Floore

Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned

to the same locations.

Where appropriate original floorboards may be sanded and waxed. In other locations separating layers are to be introduced before laying new finishes.

Doors

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings.

New doors are generally to be of traditional panelled construction generally to

match the best surviving original doors on each particular floor.

When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and basement with moulded six paneldoors on the intermediate floors.

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original.

Where noted new sash windows are to match similar examples within the buildings.

Window shutters
Where window shutters exist, they should be opened repaired and left operable.

Where new windows are created in facsimile of existing windows shutter linings should also be installed in facsimile of original examples.

Skirting boards and wall mouldings

Existing skirting boards and wall mouldings should be preserved wherever possible and new skirting boards should be made in fact of the originals.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

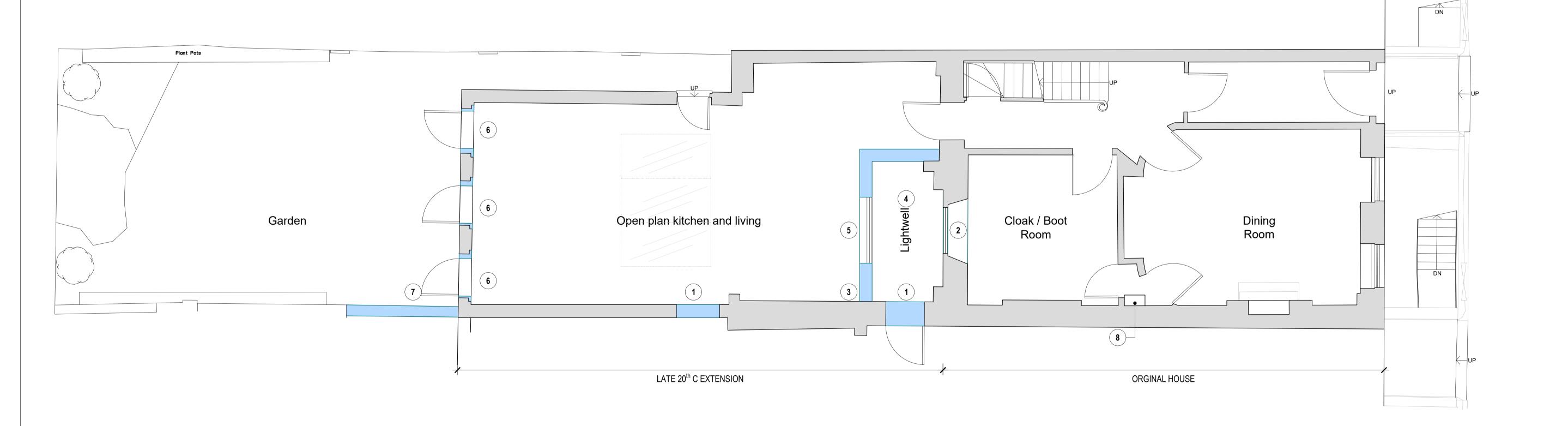
New walls New items

DRAWING SPECIFIC NOTES

- 1. Party wall stopped up in solid masonry
- 2. Traditionally detailed sash window and under
- pancel inserted into existing embraure
- Proposed external insulated blockwork walls
 Reinsted lightwell faced in painted render
- 4. Reinsted lightwell faced in painted render5. Contemporary 'Crittall' metal windows
- 6. Contemporary 'Crittall' french windows
- 7. Garden wall re-instated
- 8. Proposed casing for new services. The casing would be as slim as possible

- Record of the existing buildings
- For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

The gazetteer is cross referenced to the room references on the existing drawings.



HTY STREET

RI	EV DA	ATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m 5m
P	24/	/12/20	MY	ТМ	FIRST ISSUE	1. TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. 2. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. 3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.	TREHEARNEARCHITECTS 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk PROJECT 11 Doughty Street DOCUMENT NAME PROPOSED GA PLAN JOB NO. L2237 DATE 12/24 SCALE (@A1)
						7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN	GROUND FLOOR PROJECT STAGE Stage 3
						AGREEMENT OF TREHEARNE ARCHITECTS.	Suitable for Stage Approval
							DST-TA-ZZ-00- D -A-301001 P01

CEILING GENERAL NOTES

Existing plaster and lath ceilings The plaster ceiling shall be retained and consolidated with screws if necessary to the joists above

Lining papers and excessive as paint layers are to be removed Existing plaster to be re-skimmed where necessary, feathering to the edges to avoid compromising cornice mouldings

Lowered plasterboard ceilings

Remove sections of ceiling to determine the reason for lowering ceilings. If it is possible to return the ceiling to its original height, the lowered ceiling should be removed

Investigate for original cornices and residual mouldings and copy in facsimile in fibrous plaster.

Where ceilings have been lowered possibly to conceal floor strengthening works reinstate the full ceilings and cornice

Basement ceilings generally

Where no mouldings originally existed apply fire line board below the existing ceilings and re-skim to improve the fire integrity of the building

