



DRAWING INFORMATION		
Rev.	Purpose	Date
-	Issued for Planning	13.11.2024

Studio Three Architects Limited. All construction works to comply with British Standards and Building Regulations requirements. Any errors on drawings or omissions should be reported to Studio Three. This drawing cannot be used to calculate areas for the purposes of valuation. All measurements should be checked on site. These drawings should not be scaled.

Drawing Legend	
Existing key	
	Existing
	Existing flat roof
	Existing slate roof
	Existing joist direction
	9 Northington St. property Not part of application
	Existing brickwork
	Existing tile floor
	Existing carpet

Demolition key	
	Demolition
	Demolition
	Demolition

- Demolition General Notes:**
1. Remove all non original floor finishes in preparation for new
 2. Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office
 3. Remove emergency lighting associated with the use of the building as an office
 4. Remove modern light fittings associated with the use of the building as an office
 5. Remove non original internal partitions, fixtures and fittings as shown
 6. Remove modern radiators in preparation for new cast iron radiators

- Demolition Notes:**
- 01 Remove non original French doors and modify opening in preparation for new
 - 02 Remove non original window and modify opening in preparation for new french doors
 - 03 Remove section of non original floor, to re instate opening in original staircase location
 - 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition East Elevation

Drawing No.	A_1501	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---

STUDIO THREE

97 Charlotte Street, London, W1T 4QA <https://www.studiothreearchitects.com>

Project No.	23093	Address	9 John Street London WC1N 2ES
	9 John St.		

Client	GFZ Ltd.
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Scale: 1:50 @ A1 / 1:100 @ A3





DRAWING INFORMATION		
Rev.	Purpose	Date
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025

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Demolition key	
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	Demolition

- Demolition General Notes:**
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- Demolition Notes:**
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 - 03 Remove section of non original floor, to re install opening in original staircase location
 - 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title
Demolition First Floor Plan

Drawing No.	A_1401	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

ARYA DOUGE
31 Parry Street, London, W1T 2DD
www.aryadouge.com

Project No. 23093
Address 9 John Street
London WC1N 2ES

Client GFZ Ltd.

Scale 1:50 @ A1 / 1:100 @ A3





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Demolition key	
	Demolition
	Demolition

- Demolition General Notes:**
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 - Remove non original internal partitions, fixtures and fittings as shown
 - Remove modern radiators in preparation for new cast iron radiators

- Demolition Notes:**
- D1** Remove non original French doors and modify opening in preparation for new
 - D2** Remove non original window and modify opening in preparation for new french doors
 - D3** Remove section of non original floor, to re install opening in original staircase location
 - D4** Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title
Demolition Ground Floor Plan

Drawing No.	A_1400	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

ARYA DOUGE
 31 Parry Street, London, W1T 2DD
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Project No. 23093
 9 John St.
 Client GFZ Ltd.

Address 9 John Street
 London
 WC1N 2ES

Scale 1:50 @ A1 / 1:100 @ A3

0m | 1m | 2m | 4m | 5m

DRAWING INFORMATION		
Rev.	Purpose	Date
-	Issued for Planning	13.11.2024
A	Issued for Planning	07.04.2025

