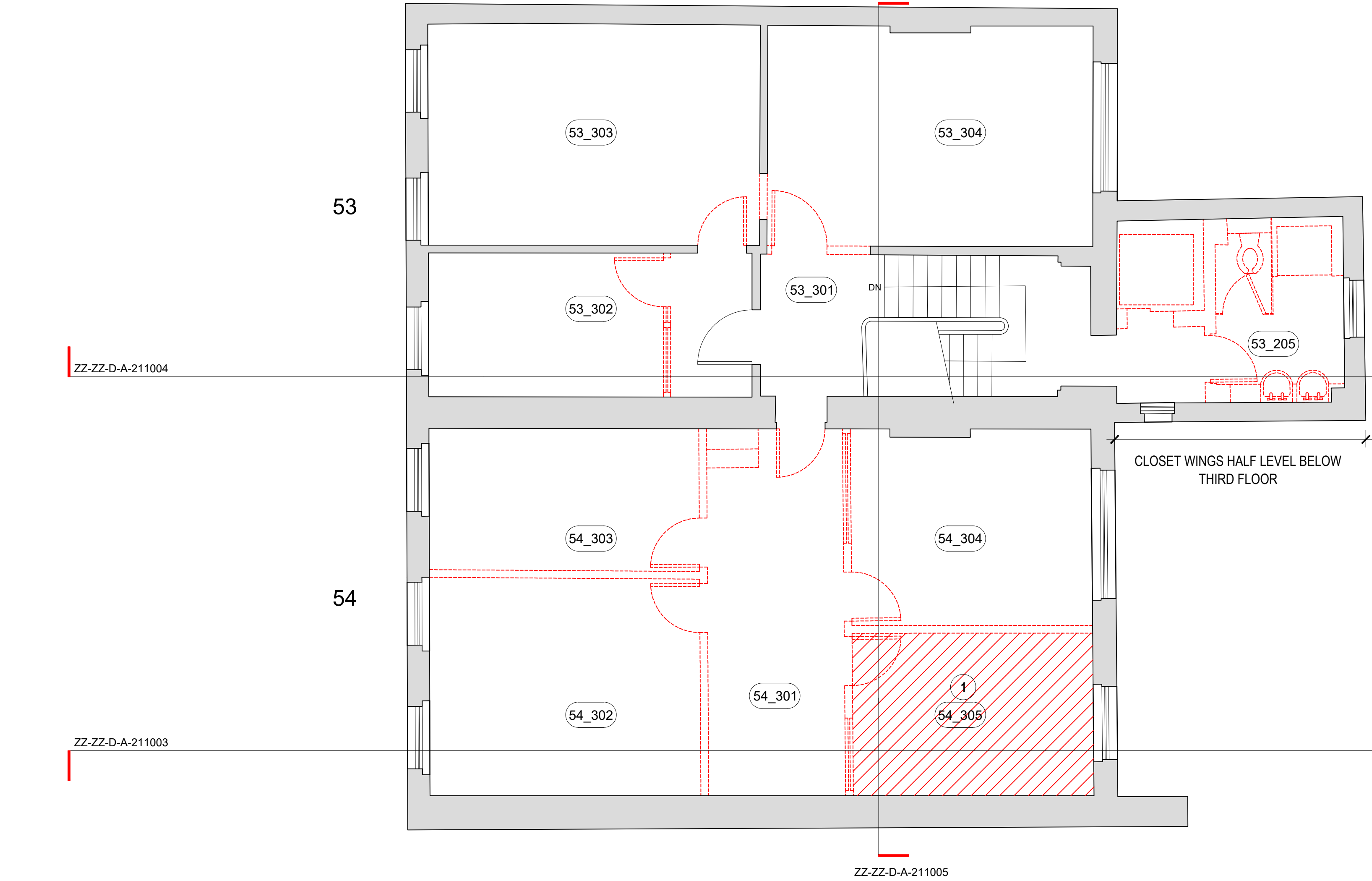
LEGEND

Room tag

Record of the existing buildings

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CEILING GENERAL NOTES

- Remove all 20th C false ceilings
- Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or if necessary undertake opening up work limited to 75 x 75 mm openings
- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

