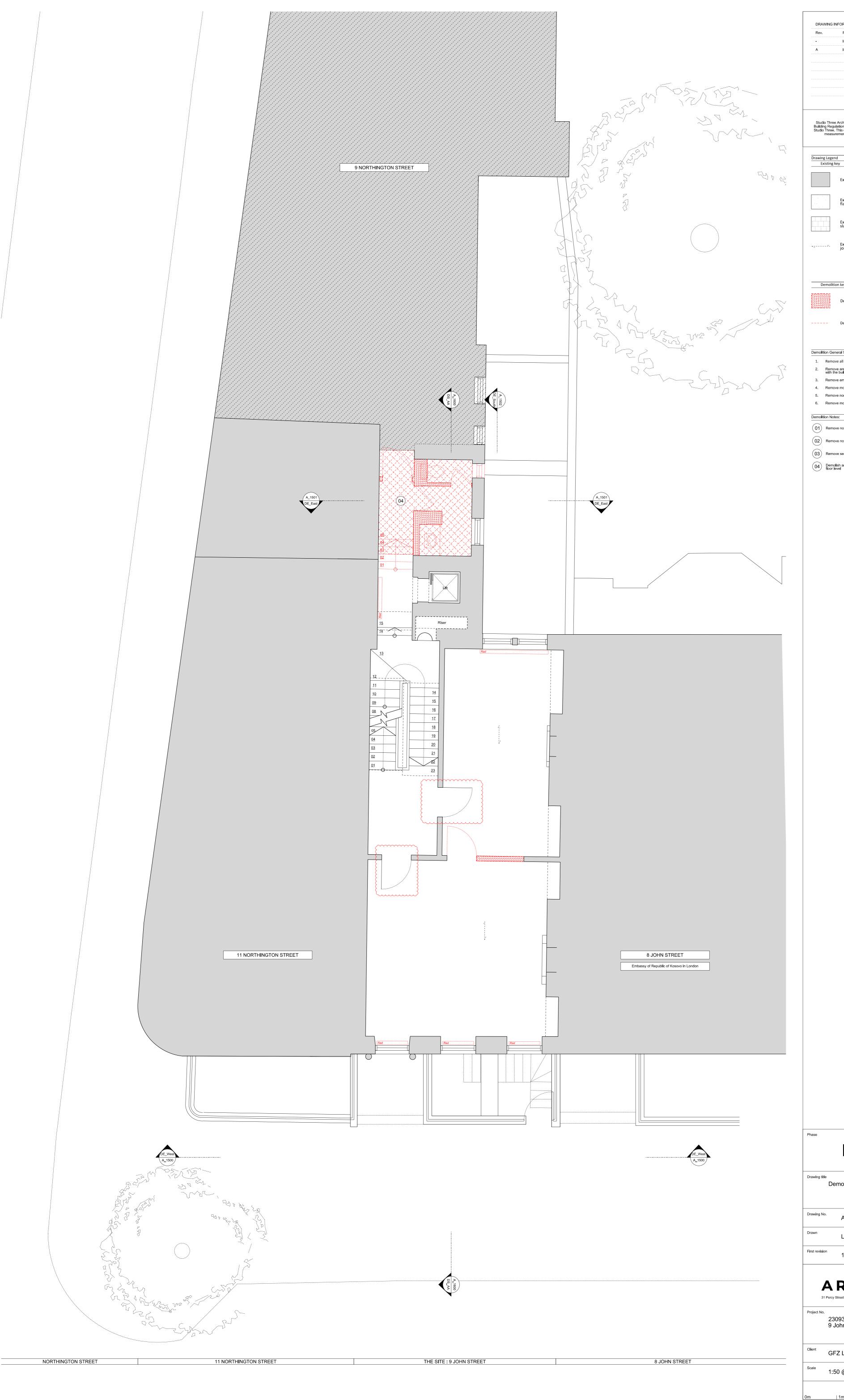


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Rev.	Purpose	Date:
Issued for Planning	13.11.2024	
4	Issued for Planning	07.04.2025

9 Northington St. property Not part of application

	Existing flat roof		Existing brickwork
	Existing slate roof		Existing tile floor
45	Existing joist direction		Existing carpet
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- 1. Remove all non original floor finishes in preparation for new Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
- 3. Remove emergency lighting associated with the use of the building as an office
- 4. Remove modern light flttings associated with the use of the building as an office 5. Remove non original internal partitions, fixtures and fittings as shown
- 6. Remove modern radiators in preparation for new cast iron radiators
- 01) Remove non original French doors and modify opening in preparation for new
- Remove non original window and modify opening in preparation for new french doors
- Remove section of non original floor, to re instate opening in original staircase location
- O4 Demolish area of non original floor and staircase in preparation for new adjusted floor level