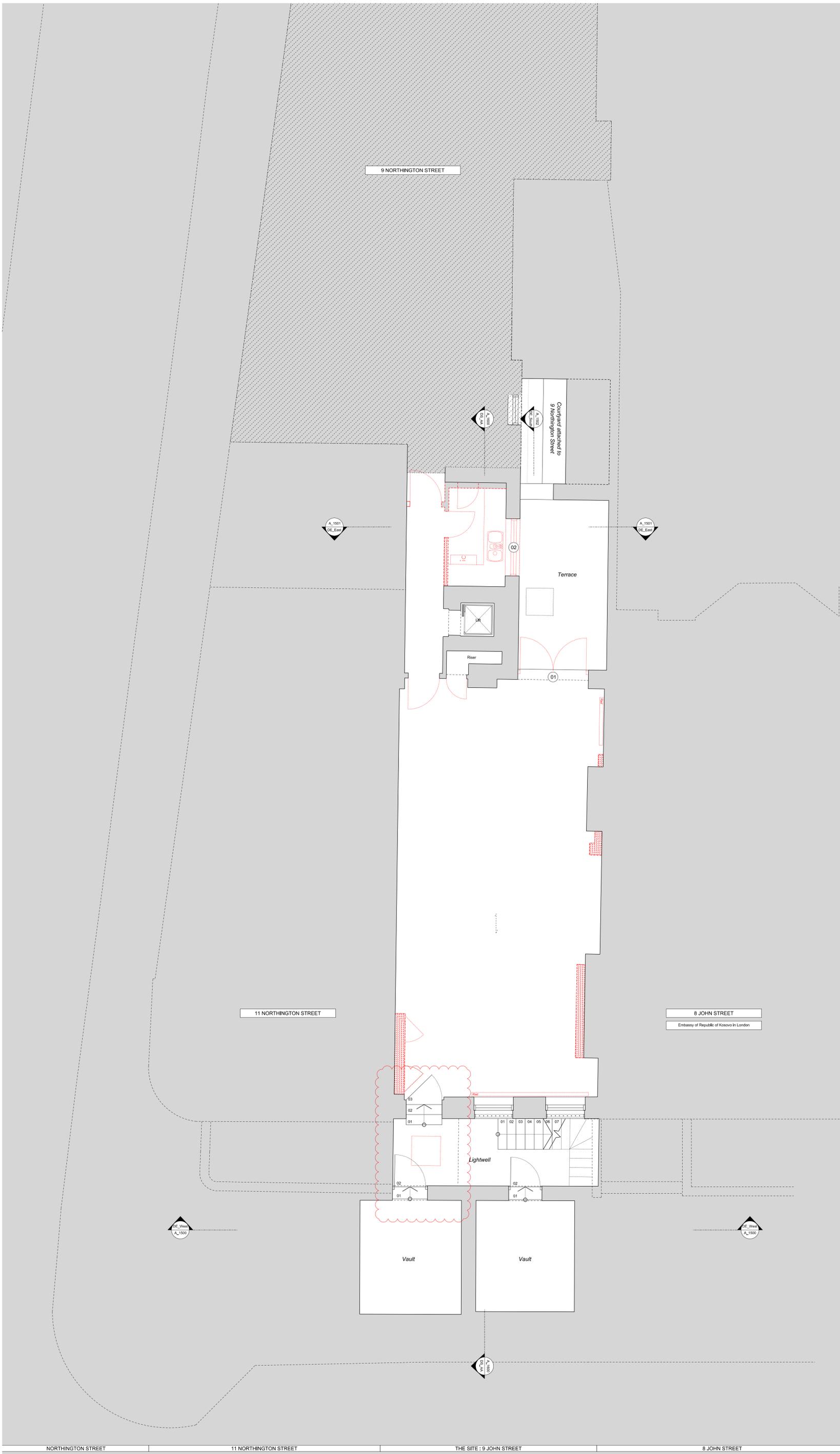
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Drawing Legend	
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	Existing
	Existing flat roof
	Existing slate roof
	Existing joist direction
	9 Northington St. property Not part of application
	Existing brickwork
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	Existing carpet

Demolition key	
	Demolition
	Demolition
	Demolition

- Demolition General Notes:**
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 - Remove non original internal partitions, fixtures and fittings as shown
 - Remove modern radiators in preparation for new cast iron radiators

- Demolition Notes:**
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 - 02** Remove non original window and modify opening in preparation for new french doors
 - 03** Remove section of non original floor, to re install opening in original staircase location
 - 04** Demolish area of non original floor and staircase in preparation for new adjusted floor level