1. Generally retain 20th Century cornices to the perimeter of rooms when removing partitions
2. Existing plasterboard ceilings removed

KEY

Demolition

LEGEND

Room tag

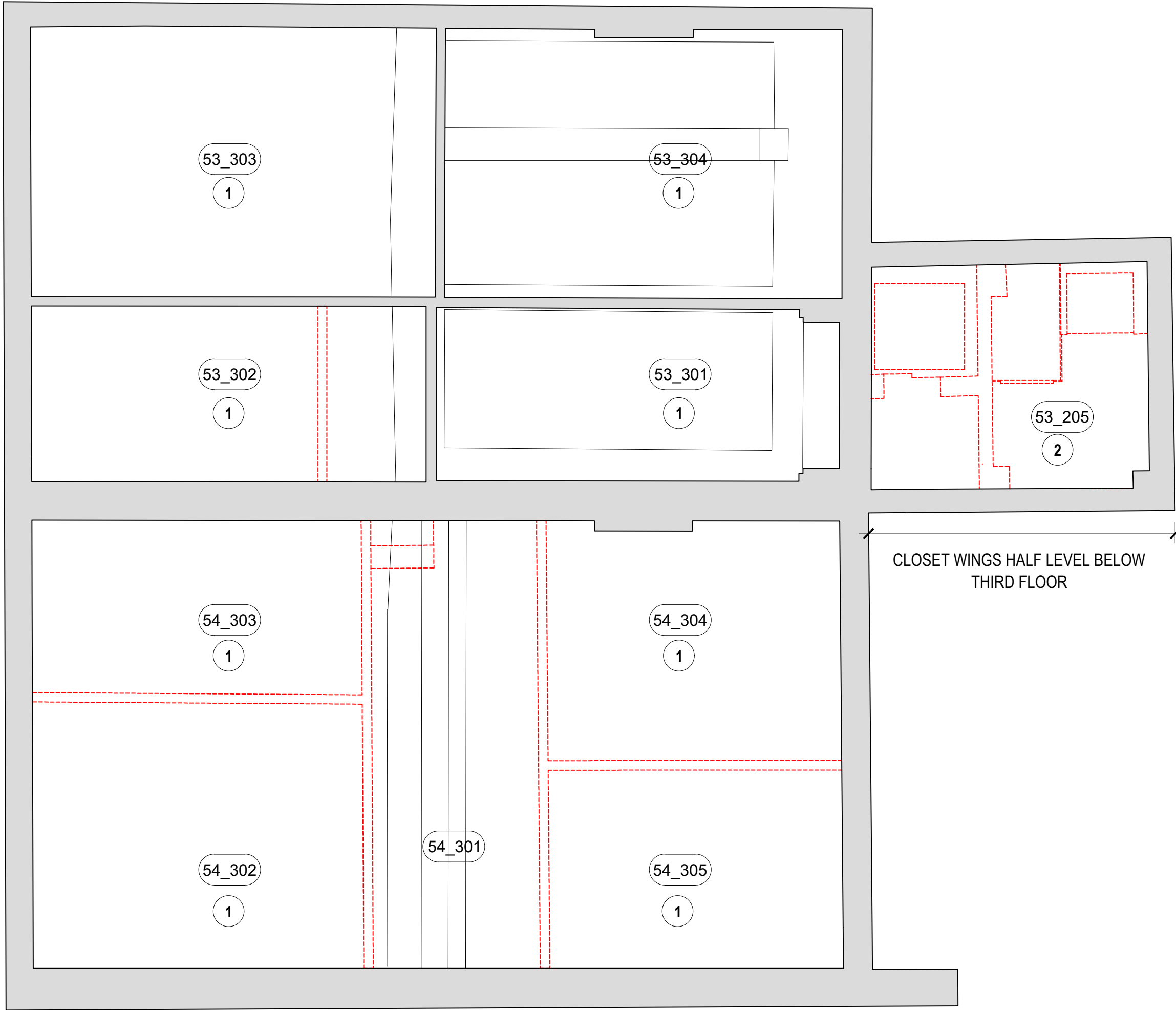
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54



