









[illegible]

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Drawing Legend		
Existing key		
	Existing	9 Northington St. property of Not part of application
	Existing flat roof	
	Existing slate roof	
	Existing joint direction	
		
	Existing brickwork	
	Existing tile floor	
	Existing carpet	
Demolition key		
	Demolition	Demolition
	Demolition	

- | Mortgage General Notes: |   |
|-------------------------|---|
|                         | Remove all non original floor finishes in preparation for new   |
| 2.                      | Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office |
| 3.                      | Remove emergency lighting associated with the use of the building as an office  |
| 4.                      | Remove modern light fittings associated with the use of the building as an office                                     |
| 5.                      | Remove non original internal partitions, fixtures and fittings as shown   |
| 6.                      | Remove modern radiators in preparation for new cast iron radiators  |

- | Modification Notes: |   |
|---------------------|---|
| 11                  | Remove non original French doors and modify opening in preparation for new                    |
| 12                  | Remove non original window and modify opening in preparation for new french doors             |
| 13                  | Remove section of non original floor, to re institute opening in original staircase location  |
| 14                  | Demolish area of non original floor and staircase in preparation for new adjusted floor level |

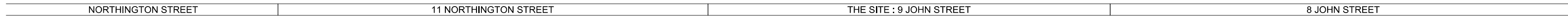
# PLANNING

Demolition East Elevation

Drawing No.	A_1501	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---,----

**STUDIO THREE**  
17 Charlotte Street, London, W1T 4QA <https://www.studiothreearchitects.com>

Project No.	23093 9 John St.	Address	9 John Street London WC1N 2ES		
Client	GFZ Ltd.				
Scale	1:50 @ A1 / 1:100 @ A3				
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
DRAWING INFORMATION

Rev.	Purpose	Date:
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025


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Drawing Legend


Existing key




Existing




Existing flat roof




Existing slate roof




Existing joint direction




9 Northington St. property  
Not part of application



Existing brickwork




Existing tile floor




Existing carpet


Demolition key



Demolition



Demolition



Demolition

Demolition General Notes:

1. Remove all non original floor finishes in preparation for new

2. Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office

3. Remove emergency lighting associated with the use of the building as an office

4. Remove modern light fittings associated with the use of the building as an office

5. Remove non original internal partitions, fixtures and fittings as shown

6. Remove modern radiators in preparation for new cast iron radiators

Demolition Notes:

01

Remove non original French doors and modify opening in preparation for new

02

Remove non original window and modify opening in preparation for new french doors

03

Remove section of non original floor, to re instate opening in original staircase location

04

Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition First Floor Plan

Drawing No.

A\_1401

Rev.

A

Drawn

LP

Approved

AA

First revision

13.11.2024

Updated

07.04.2025

ARYA DOUGE

31 Percy Street, London, W1T 2DD

www.aryadouge.com

Project No.

23093  
9 John St.

Address


9 John Street  
London  
WC1N 2ES

Client

GFZ Ltd.