DRAWING SPECIFIC NOTES

reinstating as existing

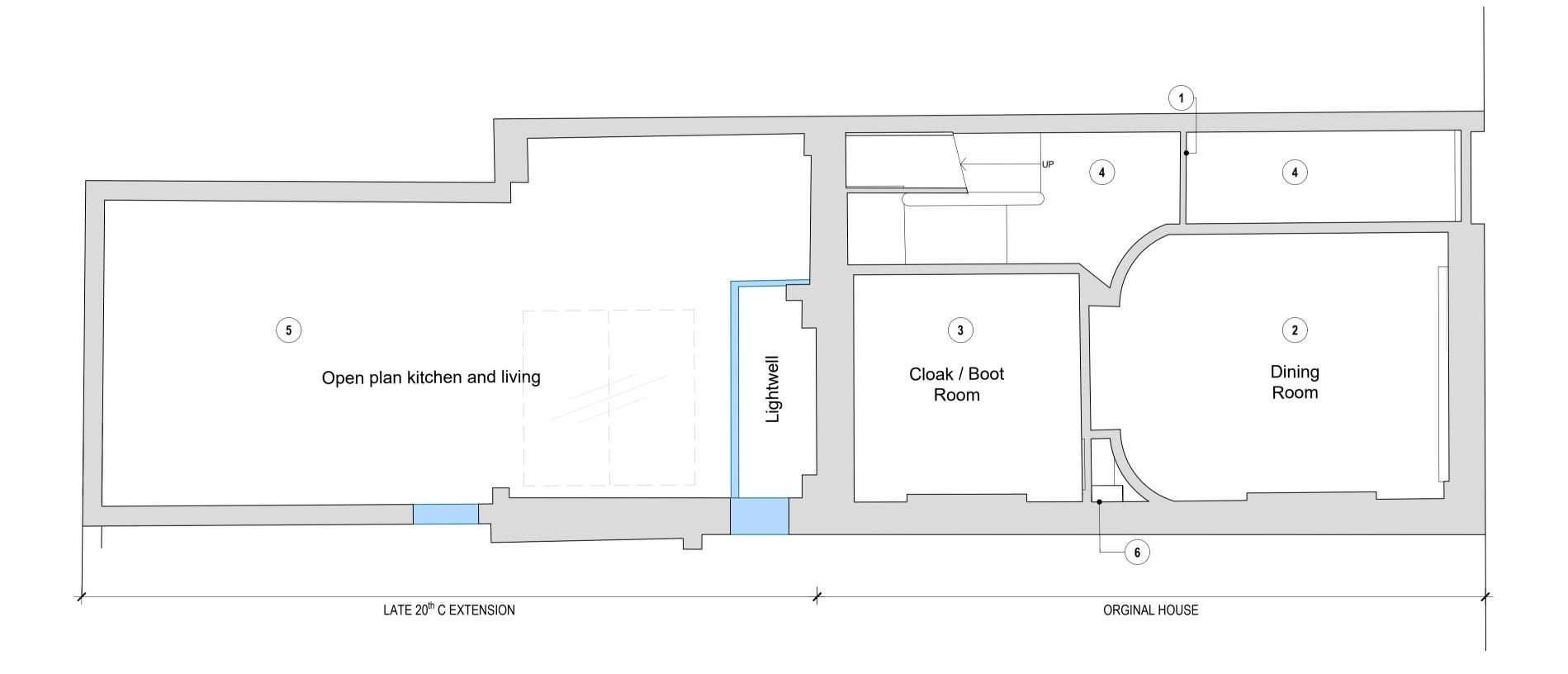
- 1. Make good scaring from wall removal 2. Lowered 20th C ceiling with 20th C cornice (see gazetteer) investigated with a view to raising the ceiling to its original height if possible or
- 3. Ceilings appear to be in original condition,
- 4. Ceilings appear to be in original condition, investigate and restore
- 5. New plasterboard and skim ceilings
- 6. Proposed casing for new services. The casing would be as slim as possible

KEY New walls New items

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

The gazetteer is cross referenced to the room references on the existing drawings.



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STREET

REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES
P01 P02	24/12/20 25/01/08	MY MY	TM TM	FIRST ISSUE DESIGN UPDATED	TREHEARNE ARCHITE THAN THE PARTY TO V WAS PREPARED. DO NOT SCALE FROM ON INFORMATION PRO
					4. ALL LEVELS AND DIME 5. ANY ERRORS AND DIS 6. THIS DRAWING IS TO E SPECIFICATIONS. 7. THIS DRAWING IS TO E 8. THIS DRAWING IS COPAGREEMENT OF TREH

TECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER TREHEARNEARCHITECTS O WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT OM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.

INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED PROVIDED BY OTHER PARTIES

MENSIONS TO BE CHECKED ON SITE. DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. O BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND

O BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. OPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN

	33 HIGH HOLBORN LONDON	WC1V 6AX	020 7421 1790	www.trehearne.co.uk
)	PROJECT			JOB NO.
	11 Doughty Stree	t		L2237
	DOCUMENT NAME PROPOSED RC	12/24		
ID		SCALE (@A1)		
	GROUND FLOO	Κ		1: 50
	Stage 3			
	SUITABILITY CODE & DESCRIPTION			
	S4 Suitable for St	age Appr	oval	

DST-TA-ZZ-**00**- D -A-**301100** P02

Floors

Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned to the same locations.

Where appropriate original floorboards may be sanded and waxed. In other locations separating layers are to be introduced before laying new finishes.

locations separating layers are to be introduced befo

Doors
Original doors a

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings.

New doors are generally to be of traditional panelled construction generally to match the best surviving original doors on each particular floor.

When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and basement with moulded six paneldoors on the intermediate floors.

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original.

Where noted new sash windows are to match similar examples within the

buildings.

Window shutters

Where window shutters exist they should be opened repaired and left

Where window shutters exist, they should be opened repaired and left operable.

Where new windows are created in facsimile of existing windows shutter linings should also be installed in facsimile of original examples.

Skirting boards and wall mouldings

Existing skirting boards and wall mouldings should be preserved wherever possible and new skirting boards should be made in fact of the originals.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