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	<div><div></div><div>1m</div><div></div><div>5m</div><div>(1:50A1)</div></div>	
P01	24/12/20	MY	TM	FIRST ISSUE		<div>1. TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED.</div> <div>2. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.</div> <div>3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES</div> <div>4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE.</div> <div>5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY.</div> <div>6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.</div> <div>7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.</div> <div>8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.</div>	<div><div>TREHEARNEARCHITECTS</div><div>33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk</div></div>
						<div>PROJECT</div> <div>53-54 Doughty Street</div> <div>DOCUMENT NAME</div> <div>EXISTING RCP THIRD FLOOR</div> <div>PROJECT STAGE</div> <div>Stage 3</div> <div>SUITABILITY CODE & DESCRIPTION</div> <div>S4 Suitable for Stage Approval</div> <div>DOCUMENT REFERENCE</div> <div>DST-TA-ZZ-03- D -A-211100</div>	<div>JOB NO.</div> <div>L2237</div> <div>DATE</div> <div>12/24</div> <div>SCALE (@A1)</div> <div>1 : 50</div> <div>REVISION</div> <div>P01</div>

GENERAL NOTES

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Ceilings

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SCOPE OF DEMOLITIONS AND REMOVALS NOTES

Items - generally unless otherwise noted:

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Exclusions:

- Building elements forming the weather-tight envelope, other than where noted on the drawings.
- Doors leading to neighbouring demises.

