

# The Heritage Practice

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Development Management  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London WC1H 9JE

Planning Portal Submission  
PP-13512824

02 May 2025

Dear Sir/Madam

**Imperial Hotel, 61-66 Russell Square WC1B 5BB**

**Discharge of condition 4a (ground floor entrance) and 4f ground floor and roof level cladding) of planning permission dated 12 June 2024 2023/4729/P**

**Discharge of conditions 4a (facing materials) and 4b (manufacturers specification of facing materials) of planning permission dated 19 February 2024 ref: 2023/5263/P**

## The Site

The application site is the Imperial Hotel (class c1), 61-66 Russell Square London WC1B 5BB located on the east side of Russell Square. The hotel was constructed in 1967.

## Discharge of conditions

This application is part of a comprehensive series of applications that have been submitted to and approved by the Council over the past several years, all aimed at revitalising the hotel. The main application and application relating to the shopfronts are identical condition relating to cycle storage and waste and have therefore been grouped together to allow discharge expediently.

## **Planning 2023/4729/P – Discharge of Condition 4a (ground floor entrance)**

The condition requires:

*Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:*

*a) Plan, elevation and section drawings at 1:20 of new ground floor entrances;  
f) Details of the exact specifications / samples of metal cladding to columns at ground floor and roof levels.*

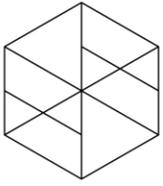
*The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.*

## **Response**

Please find attached IMPERIAL HOTEL PLANNING CONDITION DISCHARGE GROUP 2 Design Document by 5plus dated 25/04/2025 issue 03.

The design document shows 21 pages of various details which satisfactorily demonstrate the detailed design of the new ground floor shopfronts sufficient to discharge condition 4a.

Please note, the comprehensive series of applications included a ground floor shopfront application which was approved on 03 February 2021 ref: (a copy of the decision notice is attached to this letter).



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The application included 3 conditions which required discharge by the LPA. Conditions 6 and 7 were pre-commencement conditions. These were discharged on 04-11-2024 (ref: [2024/4795/P](#))

The other was condition 8 which required:

- a) *Plan, elevation and section drawings at 1:20 of new ground floor entrances and shopfronts;*
- b) *Details of the exact specifications / samples of the GRC cladding system;*
- c) *Details of the exact specifications / samples of metal cladding to columns at ground floor;*  
*and*
- d) *Details of the original poloti including their positions and appearance. The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works. Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.*

As set out on page 3 of the Design Document, this shopfront application was superseded by the Main Application MMA ref: 2023/4729/P. This provides updated ground floor shopfront designs, as well as similar conditions to discharge. For this reason we will not be discharging condition 8 of 2020/2365/P however the same details have been provided part of this application or subsequent applications to discharge 4b-e and g of 2023/4729/P.

## **Planning 2023/5263/P - Discharge of Condition 4a (facing materials) and 4b (manufacturers specification of facing materials)**

Planning 2023/5263/P conditions 4 reads:

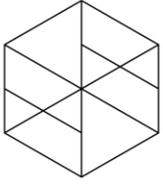
*Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:*

- a) *Details of external facing materials;*
- b) *Manufacturer's specification details of all facing materials to be submitted to the Local Planning Authority and samples of those materials to be provided on site.*

*The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.*

Response: Please find attached IMPERIAL HOTEL PLANNING CONDITION DISCHARGE GROUP 2 Design Document by 5plus dated 25/04/2025 issue 03. Pages 28-37 provides details of the approved scheme as well as sample, manufacturer information for all new facing material including mortar colour. The submitted details are satisfactorily to discharge the conditions.

There are no further condition for application 2023/5263/P which require details to be discharged.



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We trust that the details satisfy the requirements noted within the planning condition. Please contact us if you require further information.

Yours Sincerely  
The Heritage Practice

Application ref: 2020/2365/P  
Contact: Nathaniel Young  
Tel: 020 7974 3386  
Email: [Nathaniel.Young@camden.gov.uk](mailto:Nathaniel.Young@camden.gov.uk)  
Date: 3 February 2021

**Development Management**  
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London Borough of Camden  
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WC1H 9JE

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cube\_design  
Ground Floor Unit 12  
Headlands Business Park  
BLASHFORD  
BH24 3PB

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Full Planning Permission Granted**

Address:

**Imperial Hotel**  
**61-66 Russell Square**  
**London**  
**WC1B 5BB**

Proposal:

Removal and replacement of the existing shopfronts in accordance with the consented scheme: 2019/2985/P. Widening of courtyard entrance and loss of commercial floorspace. Change of use of the ancillary hotel bar from (Class C1) to independent drinking establishment (Class A4).

Drawing Nos: 1289 - P6101 C, 1289 - P6102 A, 1289 - P6103 A, 1289 - P6104 A, 1289 - P6105 A, 1289 - P6106 A, 1289 - P6107 A, 1289 - P6108 A, 1289 - P6109 A, 1289 - P6110 A, 1289 - P6111 A & 1289 - P6112 A

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans 1289 - P6101 C, 1289 - P6102 A, 1289 - P6103 A, 1289 - P6104 A, 1289 - P6105 A, 1289 - P6106 A, 1289 - P6107 A, 1289 - P6108 A, 1289 - P6109 A, 1289 - P6110 A, 1289 - P6111 A & 1289 - P6112 A

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 The A4 drinking establishment use hereby permitted shall not be carried out outside the following times: 07.00 - 01.30 Monday - Sunday.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies A1 and A4 of the Camden Local Plan 2017.

- 4 No sounds/music from the use hereby permitted shall be played on the premises in such a way as to be audible at or within any residential/ noise sensitive premises.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of Policies A1 and A4 of the Camden Local Plan 2017.

- 5 No loading or unloading of goods, including fuel, by vehicles arriving at or departing from the premises shall be carried out otherwise than within the curtilage of the building.

Reason: To avoid obstruction of the surrounding streets and to safeguard amenities of adjacent premises in accordance with the requirements of policies A1 and T4 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of the development, details of 2 long stay and 17 short stay cycle spaces shall be submitted to and approved by the local planning authority. The approved cycle parking facilities shall thereafter be provided in its entirety prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the London Borough of Camden Local Plan 2017.

- 7 Prior to commencement of the development, details of the location, design and method of waste storage and removal including recycled materials, shall be submitted to and approved by the local planning authority in writing. The facility as approved shall be provided prior to the first occupation of any of the new units and permanently retained thereafter.

Reason: To ensure that sufficient provision for the storage and collection of waste has been made in accordance with the requirements of policy CC5, A1 and A4 of the London Borough of Camden Local Plan 2017.

8 Prior to commencement of the development, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Plan, elevation and section drawings at 1:20 of new ground floor entrances and shopfronts;

b) Details of the exact specifications / samples of the GRC cladding system;

c) Details of the exact specifications / samples of metal cladding to columns at ground floor; and

d) Details of the original poloti including their positions and appearance.

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website at <https://beta.camden.gov.uk/documents/20142/1269042/Camden+Minimum+Requirements+%281%29.pdf/bb2cd0a2-88b1-aa6d-61f9-525ca0f71319> or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team London Borough of Camden 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444) . Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.

- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2019.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink, appearing to read 'DPope', is written over a light grey rectangular background.

Daniel Pope  
Chief Planning Officer