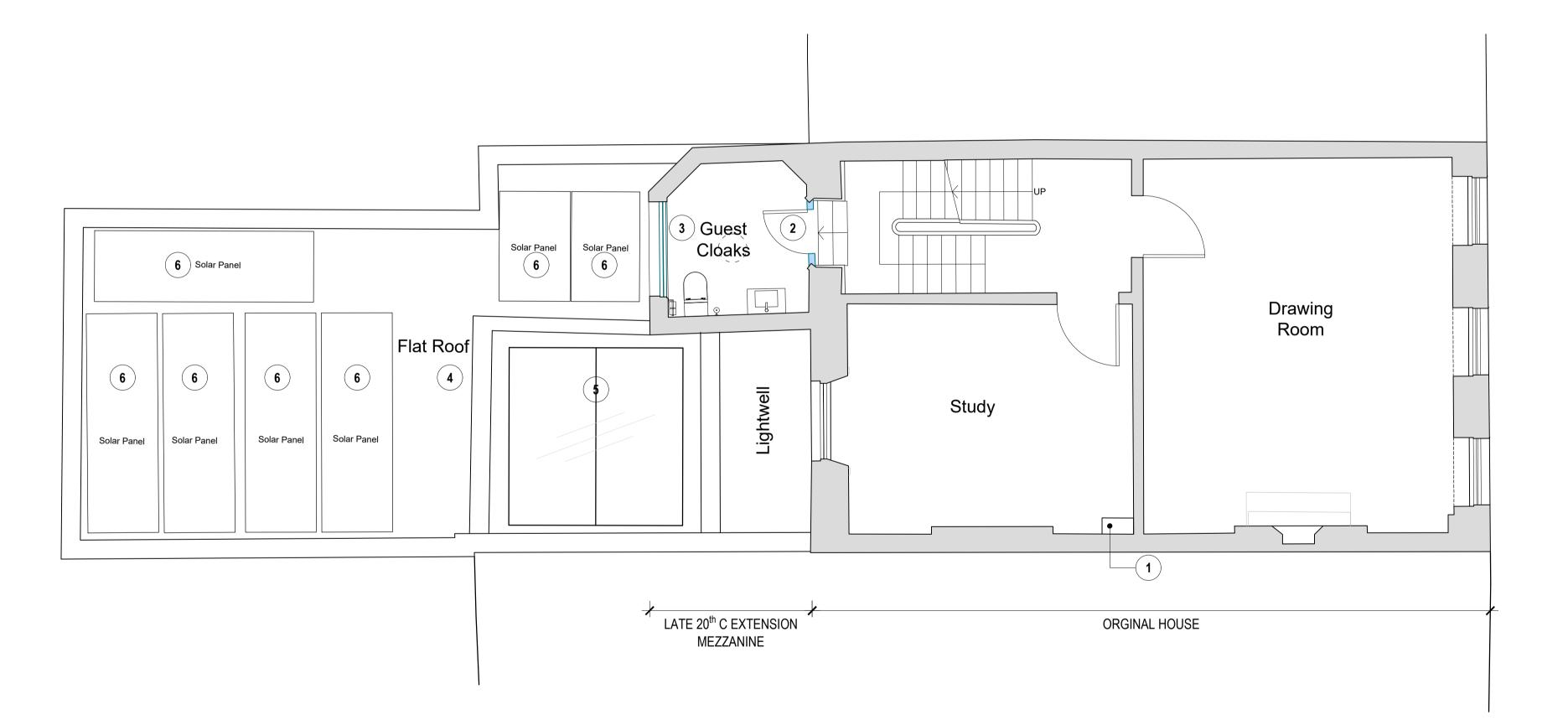
New walls

New walls

New items

DRAWING SPECIFIC NOTES

- 1. Proposed casing for new services. The casing would be as slim as possible and dressed with mouldings to match those adjacent.
- 2. Traditionally detailed single door
- 3. Traditionally detailed sash window4. Existing 20th C flat roof modelled with new
- single membrane roof covering, faced with gravel chippings
- 5. Walk on specification flat rooflight
- 6. Replacement solar panel



Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

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REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m 5m
P01 P02	24/12/20 25/01/08	MY MY	TM TM	FIRST ISSUE DESIGN UPDATED	TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES.	TREHEARNEARCHITECTS 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co.uk PROJECT JOB NO. 1 2227
					4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.	11 Doughty Street DOCUMENT NAME PROPOSED GA PLAN FIRST FLOOR L2237 DATE 12/24 SCALE (@A1) 1: 50
					7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	Stage 3 Suitability code & Description S4 Suitable for Stage Approval
						DST-TA-ZZ- 01 - D -A- 301001 P02

CEILING GENERAL NOTES Existing plaster and lath ceilings The plaster ceiling shall be retained and consolidated with screws if necessary

to the joists above

Lining papers and excessive as paint layers are to be removed Existing plaster to be re-skimmed where necessary, feathering to the edges to avoid compromising cornice mouldings

Lowered plasterboard ceilings

Remove sections of ceiling to determine the reason for lowering ceilings. If it is possible to return the ceiling to its original height, the lowered ceiling should be removed

Investigate for original cornices and residual mouldings and copy in facsimile in fibrous plaster.

Where ceilings have been lowered possibly to conceal floor strengthening works reinstate the full ceilings and cornice

Basement ceilings generally

Where no mouldings originally existed apply fire line board below the existing ceilings and re-skim to improve the fire integrity of the building

NOTES

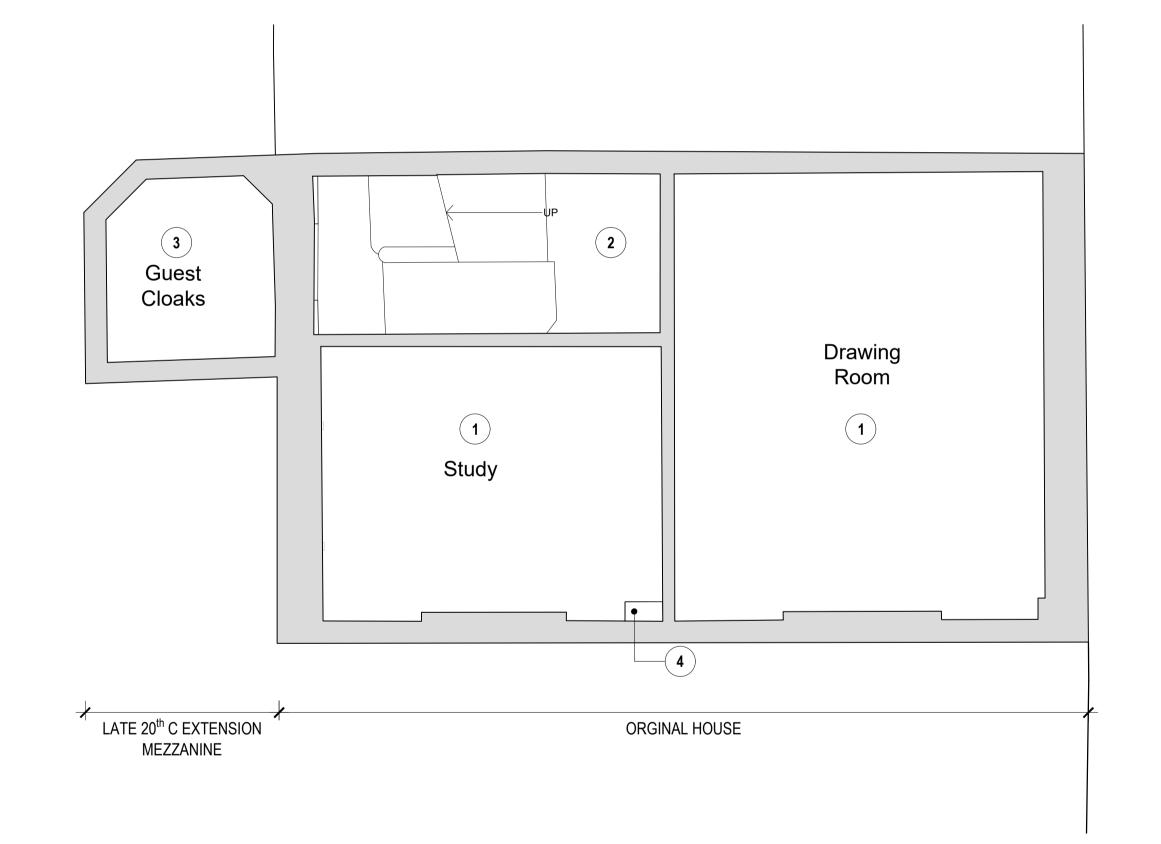
- 1. Possibly lowered 20th C ceiling with 20th C cornice (see gazetteer) investigated with a view to raising the ceiling to its original height if possible or reinstating as existing
- 2. Ceilings appear to be in original condition,
- 3. New plasterboard and skim ceiling with sympathetic plain run cornice
- 4. Proposed casing for new services. The casing would be as slim as possible

KEY New walls

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.





REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m 5m
P01	24/12/20	MY	TM	FIRST ISSUE	 TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS. 	TREHEARNEARCHITECTS 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co. PROJECT 11 Doughty Street DOCUMENT NAME PROPOSED RCP FIRST FLOOR PROJECT STAGE Stage 3 SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval DOCUMENT REFERENCE REVISION
						DST-TA-ZZ- 01 - D -A- 301100 P01

Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned to the same locations.

Where appropriate original floorboards may be sanded and waxed. In other locations separating layers are to be introduced before laying new finishes.

Doors

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings. New doors are generally to be of traditional panelled construction generally to match the best surviving original doors on each particular floor. When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and

basement with moulded six paneldoors on the intermediate floors.

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original. Where noted new sash windows are to match similar examples within the

buildings. Window shutters

Where window shutters exist, they should be opened repaired and left Where new windows are created in facsimile of existing windows shutter

linings should also be installed in facsimile of original examples.

Skirting boards and wall mouldings

Existing skirting boards and wall mouldings should be preserved wherever possible and new skirting boards should be made in fact of the originals.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

New walls New items

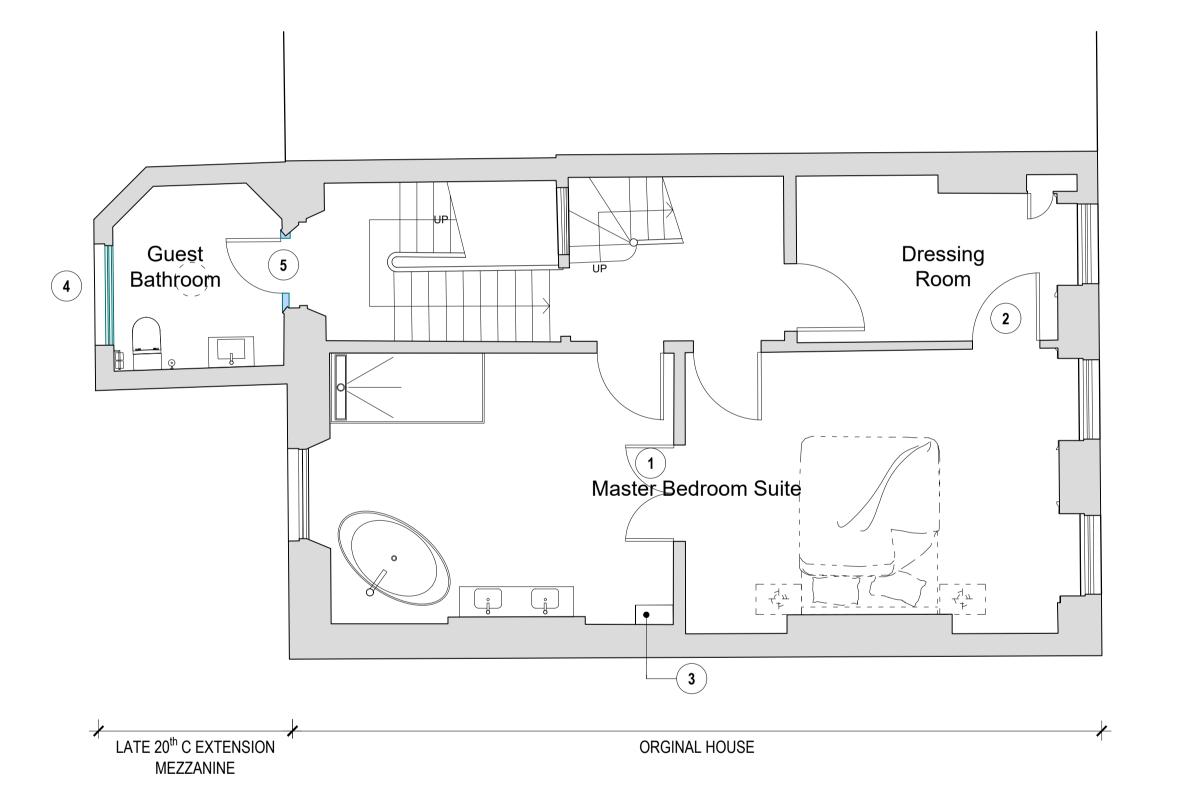
DRAWING SPECIFIC NOTES

- 1. New architraved opening and doors to replicate the arrangement in No 53 Doughty Street
- 2. Traditionally detailed painted timber door and
- architraves to replicate adjacent door sets 3. Proposed casing for new services. The casing would be as slim as possible and dressed with mouldings to match those adjacent
- 4. Trasitiobnally detailed sash window
- 5. Traditionally detailed single door

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

The gazetteer is cross referenced to the room references on the existing drawings.



REV DATE ISSUED CHKD DESCRIPTION

1121	5,112	BY	BY	5255 M TIGH	NOTES		1:50@A1
P01	24/12/20	MY	TM		TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED.	TREHEARNEARCHITE 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.	ECTS ww.trehearne.co.u
					ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. 7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.	PROJECT 11 Doughty Street DOCUMENT NAME PROPOSED GA PLAN SECOND FLOOR PROJECT STAGE	JOB NO. L2237 DATE 12/24 SCALE (@A1) 1:50
					8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	Stage 3 Suitability Code & DESCRIPTION S4 Suitable for Stage Approval DST-TA-ZZ-02- D -A-301001	REVISION P01

CEILING GENERAL NOTES Existing plaster and lath ceilings

The plaster ceiling shall be retained and consolidated with screws if necessary to the joists above

Lining papers and excessive as paint layers are to be removed Existing plaster to be re-skimmed where necessary, feathering to the edges to avoid compromising cornice mouldings

Lowered plasterboard ceilings

Remove sections of ceiling to determine the reason for lowering ceilings. If it is possible to return the ceiling to its original height, the lowered ceiling should be removed

Investigate for original cornices and residual mouldings and copy in facsimile in fibrous plaster.

Where ceilings have been lowered possibly to conceal floor strengthening works reinstate the full ceilings and cornice

Basement ceilings generally

Where no mouldings originally existed apply fire line board below the existing ceilings and re-skim to improve the fire integrity of the building