KEY

Demolition

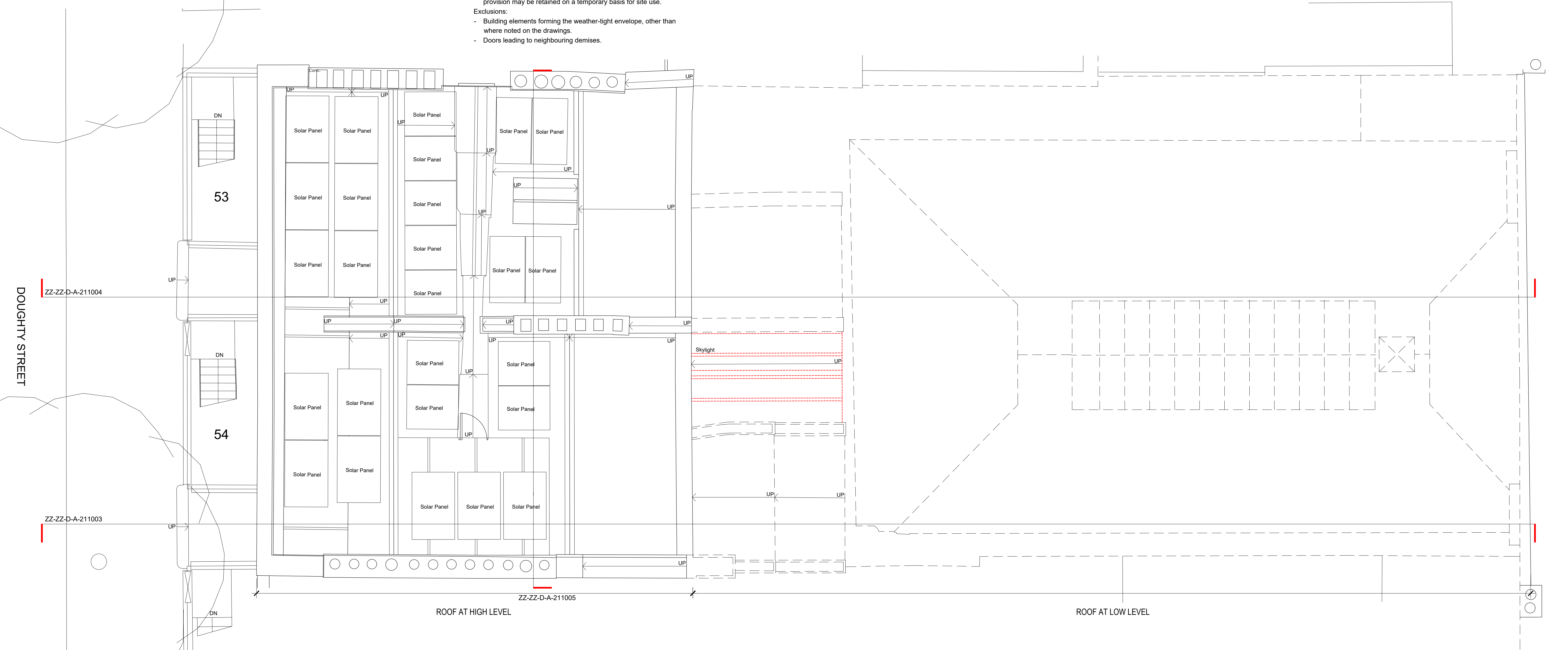
LEGEND

Room tag

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- Doors leading to neighbouring demises.

KEY

Demolition

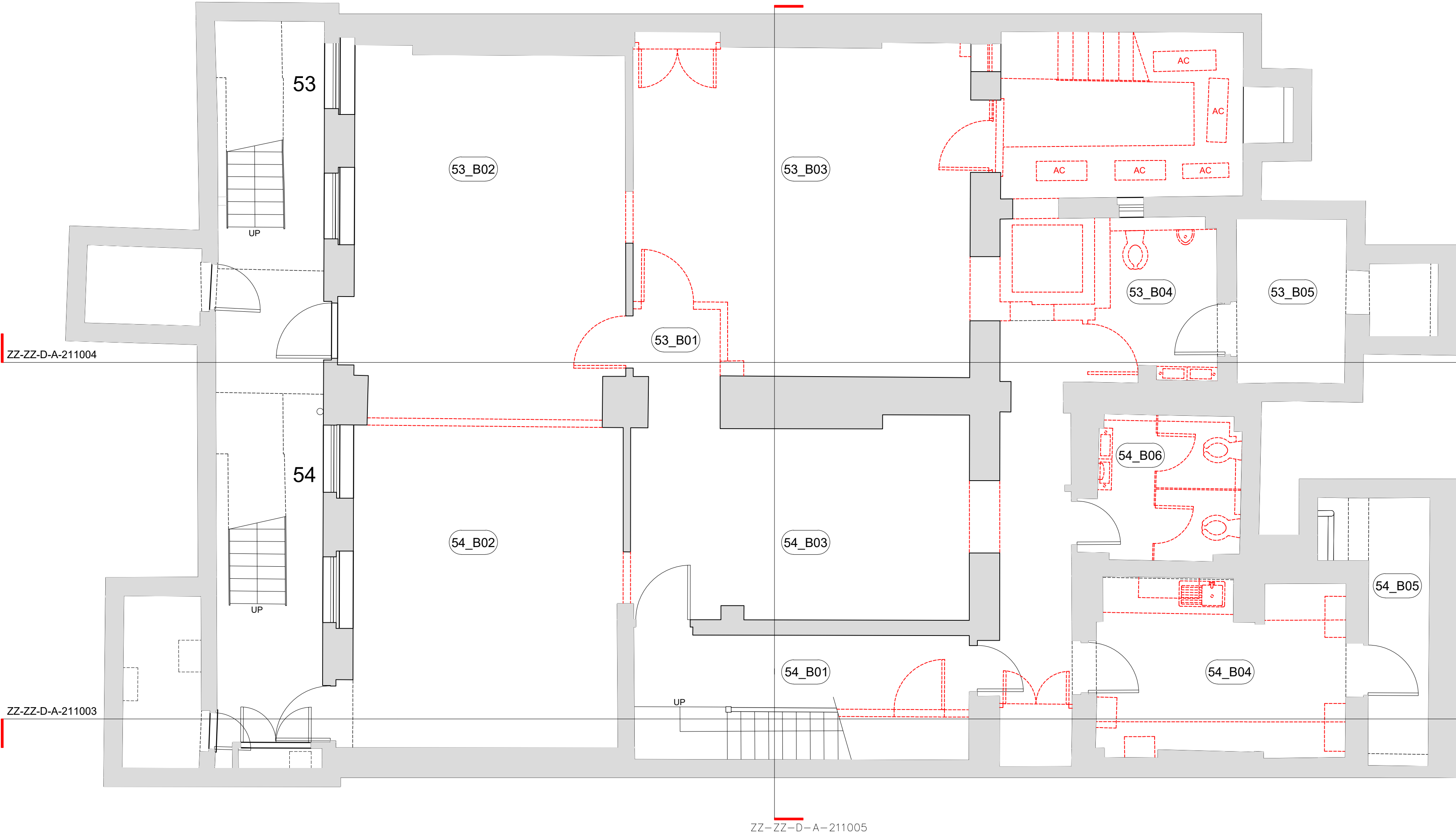
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CEILING GENERAL NOTES