PLANNING

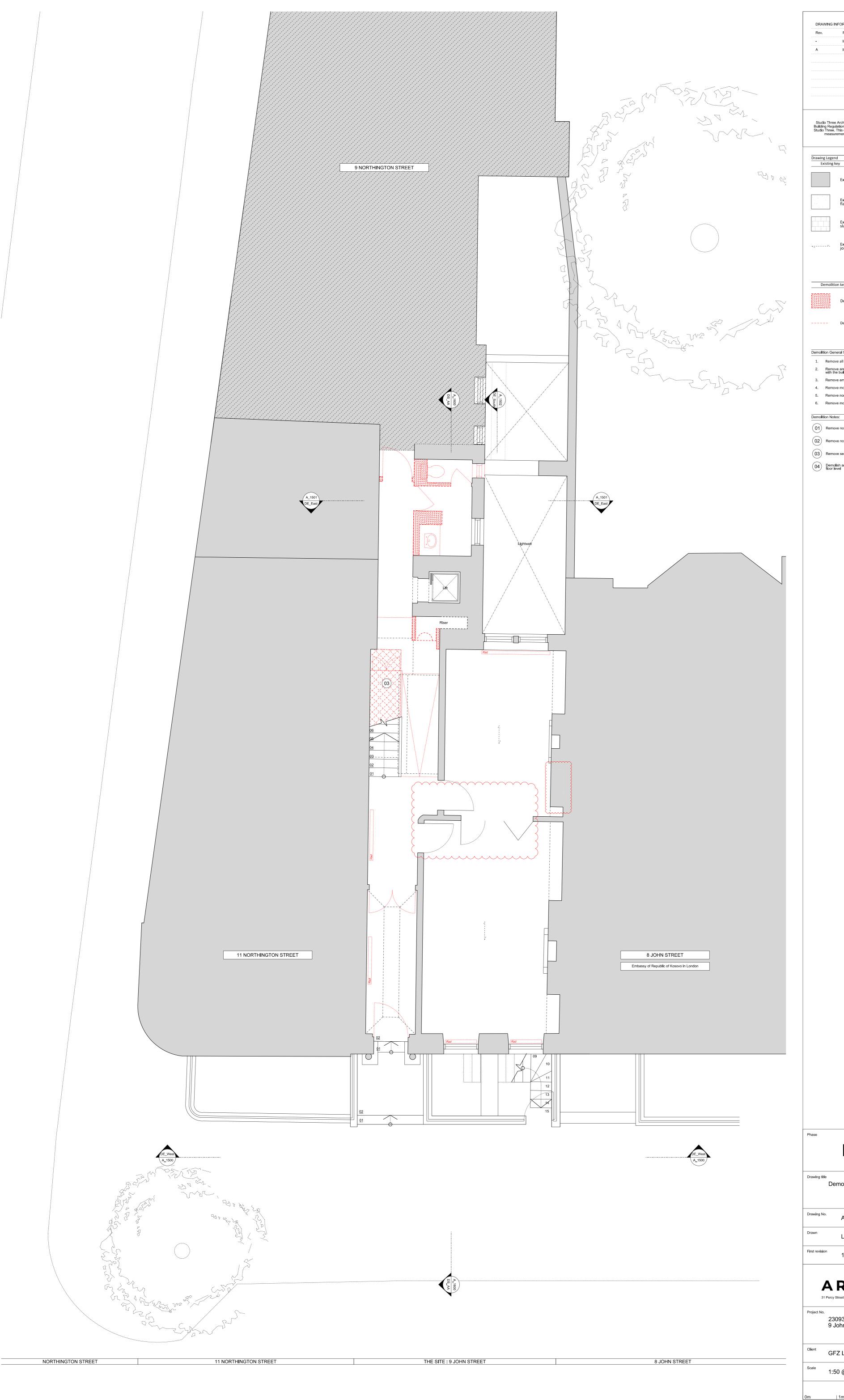
Demolition First Floor Plan

Drawing No.	A_1401	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

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9 John Street London WC1N 2ES 23093 9 John St.