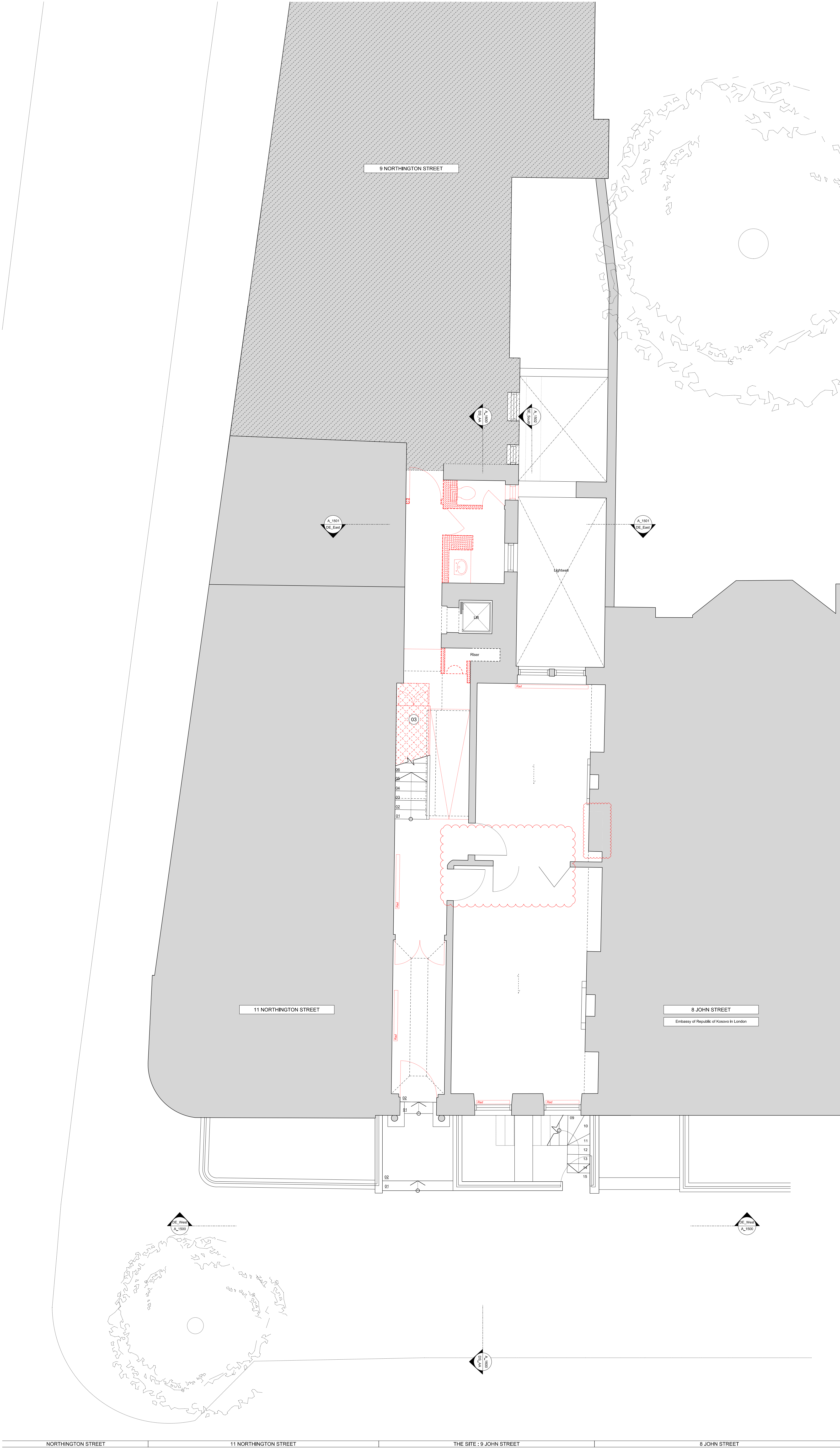
Scale

1:50 @ A1 / 1:100 @ A3



0m | 1m | 2m | 4m | 5m





DRAWING INFORMATION

Rev.	Purpose	Date:
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025

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Drawing Legend

Existing key

	Existing		9 Northington St. property Not part of application
	Existing flat roof		Existing brickwork
	Existing slate roof		Existing tile floor
	Existing joist direction		Existing carpet

Demolition key

	Demolition		Demolition
	Demolition		

Demolition General Notes:

- Remove all non original floor finishes in preparation for new
- Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
- Remove emergency lighting associated with the use of the building as an office
- Remove modern light fittings associated with the use of the building as an office
- Remove non original internal partitions, fixtures and fittings as shown
- Remove modern radiators in preparation for new cast iron radiators

Demolition Notes:

- 01 Remove non original French doors and modify opening in preparation for new
- 02 Remove non original window and modify opening in preparation for new french doors
- 03 Remove section of non original floor, to re instate opening in original staircase location
- 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition Ground Floor Plan