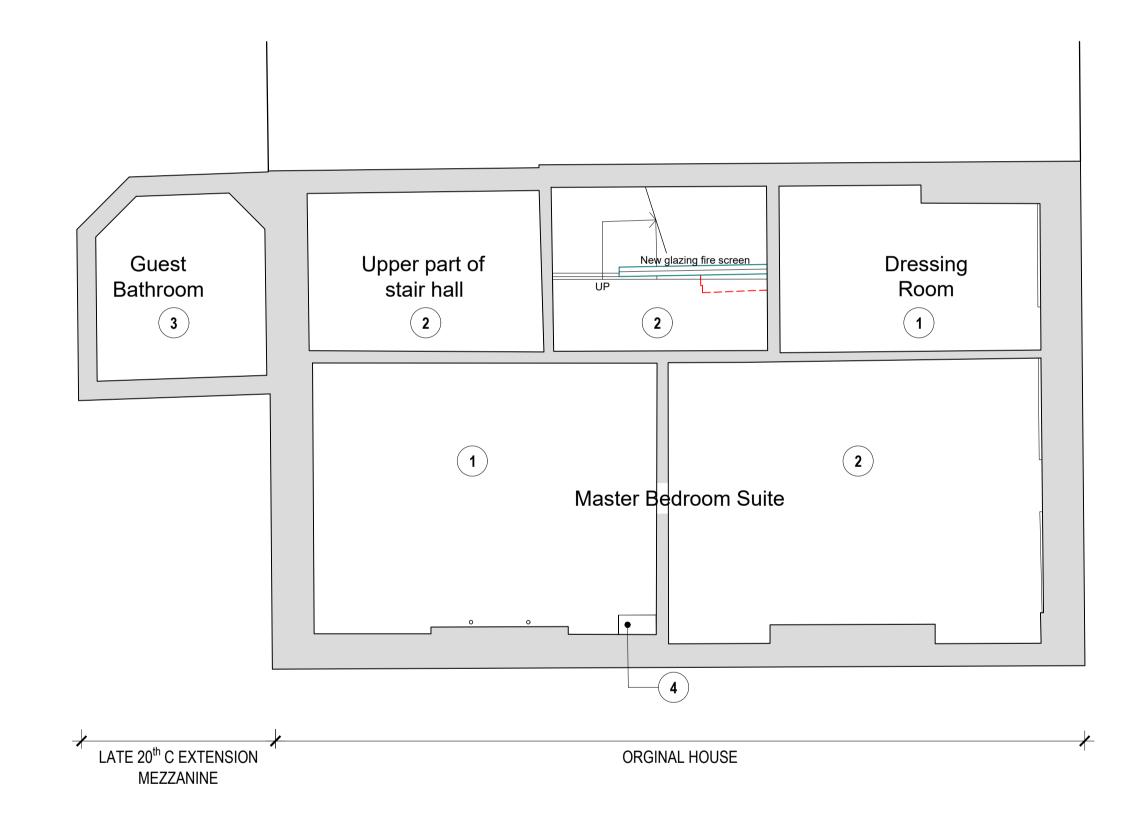
NOTES

- 1. Investigate existing ceilings. Cornices have been lost, restore to match adjacent room
- 2. Ceilings appear to be in original condition,
- 3. New plasterboard and skim ceiling with
- sympathetic plain run cornice
- 4. Proposed casing for new services. The casing would be as slim as possible



Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	5m 1:50@A1	
P01	24/12/20	MY	TM	FIRST ISSUE	TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION.	TREHEARNEARCHITE 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www	ECTS w.trehearne.co	
					3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES	PROJECT	JOB NO.	
					4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE.	11 Doughty Street	L2237	
					5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY.	DOCUMENT NAME	DATE	
					6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND	PROPOSED RCP	08/24	
					SPECIFICATIONS.	SECOND FLOOR	SCALE (@A1)	
					7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE.		1: 50	
					THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	Stage 3		
						S4 Suitable for Stage Approval		
						DOCUMENT REFERENCE	REVISION	
						DST-TA-ZZ- 02 - D -A- 301100	P01	

Floors

Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned to the same locations.

to the same locations.

Where appropriate original floorboards may be sanded and waxed. In other locations separating layers are to be introduced before laying new finishes.

Doors

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings.

New doors are generally to be of traditional panelled construction generally to match the best surviving original doors on each particular floor.

When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and

basement with moulded six paneldoors on the intermediate floors.

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original.

Where noted new sash windows are to match similar examples within the

buildings. Window shutters

Where window shutters exist, they should be opened repaired and left operable.

Where new windows are created in facsimile of existing windows shutter

linings should also be installed in facsimile of original examples.

Skirting boards and wall mouldings Existing skirting boards and wall mouldings should be preserved wherever possible and new skirting boards should be made in fact of the originals.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

KEY New wall

New walls

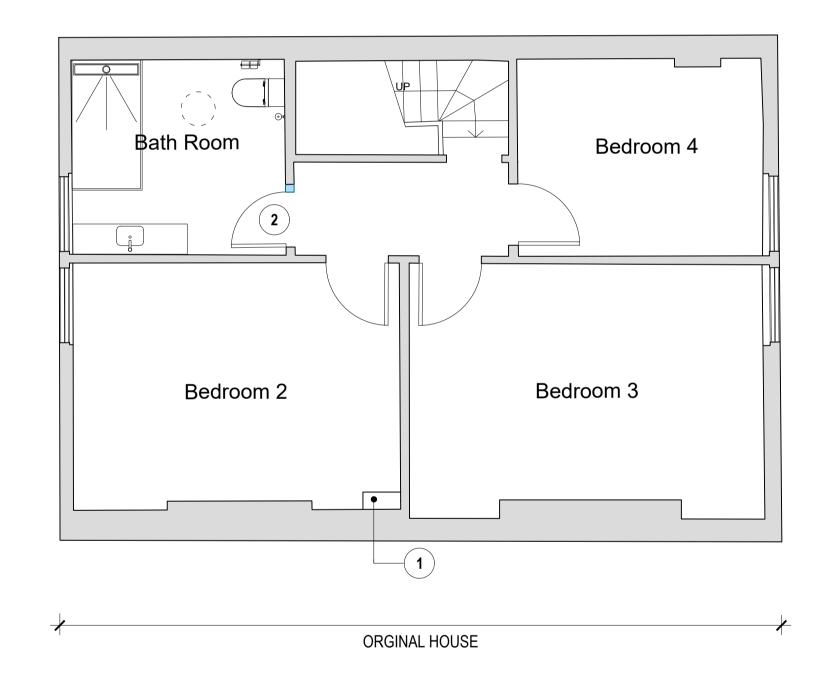
New items

DRAWING SPECIFIC NOTES

- Proposed casing for new services. The casing would be as slim as possible and dressed with mouldings to match those adjacent
- 2. Traditionally detailed single door

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	5m 1:50@A1
P01	24/12/20	MY	ТМ	FIRST ISSUE	TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED.	TREHEARNEARCHITEC	CTS nearne.co.uk
					ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. 7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	11 Doughty Street DOCUMENT NAME PROPOSED GA PLAN THURD SHOOD	2237 ATE 2/24 CALE (@A1) : 50
						SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval DST-TA-ZZ-03- D -A-301001	P01

CEILING GENERAL NOTES Existing plaster and lath ceilings

The plaster ceiling shall be retained and consolidated with screws if necessary to the joists above

Lining papers and excessive as paint layers are to be removed Existing plaster to be re-skimmed where necessary, feathering to the edges to avoid compromising cornice mouldings

Lowered plasterboard ceilings

Remove sections of ceiling to determine the reason for lowering ceilings. If it is possible to return the ceiling to its original height, the lowered ceiling should be removed

Investigate for original cornices and residual mouldings and copy in facsimile in fibrous plaster.