- Remove all 20th C false ceilings
- Remove all 20th C raft ceilings
- Remove overlays to existing ceilings
- Determine if ceilings are plaster and lath or plasterboard by sound testing or if necessary undertake opening up work limited to 75 x 75 mm openings
- Retain and record any mouldings discovered above false ceilings
- Do not remove plaster and lath ceilings

DRAWING SPECIFIC NOTES

1. Existing rafts and 29th C cornices removed
2. Existing plasterboard ceilings removed
3. Formal staircase location re-opened

KEY

Demolition

LEGEND

Room tag

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PROJECT STAGE Stage 3						SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval	
DOCUMENT REFERENCE DST-TA-ZZ-B1- D -A-211100						REVISION P01	

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Ceilings

Please see the ceiling drawings for instructions regarding these areas.

DRAWING SPECIFIC NOTES

1. Sinage removed
2. Services and window vents generally removed

KEY

Demolition



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PROJECT	JOB NO.
53-54 Doughty Street	L2237
DOCUMENT NAME	DATE
EXISTING ELEVATION FRONT	12/24
PROJECT STAGE	SCALE (@A1)
Stage 3	1 : 50
SUITABILITY CODE & DESCRIPTION	REVISION
S4 Suitable for Stage Approval	P01
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DST-TA-ZZ-ZZ- D -A-211001	