Drawing No.	A_1400	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

ARYA DOUGE

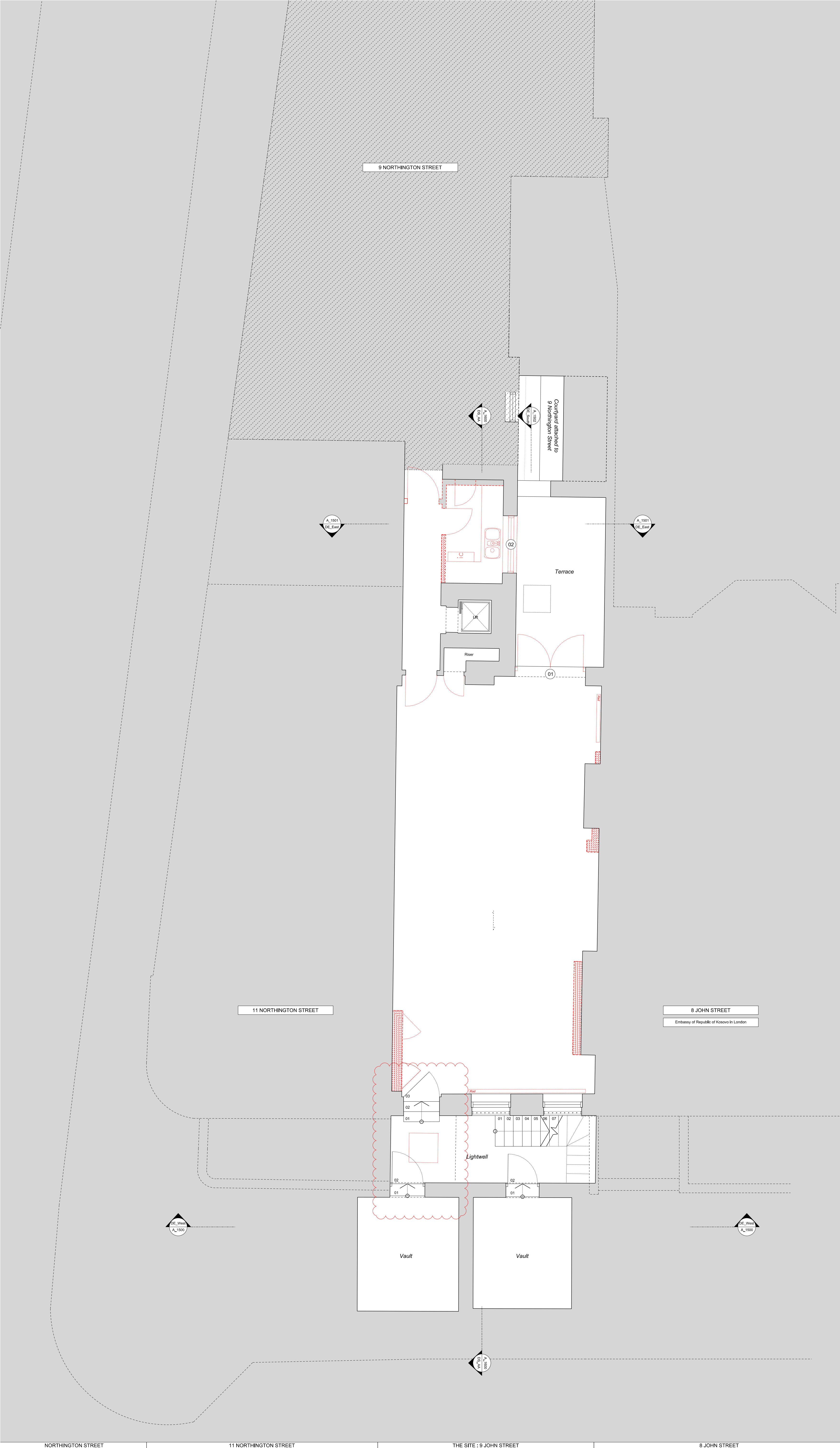
31 Percy Street, London, W1T 2DD

www.aryadodge.com

Project No.	23093 9 John St.	Address	9 John Street London WC1N 2ES
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Client	GFZ Ltd.	N
Scale	1:50 @ A1 / 1:100 @ A3	

0m	1m	2m	4m	5m
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DRAWING INFORMATION

Rev.	Purpose	Date:
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025

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Drawing Legend

Existing key

	Existing		9 Northington St. property Not part of application
	Existing flat roof		Existing brickwork
	Existing slate roof		Existing tile floor
	Existing joist direction		Existing carpet

