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Via Planning Portal only

Dear Sir/Madam,

NON-MINOR AMENDMENT APPLICATION – SECTION 96A OF THE TOWN & COUNTRY PLANNING ACT 1990.

NON-MATERIAL AMENDMENT TO PLANNING PERMISSION 2024/4095/P (FOR REPLACEMENT FRONT AND REAR DORMERS, REPLACEMENT ROOF TILES, REPLACEMENT WINDOWS (2ND FLOOR LEVEL, FRONT AND REAR), NEW ROOF LIGHT ON SIDE ROOF SLOPE AND WINDOW INSIDE ELEVATION (2ND FLOOR), REPLACEMENT CURVED WINDOWS WITHIN CURVED BAY (ALL LEVELS)) TO CHANGE CONSENTED DORMER CLADDING FROM LEAD TO LEAD AND SLATE TILES TO MATCH THE EXISTING.

27 BELSIZE SQUARE, NW3 4HU.

Please accept this covering letter as an accompaniment to this non-material amendment application in relation to planning permission ref: 2024/4095/P at 27 Belsize Square ('the site') under S96A of the Town and County Planning Act 1990 (as amended).

This letter provides a summary of the site and the proposed non-material amendment.

The Site:

The site comprises an end-of-terrace Victorian townhouse which relates to a group of four terraced properties (No's 27-30) at the southeastern end of Belsize Square within Belsize Conservation Area. The property has been subdivided into four flats and all properties within the terraced group are

identified as buildings which make a positive contribution to the conservation area. The nearest listed building is the Church of St Peter, located approx. 140m northwest of the site.

Belsize Park, Belsize Park Gardens, Buckland Crescent and Belsize Square represent the core area of the Belsize Park development undertaken by developer Daniel Tidey on the site of Belsize House in the mid-19th century. The streets are predominantly residential, characterised by the repeated forms of the stucco villas, whose design gives a strong identity and unity of appearance to the area.

No's 27-30 Belsize Square form one of three rows of terraced villas and a number of later extensions and alterations to the individual properties have resulted in a partial loss of the original unity and symmetry amongst the terraces. This is particularly notable with regards to inappropriately designed and proportioned dormers and the loss of the original curved glass bay window to the rear at No.30 – a distinguishing feature of Tidey's Belsize Park development.

Legislation/Guidance:

Section 96A of the Town and Country Planning Act 1990 (as amended) provides powers to local planning authorities to make changes to planning permissions on land in their area if they are satisfied that the change is non-material.

The NPPG confirms that there is no statutory definition of 'non-material'. This is because it will be dependent on the context of the overall scheme.

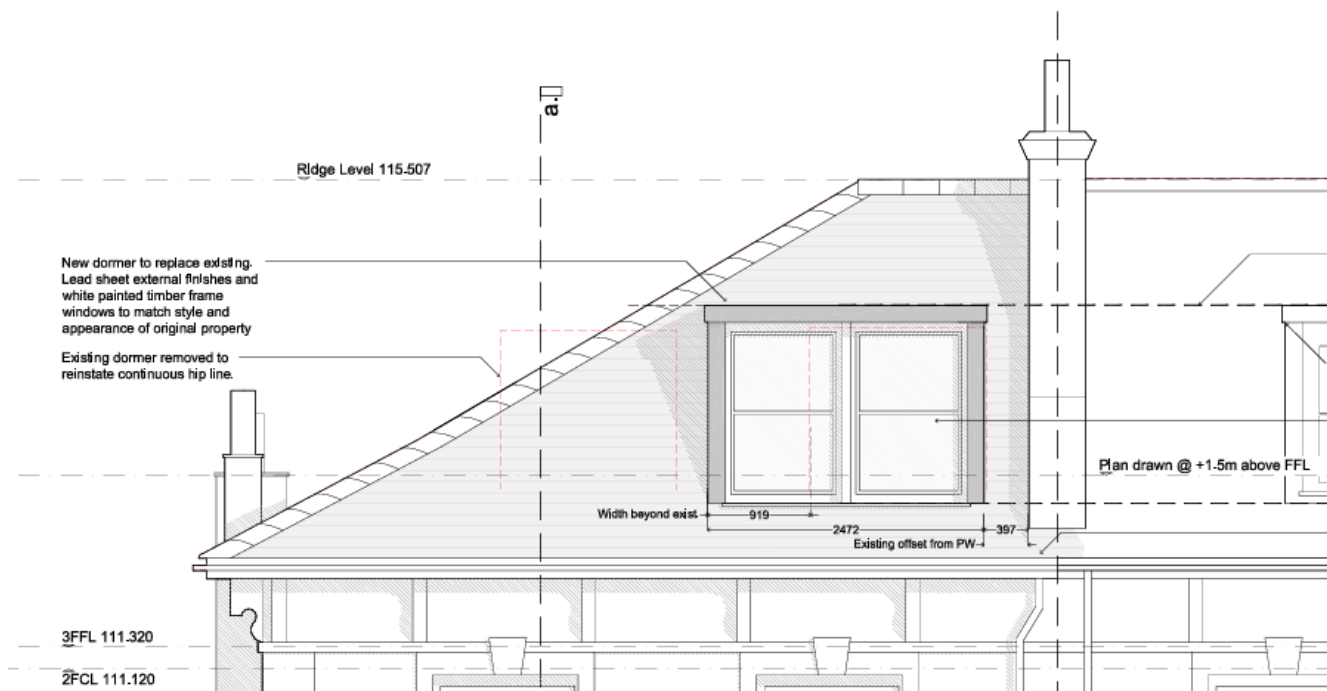
The Proposal:

The proposal seeks a non-material amendment to full planning permission reference 2024/4095/P to change the consented dormer cladding from lead to lead and slate tiles to match the existing.