Phase

PLANNING

Drawing title
Demolition Lower Ground Floor Plan

Drawing No.	A_1399	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

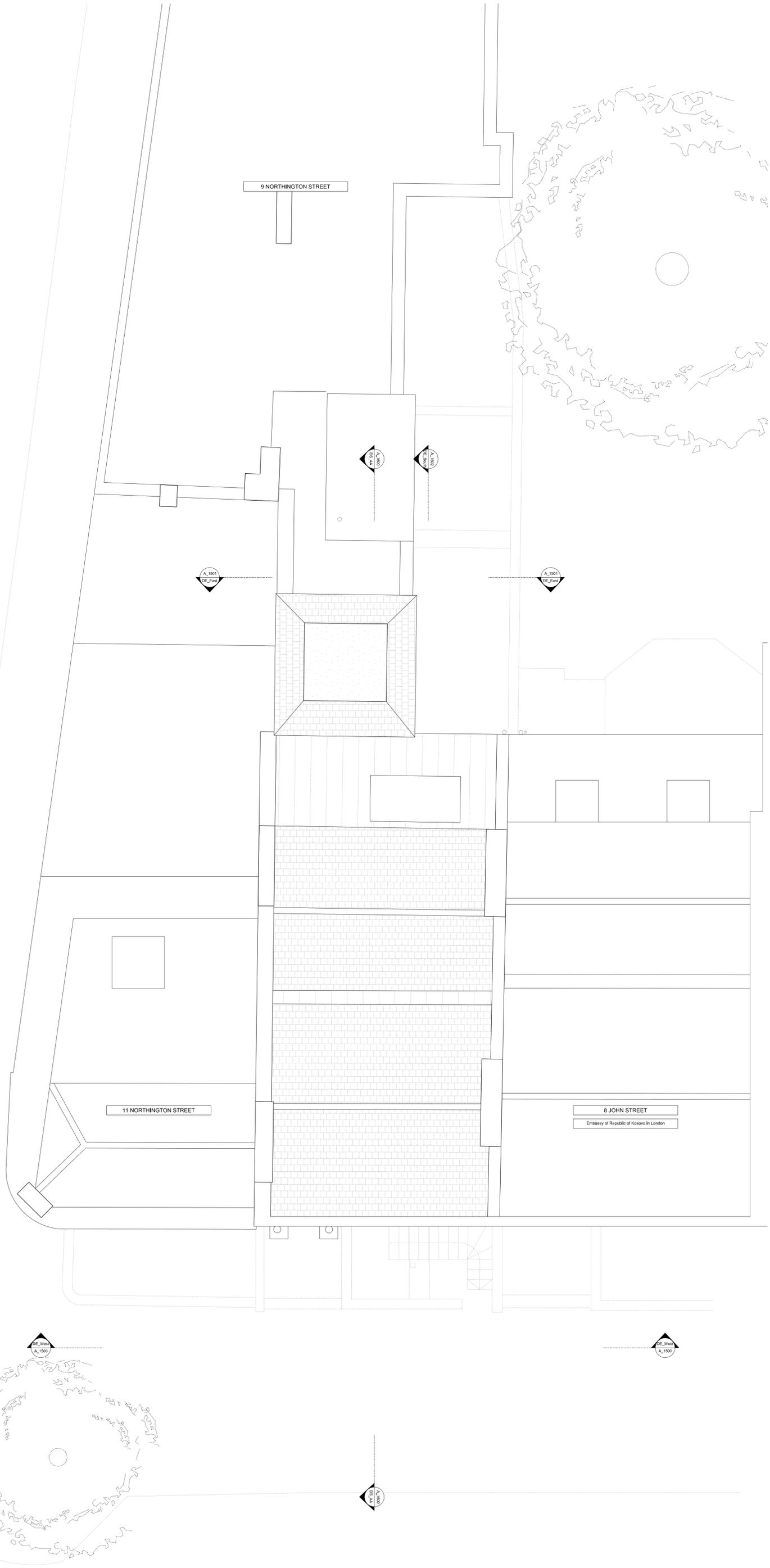
ARYA DOUGE
 31 Percy Street, London, W1T 2DD
 www.aryadouge.com

Project No. 23093
 9 John St.
 London
 WC1N 2ES

Client: GFZ Ltd.

Scale: 1:50 @ A1 / 1:100 @ A3





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Drawing Legend		
Existing key		
	Existing	
	Existing flat roof	
	Existing slate roof	
	Existing joist direction	
Demolition key		
	Demolition	
	Demolition	
Demolition General Notes:		
<ol style="list-style-type: none"> Remove all non original floor finishes in preparation for new Remove areas of non original, dropped ceiling and raised access floors associated with the buildings use as an office Remove emergency lighting associated with the use of the building as an office Remove modern light fittings associated with the use of the building as an office Remove non original internal partitions, fixtures and fittings as shown Remove modern radiators in preparation for new cast iron radiators 		
Demolition Notes:		
	Remove non original French doors and modify opening in preparation for new	
	Remove non original window and modify opening in preparation for new french doors	
	Remove section of non original floor, to re install opening in original staircase location	
	Demolish area of non original floor and staircase in preparation for new adjusted floor level	
Phase		
PLANNING		
Drawing title		
Demolition Roof Plan		
Drawing No.	A_1404	Rev.
Drawn	LP	Approved
First revision	13.11.2024	Updated
STUDIO THREE		
97 Charlotte Street, London, W1T 4GA https://www.studiothreearchitects.com		
Project No.	23093	Address
	9 John St.	9 John Street
		London
		WC1N 2ES
Client	GFZ Ltd.	N
Scale	1:50 @ A1 / 1:100 @ A3	
0m	1m	2m
		4m
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- Demolition Notes:**
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 - (03)** Remove section of non original floor, to re install opening in original staircase location
 - (04)** Demolish area of non original floor and staircase in preparation for new adjusted floor level



Phase
PLANNING

Drawing title
Demolition Second Floor Plan

Drawing No.	A_1402	Rev.	A
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	07.04.2025

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Demolition key	
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 - 03 Remove section of non original floor, to re instate opening in original staircase location
 - 04 Demolish area of non original floor and staircase in preparation for new adjusted floor level

Phase

PLANNING

Drawing title

Demolition South Elevation

Drawing No.	A_1502	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	--,-----