Where ceilings have been lowered possibly to conceal floor strengthening works reinstate the full ceilings and cornice

Basement ceilings generally

Where no mouldings originally existed apply fire line board below the existing ceilings and re-skim to improve the fire integrity of the building

KEY

New walls New items

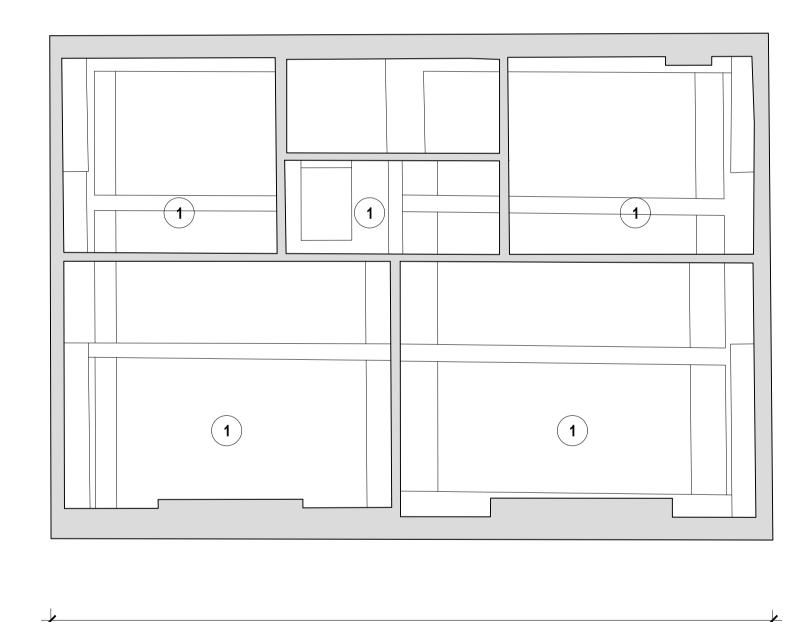
NOTES

- 1. Proposed casing for new services. The casing would be as slim as possible and dressed with mouldings to match those adjacent.
- 2. Traditionally detailed single door
- 3. Traditionally detailed sash window
- 4. Proposed screening 1800mm high for plant subject to separate applications
- 5. Existing 20th C flat roof modelled with new single membrane roof covering, faced with gravel chippings
- 6. Walk on specification flat rooflight

Record of the existing buildings

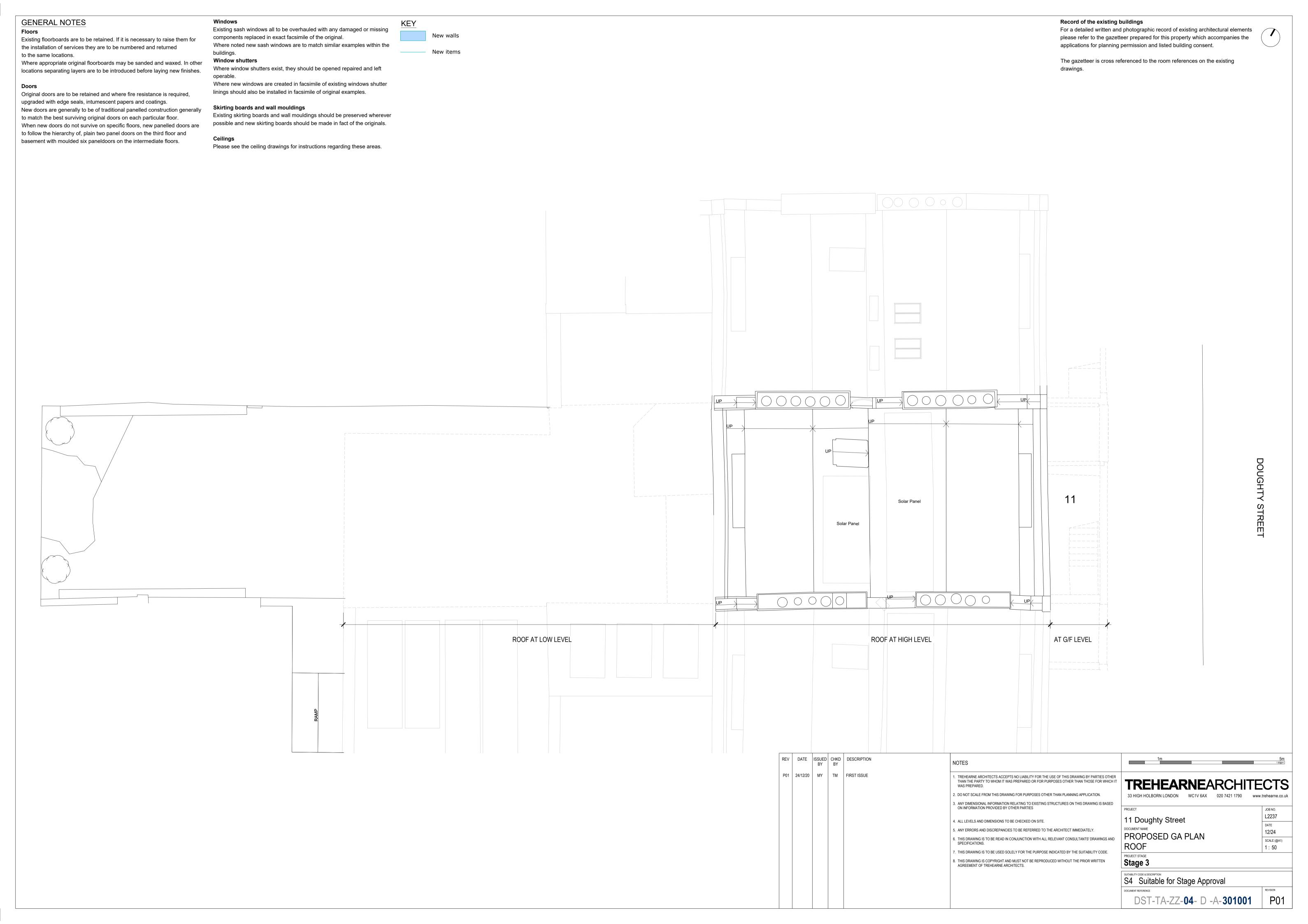
For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.

The gazetteer is cross referenced to the room references on the existing drawings.