GFZ Ltd. 1:50 @ A1 / 1:100 @ A3



Rev.	Purpose	Date:	
=	Issued for Planning	13.11.2024	
A	Issued for Planning	07.04.2025	

9 Northington St. property Not part of application

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- 1. Remove all non original floor finishes in preparation for new Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
- 3. Remove emergency lighting associated with the use of the building as an office
- 4. Remove modern light flttings associated with the use of the building as an office 5. Remove non original internal partitions, fixtures and fittings as shown
- 6. Remove modern radiators in preparation for new cast iron radiators

- 01) Remove non original French doors and modify opening in preparation for new
- Remove non original window and modify opening in preparation for new french doors
- Remove section of non original floor, to re instate opening in original staircase location
- O4 Demolish area of non original floor and staircase in preparation for new adjusted floor level

PLANNING

Demolition Ground Floor Plan

Drawing No.	A_1400	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

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9 John Street London WC1N 2ES 23093 9 John St.

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Rev.	Purpose	Date:	
Issued for Planning		13.11.2024	
A	Issued for Planning	07.04.2025	

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,,	Existing joist direction	Existing carpet
	Existing slate roof	Existing tile floor
	Existing flat roof	Existing brickwork
	Existing	9 Northington St. property Not part of application

1. Remove all non original floor finishes in preparation for new

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- 3. Remove emergency lighting associated with the use of the building as an office
- 4. Remove modern light flttings associated with the use of the building as an office
- 5. Remove non original internal partitions, fixtures and fittings as shown 6. Remove modern radiators in preparation for new cast iron radiators
- 01) Remove non original French doors and modify opening in preparation for new
- Remove non original window and modify opening in preparation for new french doors
- Remove section of non original floor, to re instate opening in original staircase location
- 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