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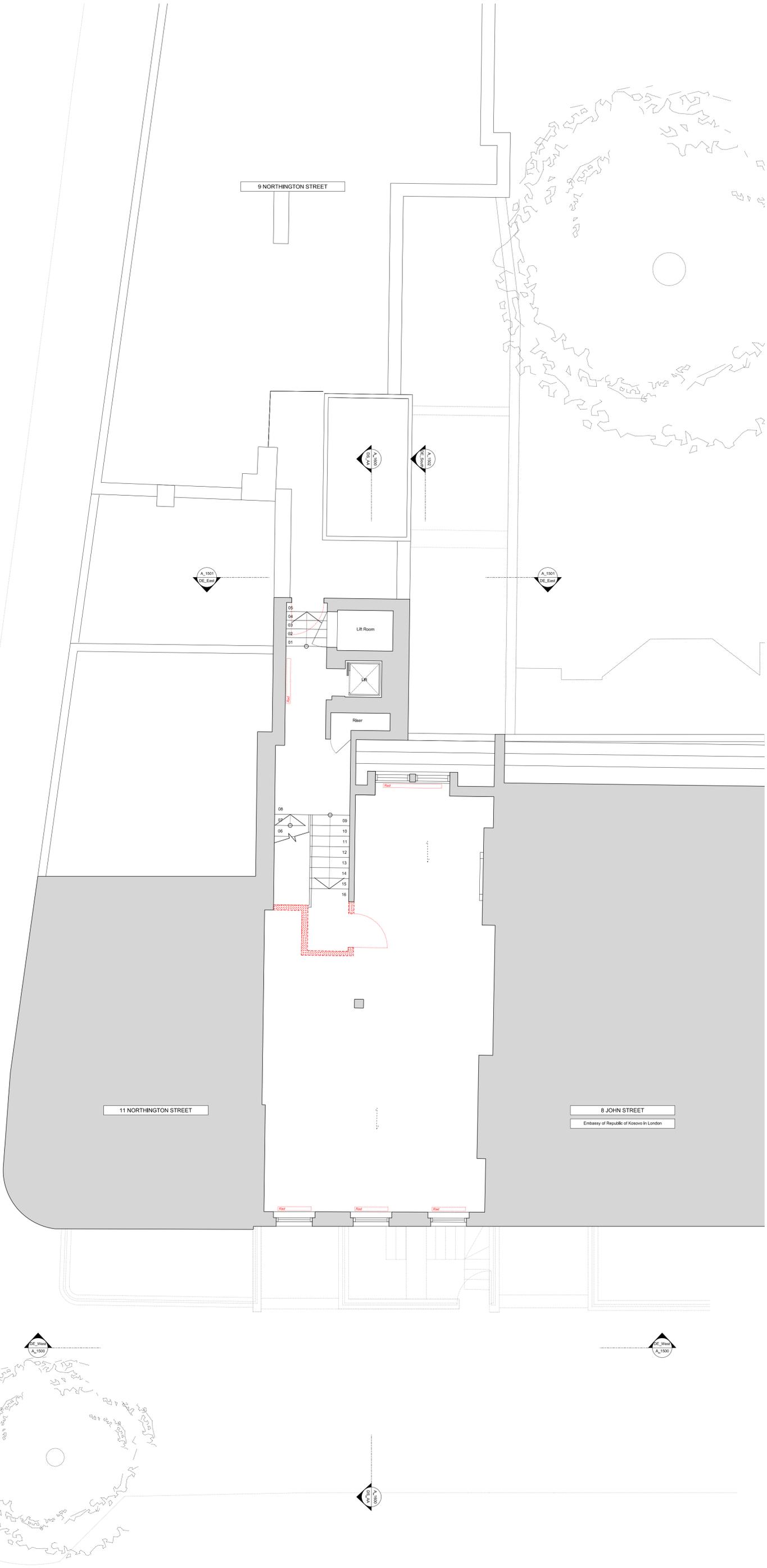
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 - D4** Demolish area of non original floor and staircase in preparation for new adjusted floor level



Phase

PLANNING

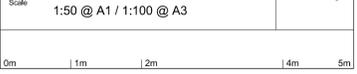
Drawing title
Demolition Third Floor Plan

Drawing No.	A_1403	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---

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Project No. 23093 9 John St. Address 9 John Street London WC1N 2ES

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- Demolition Notes:**
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 - (03) Remove section of non original floor, to re instate opening in original staircase location
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Phase

PLANNING

Drawing title
Demolition West Elevation

Drawing No.	A_1500	Rev.	-
Drawn	LP	Approved	AA
First revision	13.11.2024	Updated	---

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