Demolition key

	Demolition		Demolition
	Demolition		

Demolition General Notes:

- Remove all non original floor finishes in preparation for new
- Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
- Remove emergency lighting associated with the use of the building as an office
- Remove modern light fittings associated with the use of the building as an office
- Remove non original internal partitions, fixtures and fittings as shown
- Remove modern radiators in preparation for new cast iron radiators

Demolition Notes:

- 01 Remove non original French doors and modify opening in preparation for new
- 02 Remove non original window and modify opening in preparation for new french doors
- 03 Remove section of non original floor, to re instate opening in original staircase location
- 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition Lower Ground Floor Plan

Drawing No.	A_1399	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

ARYA DOUGE

31 Percy Street, London, W1T 2DD

www.aryadodge.com

Project No.	23093 9 John St.	Address	9 John Street London WC1N 2ES
Client	GFZ Ltd.		
Scale	1:50 @ A1 / 1:100 @ A3		
0m   1m   2m   4m   5m			





DRAWING INFORMATION

Rev.	Purpose	Date:
-	Issued for Planning	13.11.2024

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Drawing Legend

Existing key

Existing	9 Northington St. property Not part of application
Existing flat roof	Existing brickwork
Existing slate roof	Existing tile floor
Existing joist direction	Existing carpet

Demolition key

Demolition	Demolition
Demolition	

Demolition General Notes:

- Remove all non original floor finishes in preparation for new
- Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
- Remove emergency lighting associated with the use of the building as an office
- Remove modern light fittings associated with the use of the building as an office
- Remove non original internal partitions, fixtures and fittings as shown
- Remove modern radiators in preparation for new cast iron radiators

Demolition Notes:

- 01 Remove non original French doors and modify opening in preparation for new
- 02 Remove non original window and modify opening in preparation for new french doors
- 03 Remove section of non original floor, to re instate opening in original staircase location
- 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition Roof Plan

Drawing No.	A_1404	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---

STUDIO THREE




97 Charlotte Street, London, W1T 4QA      <https://www.studiothreearchitects.com>

Project No.	23093	Address	9 John Street London WC1N 2ES
Client	GFZ Ltd.		
Scale	1:50 @ A1 / 1:100 @ A3		

0m	1m	2m	4m	5m
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Demolition key	
	Demolition
	Demolition
	Demolition


- | Demolition General Notes: |   |
|---------------------------|---|
| 1.                        | Remove all non original floor finishes in preparation for new   |
| 2.                        | Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office |
| 3.                        | Remove emergency lighting associated with the use of the building as an office  |
| 4.                        | Remove modern light fittings associated with the use of the building as an office                                     |
| 5.                        | Remove non original internal partitions, fixtures and fittings as shown   |
| 6.                        | Remove modern radiators in preparation for new cast iron radiators  |

- | Demolition Notes: |   |
|-------------------|---|
| 01                | Remove non original French doors and modify opening in preparation for new                    |
| 02                | Remove non original window and modify opening in preparation for new french doors             |
| 03                | Remove section of non original floor, to re-instate opening in original staircase location    |
| 04                | Demolish area of non original floor and staircase in preparation for new adjusted floor level |

Drawing title

Demolition Second Floor Plan

**ARYA DOUGE**  
31 Percy Street, London, W1T 2DD [www.aryadouge.com](http://www.aryadouge.com)

Client	GFZ Ltd.	
Scale	1:50 @ A1 / 1:100 @ A3	

A horizontal axis with tick marks at 0m, 1m, 2m, 4m, and 5m.