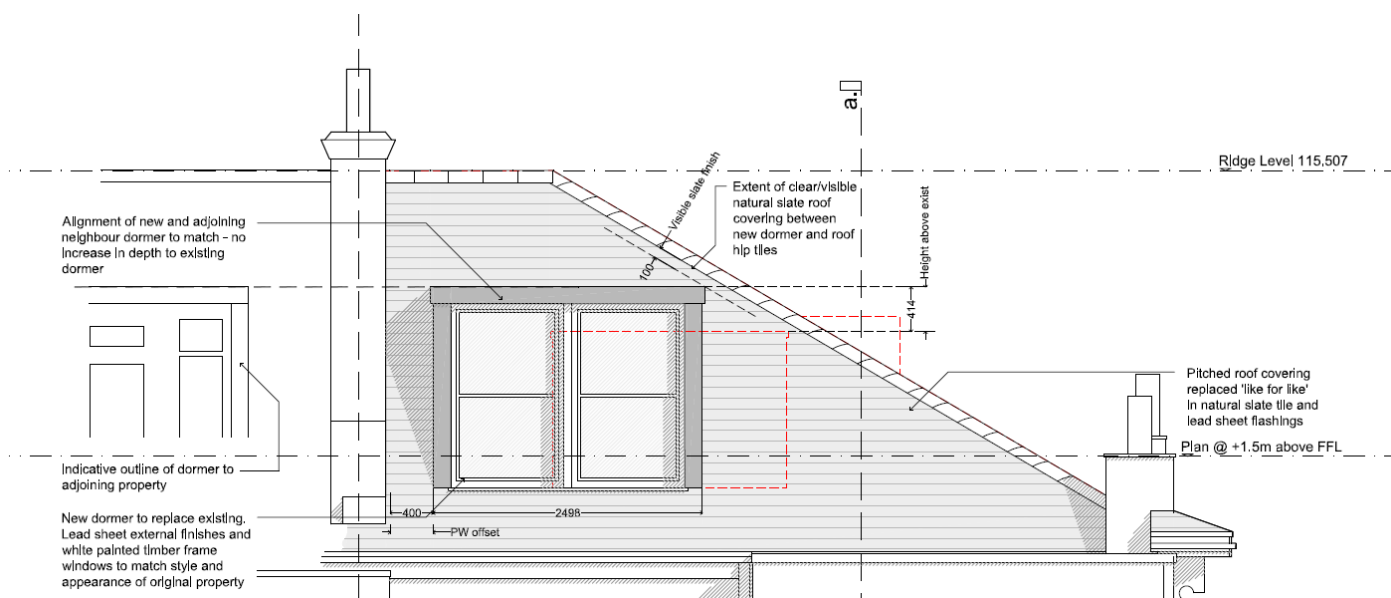
The front face of the dormer will be clad in lead, while the external side walls will be tile-hung as per the existing roof.

Planning Assessment:

The proposal seeks minor external changes comprising of a change of material from lead to lead and slate tiles on the consented dormers. As illustrated below, the approved plans show new dormers that have lead sheet external finishes. The proposed alternation will swap the use of lead on the dormer cheeks for natural slate tiles to match the existing roof and its consented refurbishment under the same permission (ref: 2024/4095/P). The front face of the dormer will remain clad in lead.



Extract of approved front elevation



Extract of approved rear elevation

The consented dormer is finished in a dark grey lead colour cladding and the proposed natural slate to the dormer cheeks would match the existing/refurbished roof tiles. The proposed slate would respect the character and appearance of the host dwelling and the surrounding area. Hence, the proposal would not result in a material visual impact from that of the consented scheme.

The proposed amendment does not involve any change in dormer size or massing and will only alter the visual display of the dormer. The use of slate is in keeping with the architectural style and the overall character and appearance of the area. The majority of dormers in the area include lead to the front face with tile hung cheeks (including the existing property). See images below.





Images of existing dormers at No.27 Belsize Square and dwellings adjacent/opposite

Given the visual similarity between the existing and proposed dormer finish and the existing context, the minor change proposed would not generate material impacts from that of the approved scheme.

For the avoidance of any doubt, the scale, massing and positioning of the consented dormers is retained. The proposed change to the consented cladding material is minor in nature and would not have a material impact upon the character and appearance of the host building or conservation area. The proposed change to the approved dormer cladding is not material and does not alter the nature of the development or the intention of the permission, to an extent that would warrant re-consultation with interested parties.

Summary:

As demonstrated within this letter, the proposed minor change to the consented dormers subject of permission ref: 2024/4095/P is not material. It is therefore respectfully requested that the proposed amendment is approved by the local planning authority pursuant to S96A of the Town and Country Planning Act 1990 (as amended). I trust this letter and the enclosed documents provide you with sufficient information to determine the application but if you require any points of clarification or have any questions, please do not hesitate to contact me.

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