ORGINAL HOUSE

REV DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	5 <u>1</u> :50@
P01 24/12/2	O MY	ТМ	FIRST ISSUE	1. TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. 2. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. 3. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. 5. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. 6. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.	TREHEARNEARCHITE 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www PROJECT 11 Doughty Street DOCUMENT NAME PROPOSED RCP THIRD FLOOR	JOB NO. L2237 DATE 12/24 SCALE (@A1) 1:50
				7. THIS DRAWING IS TO BE USED SOLELY FOR THE PURPOSE INDICATED BY THE SUITABILITY CODE. 8. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF TREHEARNE ARCHITECTS.	PROJECT STAGE Stage 3 SUITABILITY CODE & DESCRIPTION S4 Suitable for Stage Approval DST-TA-ZZ-03- D -A-301100	REVISION PO
					D31-1A-ZZ-U3- D -A-301100	<u> </u>



Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned

to the same locations. Where appropriate original floorboards may be sanded and waxed. In other locations separating layers are to be introduced before laying new finishes.

Doors

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings. New doors are generally to be of traditional panelled construction generally to

match the best surviving original doors on each particular floor. When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and basement with moulded six paneldoors on the intermediate floors.

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original. Where noted new sash windows are to match similar examples within the

buildings. Window shutters

Where window shutters exist, they should be opened repaired and left Where new windows are created in facsimile of existing windows shutter

linings should also be installed in facsimile of original examples. Skirting boards and wall mouldings

Existing skirting boards and wall mouldings should be preserved wherever possible and new skirting boards should be made in fact of the originals.

Ceilings

Please see the ceiling drawings for instructions regarding these areas.

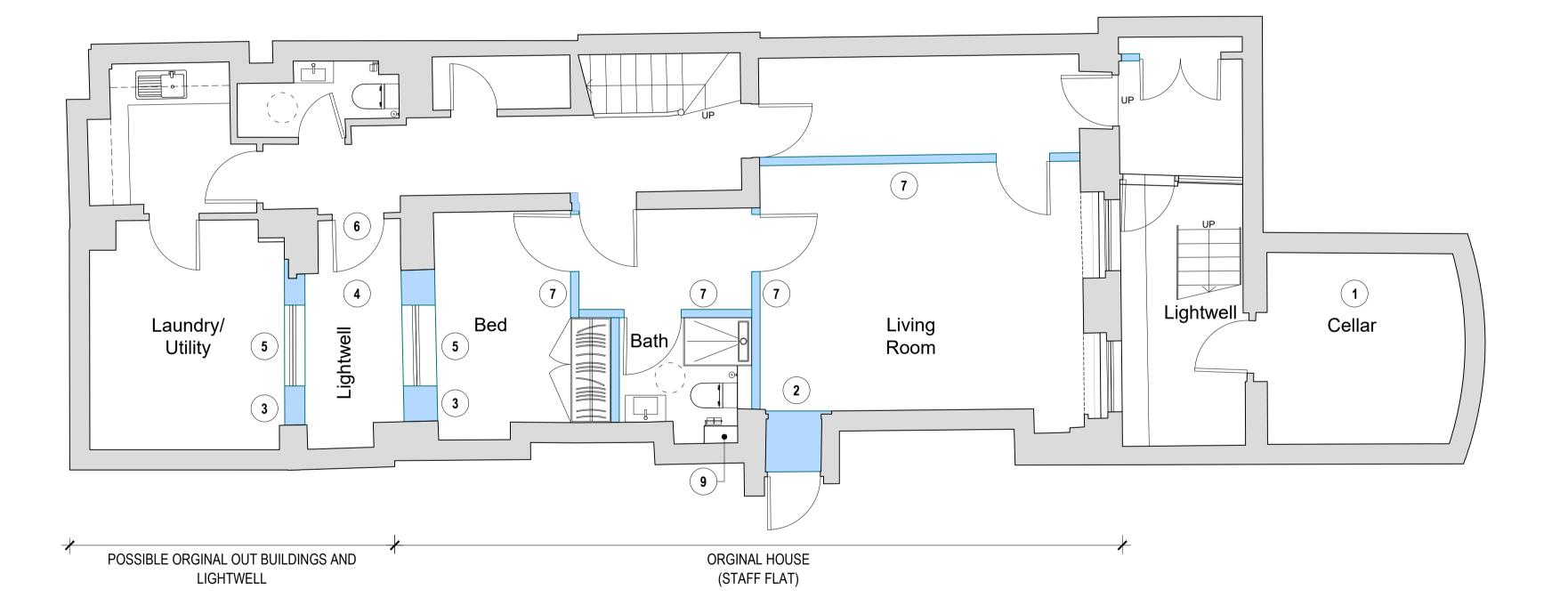
New items

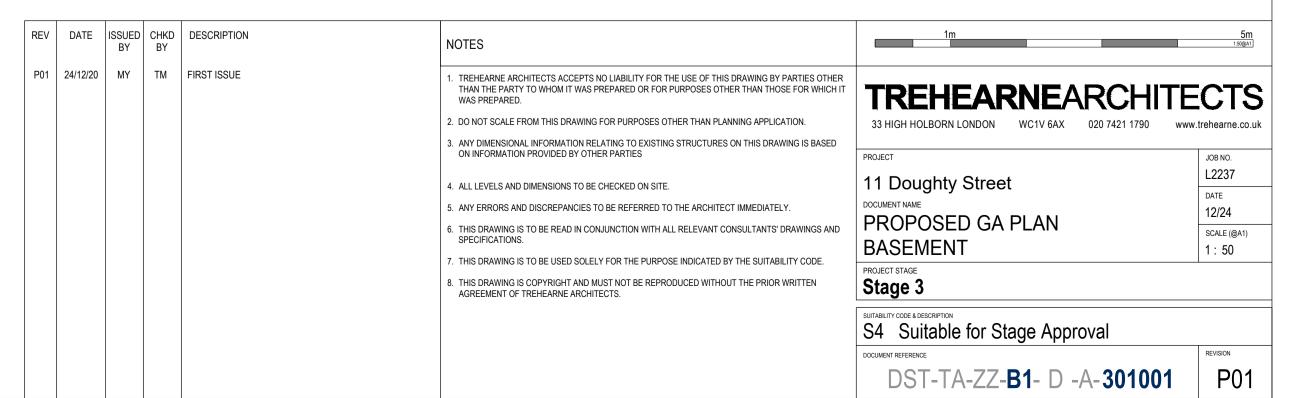
New walls

- DRAWING SPECIFIC NOTES 1. Existing degraded waterproofing replaced with new
 - drained cavity waterproofing.
- 2. Party wall stopped up in solid masonry
- 3. Proposed external insulated blockwork walls 4. Reinsted lightwell faced in painted render with York
- Stone paving 5. Traditionally detailed sash window
- 6. Half glazed traditionally detailed painted timber door
- 7. Proposed lightweight partitions 8. New painted timber doors traditionally detailed
- 9. Services riser

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.