PLANNING

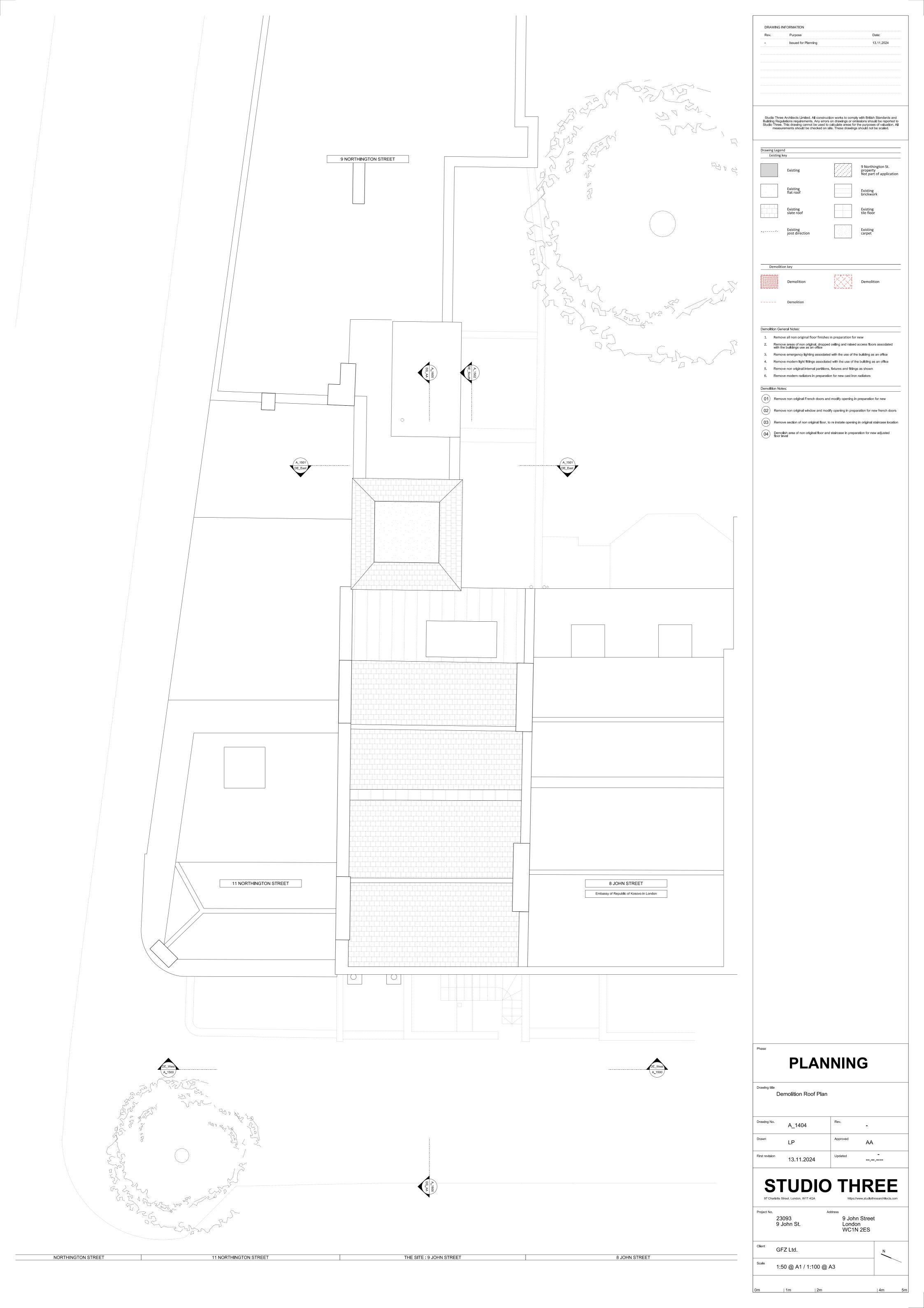
Demolition Lower Ground Floor Plan

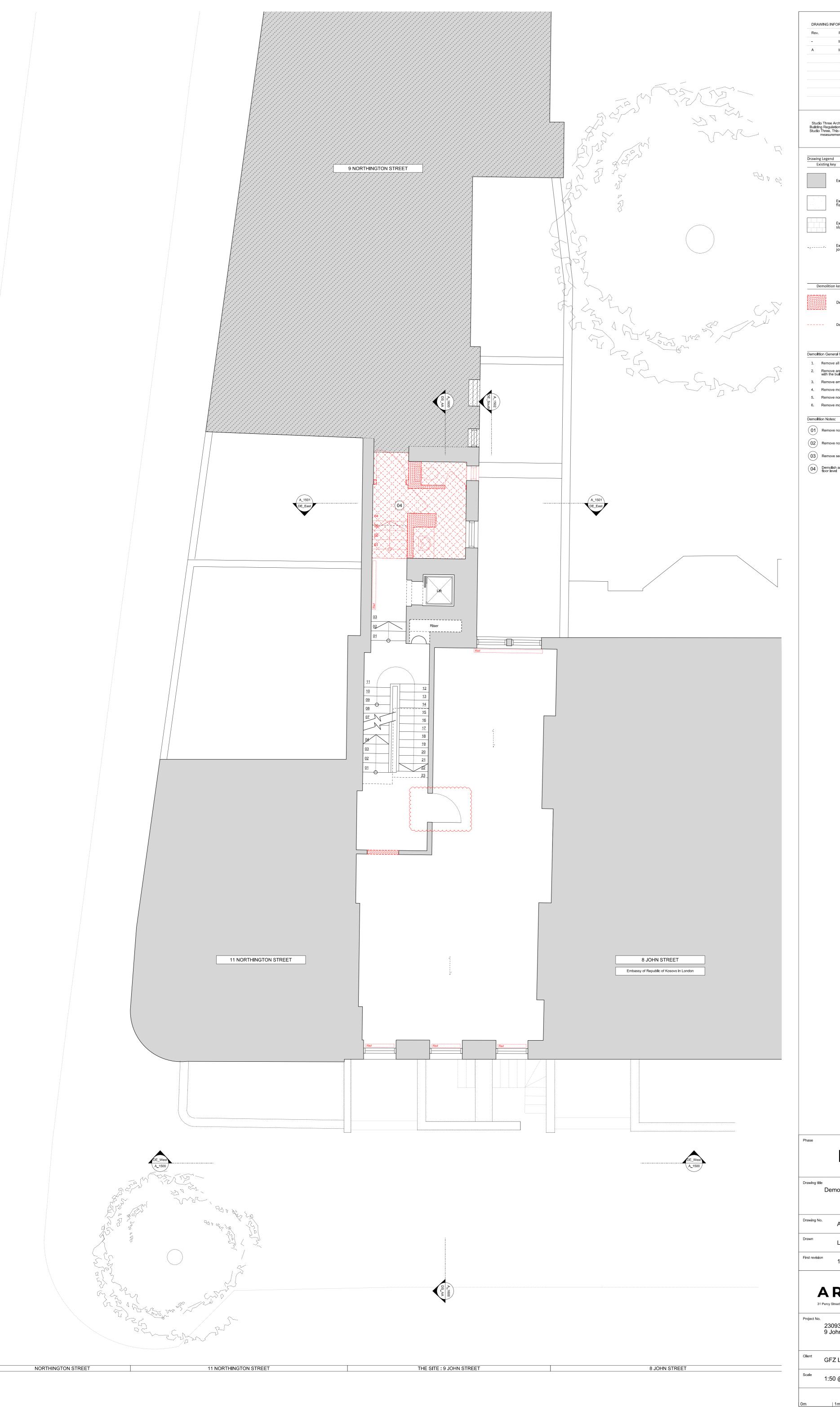
Drawing No.	A_1399	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