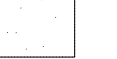










DRAWING INFORMATION

Rev.	Purpose	Date
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025

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Drawing Legend

Existing key	
	Existing
	9 Northington St. property Not part of application
	Existing flat roof
	Existing brickwork
	Existing slate roof
	Existing tile floor
	Existing joist direction
	Existing carpet

Demolition key	
	Demolition
	Demolition
	Demolition

Demolition General Notes:

- Remove all non original floor finishes in preparation for new
- Remove areas of non original, dropped ceiling and raised access floors associated with the building's use as an office
- Remove emergency lighting associated with the use of the building as an office
- Remove modern light fittings associated with the use of the building as an office
- Remove non original internal partitions, fixtures and fittings as shown
- Remove modern radiators in preparation for new cast iron radiators

Demolition Notes:

- Remove non original French doors and modify opening in preparation for new
- Remove non original window and modify opening in preparation for new french doors
- Remove section of non original floor, to re instate opening in original staircase location
- Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title  
Demolition Section AA

Drawing No.	A_1600	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

ARYA DOUGE

31 Percy Street, London, W1T 2DD

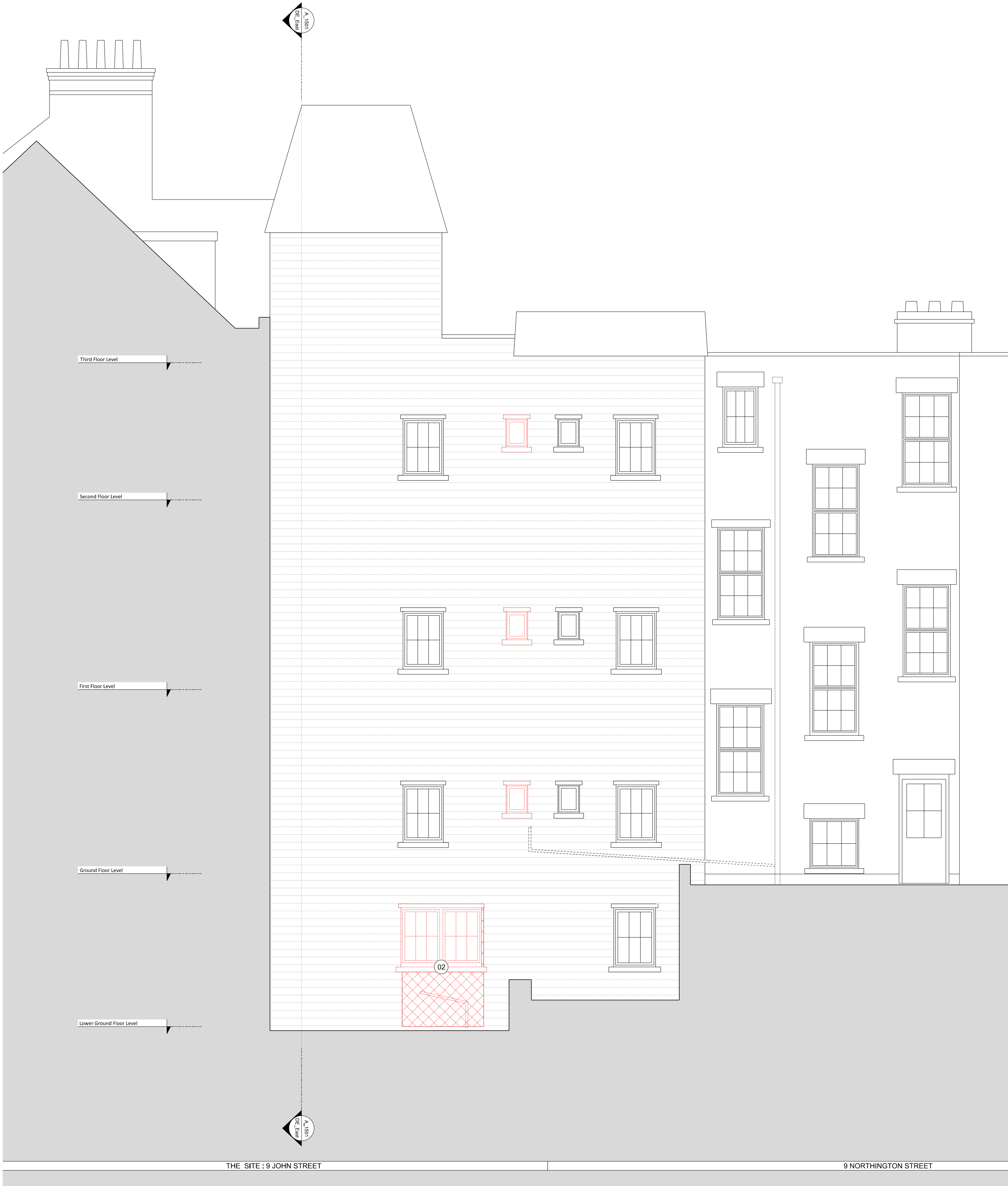
www.aryadouge.com

Project No.	23093 9 John St.	Address	9 John Street London WC1N 2ES
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Client	GFZ Ltd.
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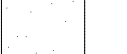