CEILING GENERAL NOTES

Existing plaster and lath ceilings

The plaster ceiling shall be retained and consolidated with screws if necessary to the joists above

Lining papers and excessive as paint layers are to be removed

Existing plaster to be re-skimmed where necessary, feathering to the edges to

avoid compromising cornice mouldings

Lowered plasterboard ceilings
Remove sections of ceiling to determine the reason for lowering ceilings. If it is possible to return the ceiling to its original height, the lowered ceiling should be removed

Investigate for original cornices and residual mouldings and copy in facsimile in fibrous plaster.

Where ceilings have been lowered possibly to conceal floor strengthening works reinstate the full ceilings and cornice

Basement ceilings generally

Where no mouldings originally existed apply fire line board below the existing ceilings and re-skim to improve the fire integrity of the building

DRAWING SPECIFIC NOTES

- Fire lining and skim generally to all areas as noted
- noted

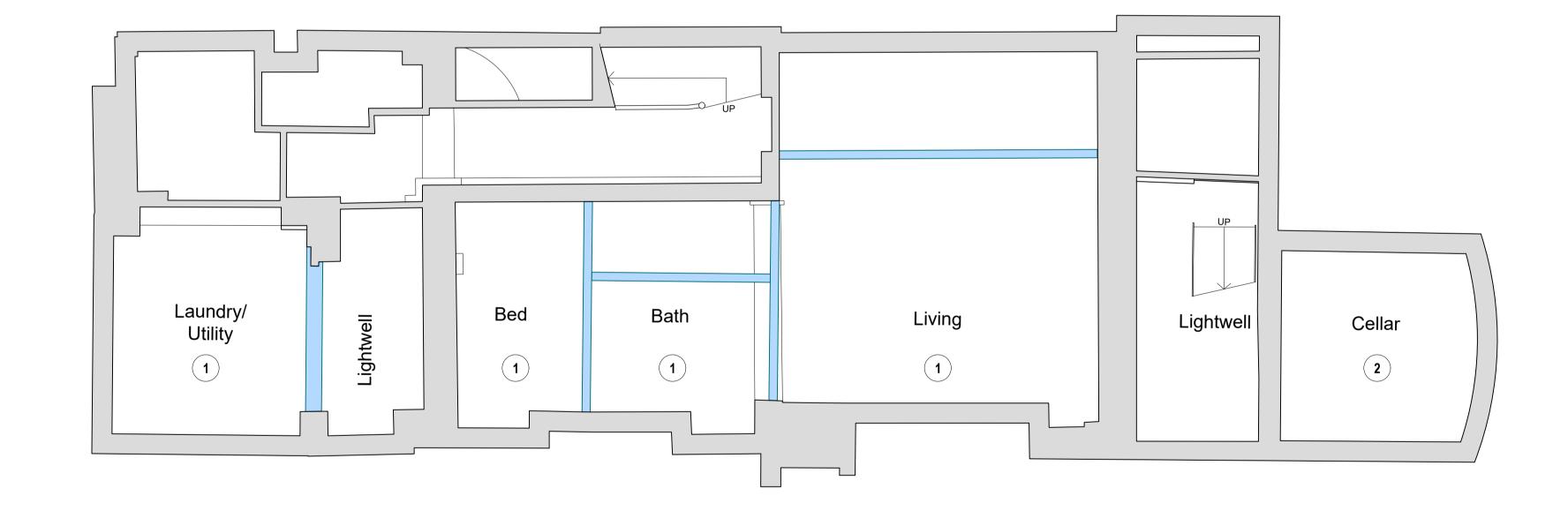
 2. Drained cavity waterproofing system and render

New walls

New items

Record of the existing buildings

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P01	24/12/20	MY	ТМ	FIRST ISSUE	 TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED ON INFORMATION PROVIDED BY OTHER PARTIES ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE. ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. 	TREHEARNEARCHITECTS 33 HIGH HOLBORN LONDON WC1V 6AX 020 7421 1790 www.trehearne.co. PROJECT 11 Doughty Street DOCUMENT NAME PROPOSED RCP BASEMENT DATE 12/24 SCALE (@A1) 1: 50
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Existing floorboards are to be retained. If it is necessary to raise them for the installation of services they are to be numbered and returned

to the same locations. Where appropriate original floorboards may be sanded and waxed. In other

locations separating layers are to be introduced before laying new finishes.

Doors

Original doors are to be retained and where fire resistance is required, upgraded with edge seals, intumescent papers and coatings. New doors are generally to be of traditional panelled construction generally to

match the best surviving original doors on each particular floor. When new doors do not survive on specific floors, new panelled doors are to follow the hierarchy of, plain two panel doors on the third floor and basement with moulded six paneldoors on the intermediate floors.

Basement + 18.38

FRONT ELEVATION

Windows

Existing sash windows all to be overhauled with any damaged or missing components replaced in exact facsimile of the original. Where noted new sash windows are to match similar examples within the

buildings. Window shutters Where window shutters exist, they should be opened repaired and left

Where new windows are created in facsimile of existing windows shutter linings should also be installed in facsimile of original examples.

Skirting boards and wall mouldings

Existing skirting boards and wall mouldings should be preserved wherever

Ceilings

possible and new skirting boards should be made in fact of the originals.



11 DOUGHTY STREET

New walls New items

KEY

DRAWING SPECIFIC NOTES

1. Contemporary 'Crittall' french windows 2. Traditionally detailed sash window

Record of the existing buildings

For a detailed written and photographic record of existing architectural elements please refer to the gazetteer prepared for this property which accompanies the applications for planning permission and listed building consent.



REV	DATE	ISSUED BY	CHKD BY	DESCRIPTION	NOTES	1m	5m 1:50@A1
P01	24/12/20	MY	TM	FIRST ISSUE	TREHEARNE ARCHITECTS ACCEPTS NO LIABILITY FOR THE USE OF THIS DRAWING BY PARTIES OTHER THAN THE PARTY TO WHOM IT WAS PREPARED OR FOR PURPOSES OTHER THAN THOSE FOR WHICH IT WAS PREPARED. DO NOT SCALE FROM THIS DRAWING FOR PURPOSES OTHER THAN PLANNING APPLICATION. ANY DIMENSIONAL INFORMATION RELATING TO EXISTING STRUCTURES ON THIS DRAWING IS BASED.	TREHEARNEARCHITE	CTS ehearne.co.uk
					ON INFORMATION PROVIDED BY OTHER PARTIES 4. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE.	11 Doughty Street	JOB NO. L2237 DATE
					ANY ERRORS AND DISCREPANCIES TO BE REFERRED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS. This drawing is to be used solely for the purpose indicated by the suitability code.	PROPOSED ELEVATION	12/24 SCALE (@A1) 1:50
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