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-	Issued for Planning	13.11.2024
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9 Northington St. property Not part of application

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- 4. Remove modern light flttings associated with the use of the building as an office
- 5. Remove non original internal partitions, fixtures and fittings as shown 6. Remove modern radiators in preparation for new cast iron radiators

01) Remove non original French doors and modify opening in preparation for new

- Remove non original window and modify opening in preparation for new french doors
- Remove section of non original floor, to re instate opening in original staircase location
- O4 Demolish area of non original floor and staircase in preparation for new adjusted floor level

PLANNING

Demolition Second Floor Plan

Drawing No.	A_1402	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

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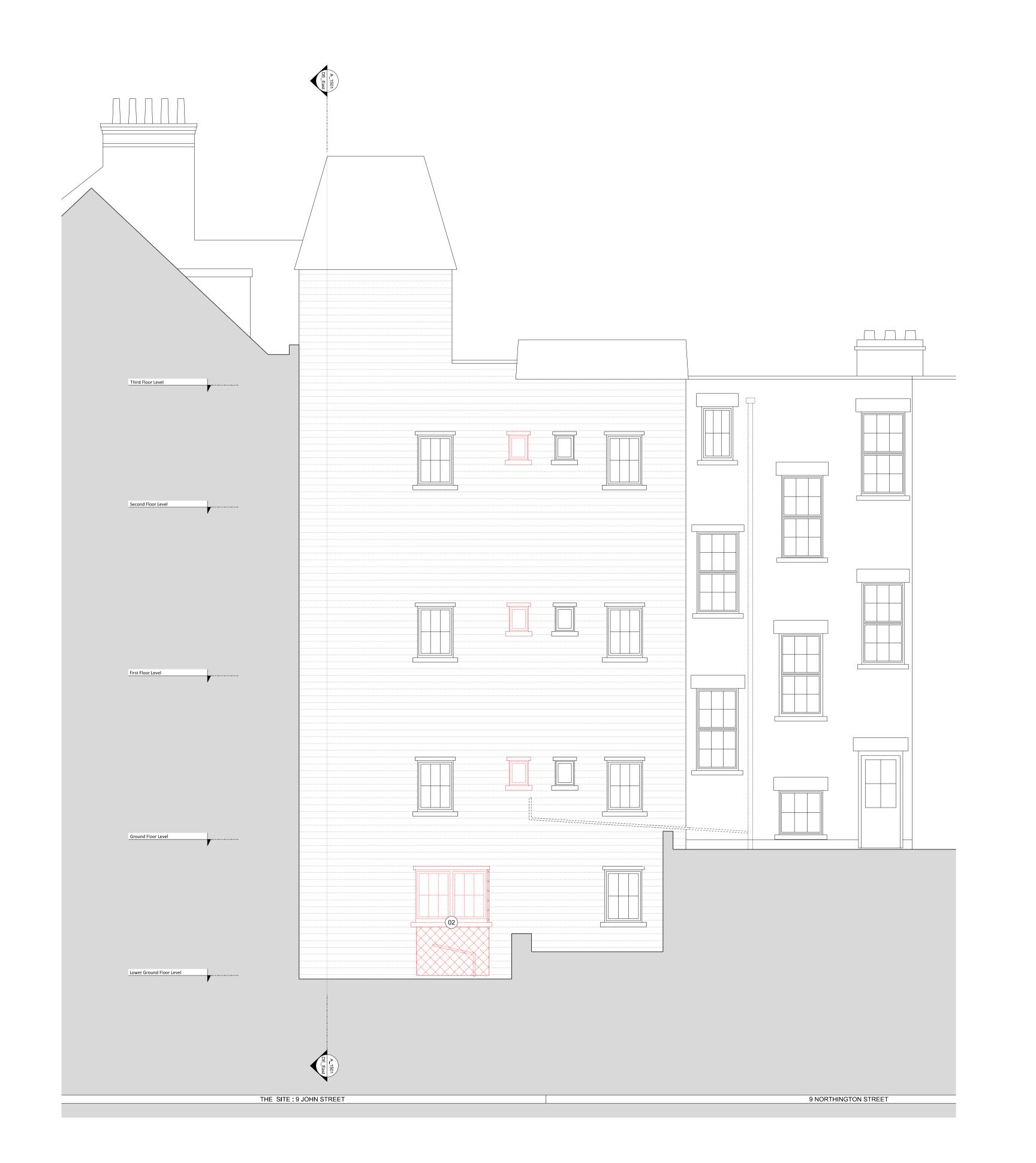
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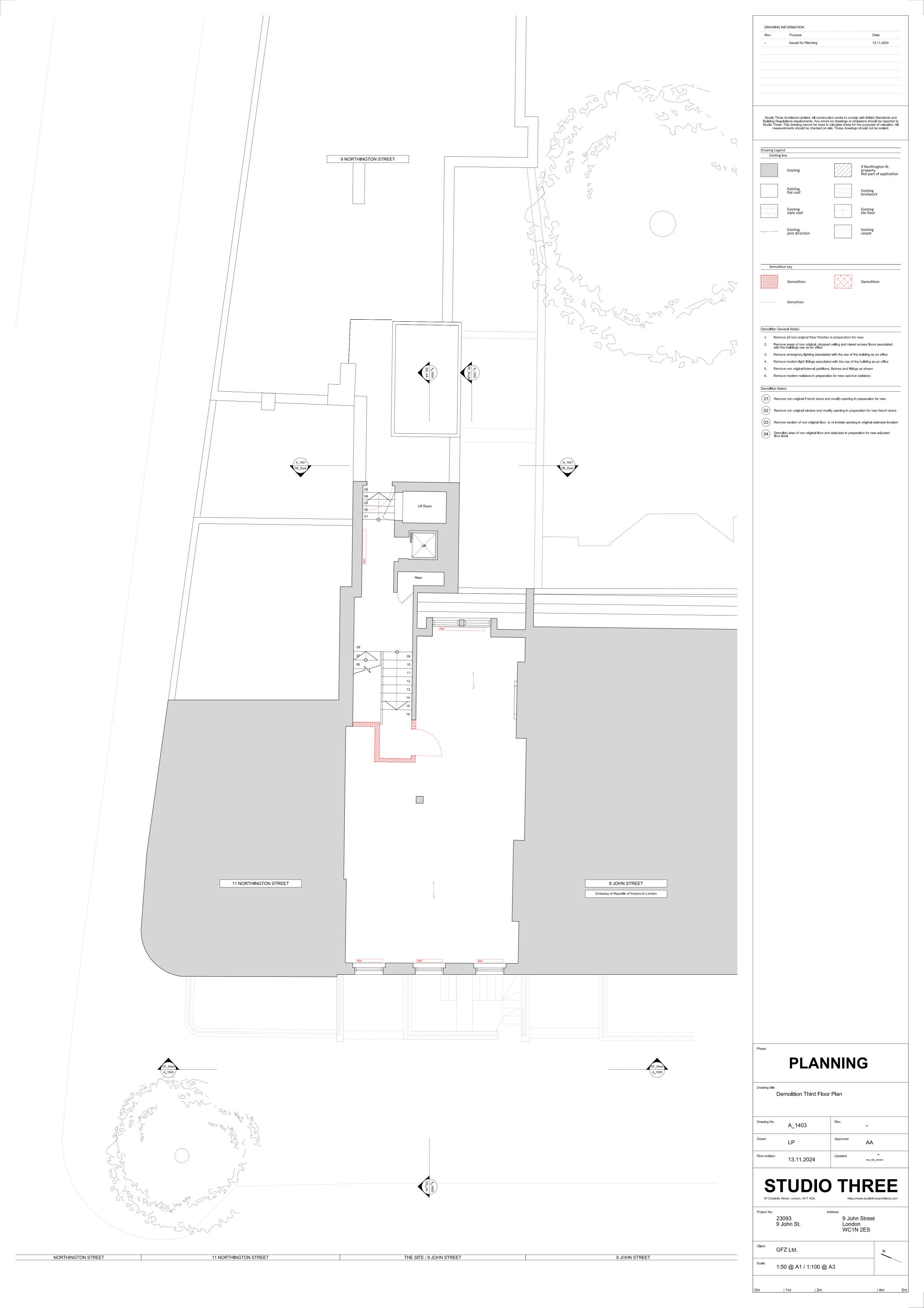
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GFZ Ltd.

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