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DRAWING SPECIFIC NOTES

- Existing pitched roof removed
- Existing beam structure remained

KEY

Demolition

LEGEND

Room tag

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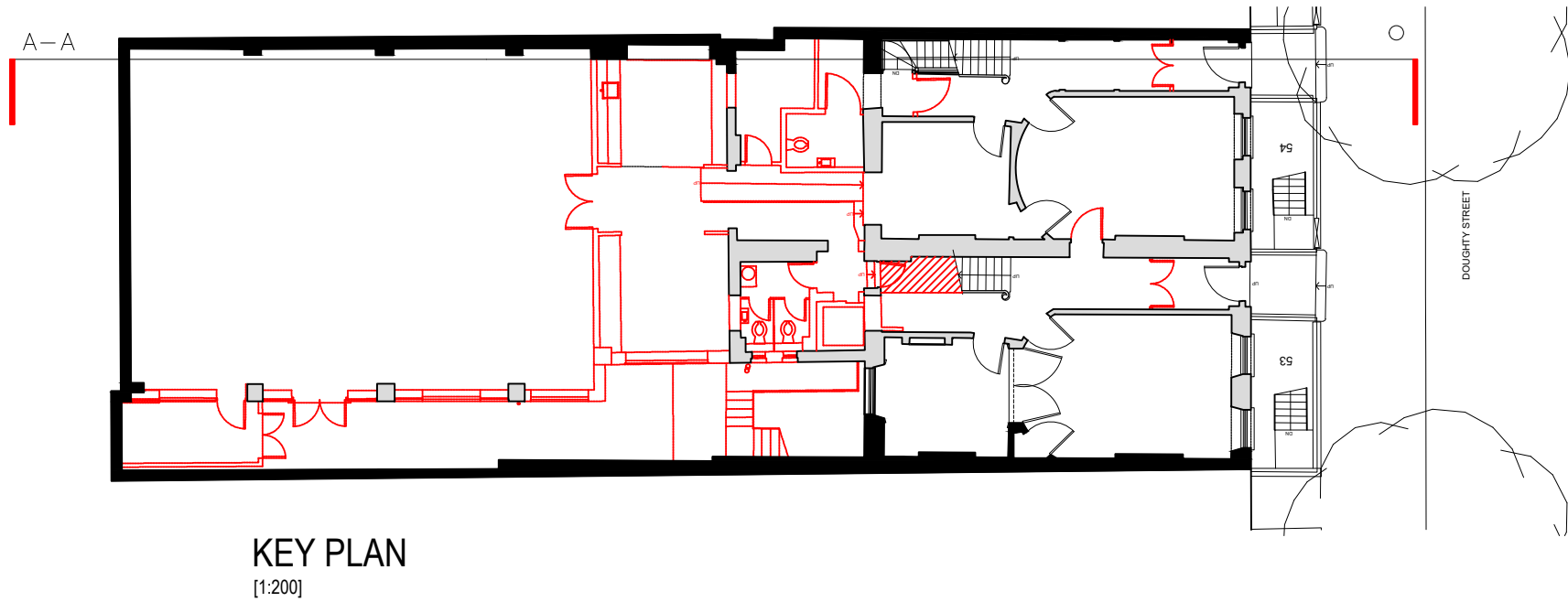
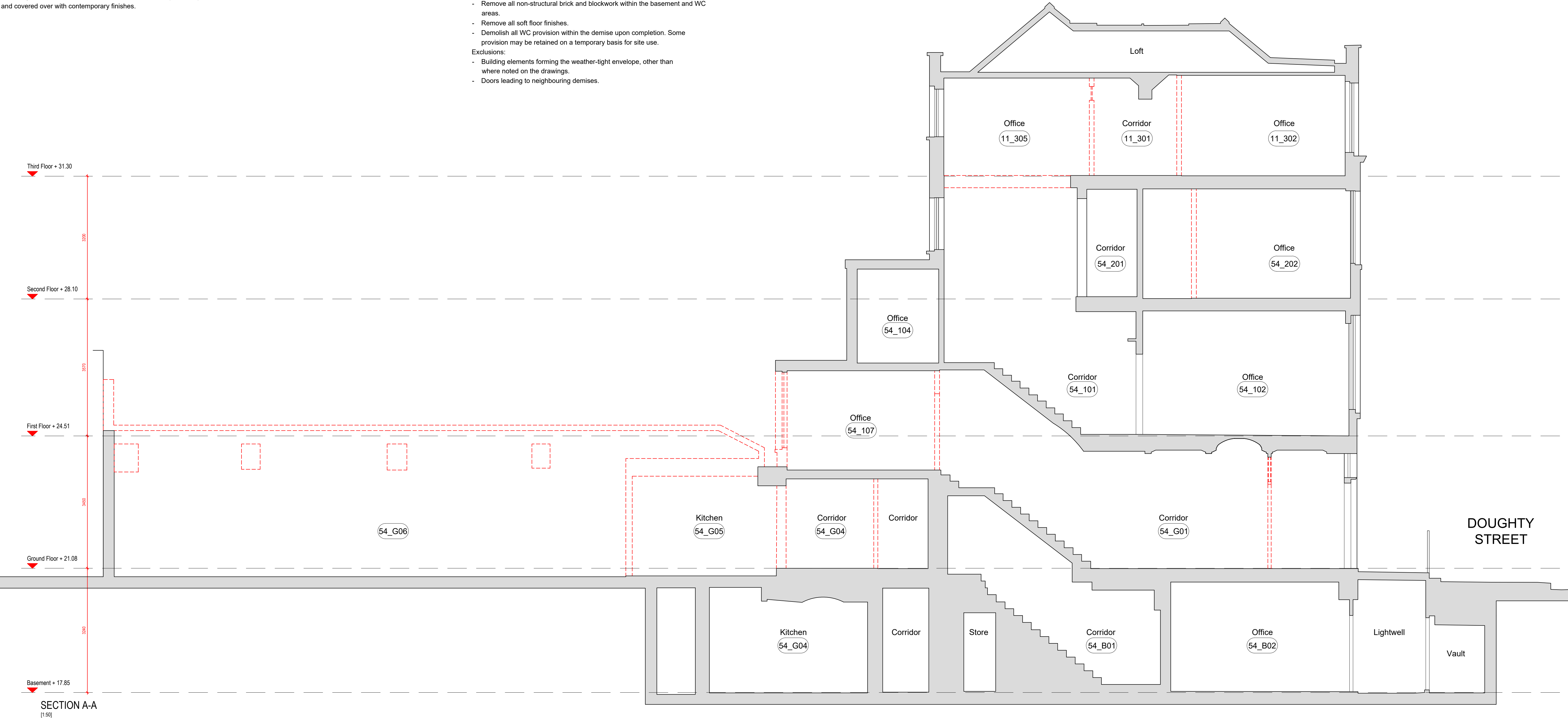
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P02	25/01/08	MY	TM	DRAWING UPDATED		<div><div><div>PROJECT</div><div>53-54 Doughty Street</div><div>DOCUMENT NAME</div><div>EXISTING SECTION</div><div>54 DOUGHTY STREET</div><div>PROJECT STAGE</div><div>Stage 3</div><div>SUITABILITY CODE & DESCRIPTION</div><div>S4 Suitable for Stage Approval</div><div>DOCUMENT REFERENCE</div><div>DST-TA-ZZ-ZZ- D -A-211003</div></div><div><div>JOB NO.</div><div>L2237</div><div>DATE</div><div>12/24</div><div>SCALE (@A1)</div><div>1 : 50</div></div></div> <div>REVISION</div> <div>P02</div>	