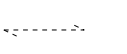




Scale	1:50 @ A1 / 1:100 @ A3
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0m | 1m | 2m | 4m | 5m



DRAWING INFORMATION		
Rev.	Purpose	Date
-	Issued for Planning	13.11.2024

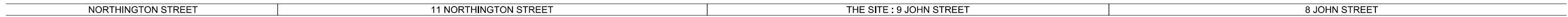
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Drawing Legend	
Existing key	
	Existing
	9 Northington St. property Not part of application
	Existing flat roof
	Existing brickwork
	Existing slate roof
	Existing tile floor
	Existing joist direction
	Existing carpet
Demolition key	
	Demolition
	Demolition
	Demolition

- Demolition General Notes:
- Remove all non original floor finishes in preparation for new
  - Remove areas of non original, dropped ceiling and raised access floors associated with the building's use as an office
  - Remove emergency lighting associated with the use of the building as an office
  - Remove modern light fittings associated with the use of the building as an office
  - Remove non original internal partitions, fixtures and fittings as shown
  - Remove modern radiators in preparation for new cast iron radiators
- Demolition Notes:
- 01 Remove non original French doors and modify opening in preparation for new
  - 02 Remove non original window and modify opening in preparation for new french doors
  - 03 Remove section of non original floor, to re instate opening in original staircase location
  - 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase	
PLANNING	
Drawing title	
Demolition South Elevation	
Drawing No.	A_1502
Rev.	-
Drawn	LP
Approved	AA
First revision	13.11.2024
Updated	---
STUDIO THREE	
97 Charlotte Street, London, W1T 4QA	
https://www.studiothreearchitects.com	
Project No.	23093
Address	9 John Street London WC1N 2ES
Client	GFZ Ltd.
Scale	1:50 @ A1 / 1:100 @ A3
0m   1m   2m   4m   5m	





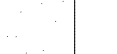
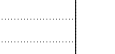


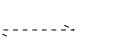
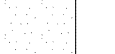





A horizontal number line with tick marks at 0m, 1m, 2m, 4m, and 5m.



Drawing Information		
Rev.	Purpose	Date
-	Issued for Planning	13.11.2024

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Drawing Legend	
Existing key	
	Existing
	9 Northington St. property Not part of application
	Existing flat roof
	Existing brickwork
	Existing slate roof
	Existing tile floor
	Existing joist direction
	Existing carpet

Demolition key	
	Demolition
	Demolition
	Demolition

- Demolition General Notes:
- Remove all non original floor finishes in preparation for new
  - Remove areas of non original, dropped ceiling and raised access floors associated with the building's use as an office
  - Remove emergency lighting associated with the use of the building as an office
  - Remove modern light fittings associated with the use of the building as an office
  - Remove non original internal partitions, fixtures and fittings as shown
  - Remove modern radiators in preparation for new cast iron radiators

- Demolition Notes:
- 01 Remove non original French doors and modify opening in preparation for new
  - 02 Remove non original window and modify opening in preparation for new french doors
  - 03 Remove section of non original floor, to re instate opening in original staircase location
  - 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

PLANNING			
Drawing title: Demolition West Elevation			
Drawing No.	A_1500	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---,---,---
<div>STUDIO THREE</div> <div>97 Charlotte Street, London, W1T 4QA</div> <div><a href="https://www.studiothreearchitects.com">https://www.studiothreearchitects.com</a></div>			
Project No.	23093 9 John St.	Address	9 John Street London WC1N 2ES
Client	GFZ Ltd.		
Scale	1:50 @ A1 / 1:100 @ A3		
1m		2m	
		4m	
		5m	