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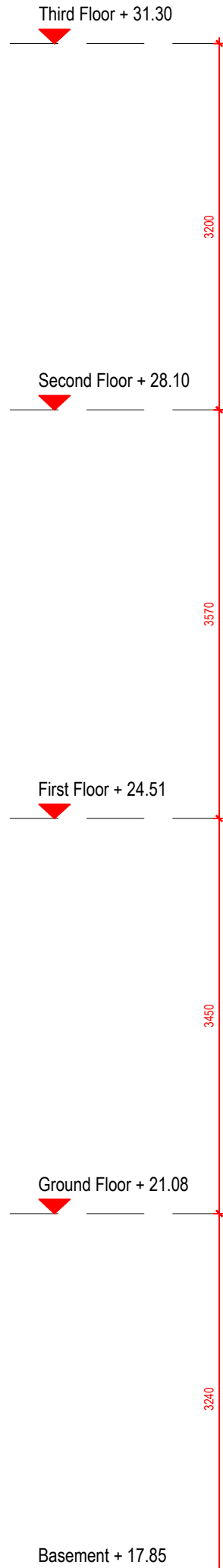
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~~(XX_XXX)~~ Room tag



KEY PLAN
[1:200]

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1m

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5m

5000mm

TREHEARNE ARCHITECTS

33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk

PROJECT

53-54 Doughty Street

DOCUMENT NAME

EXISTING SECTION

53 DOUGHTY STREET

PROJECT STAGE

Stage 3

JOB NO

L2237

DATE

12/24

SCALE (@A1)

1 : 50

SUITABILITY CODE & DESCRIPTION

S4 Suitable for Stage Approval

DOCUMENT REFERENCE

DST-TA-ZZ-ZZ- D -A-211004

REVISION

P01

The demolition shown in red on these drawings is diagrammatic and based on an inspection of the buildings, the measured surveys, and photographs.

Architectural features such as doors, windows, window shutters, chimney pieces should all be photographed and protected. No such items should be removed from site.

During the course of works if any such features or finishes are discovered, they should be reported immediately to the architects and photographed. Further work is not to be undertaken without instructions from the architects

All original floor boarding must be retained in situ. In certain instances it may be acceptable to remove original boards from isolated areas for use as replacement boarding in other largely original rooms.

Please see the ceiling drawings for instructions regarding these areas.

The gazetteer is cross referenced to the room references on the existing drawings.

KEY PLAN
[1:200]

REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION
P01	24/12/20	MY	TM	FIRST ISSUE
P02	25/01/08	MY	TM	DRAWING UPDATED

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1m

5m

1:5000

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REVISION

P02