Imperial Hotel Planning Condition Discharge - Group 2

Contents

Application references and discharge information

- 1. Shopfronts Application no 2020/2365/P
- 2. Minor Material Amendment 2023/4729/P
- 3. Superplant Application no 2023/5263/P

Client(s) Vascroft

Project Team 5plus Architects Heritage Practice Axiom CUBE

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Contents

This document provides information in relation to the following Planning Applications previously submitted by The Heritage Practice on behalf of the Client Imperial London Hotels.

This document responds to the following applications and conditions:

1. Shopfronts Application number 2020/2365/P

- Condition 8a: Plan, elevation and section drawings at 1:20 of new ground floor entrances and shopfronts;
- Condition 8c: Details of the exact specifications / samples of metal cladding to columns at ground floor;
- · Condition 8d: Details of the original poloti including their positions and appearance.

This planning application has since been superseded by the since approved Minor Material Application number 2023/4729/P, please see below. Information relevant to the above points of Condition 8 are covered below and within this document as part of the MMA application.

2. Minor Material Application number 2023/4729/P

- Condition 4a Plan, Elevation and Section drawings at 1:20 of the new ground floor entrances
- Condition 4f Specification details and samples of the cladding to columns at ground floor and roof levels

3. Superplant Application number 2023/5263/P

- · Condition 4a: Details of external facing materials;
- Condition 4b Manufacturer's specification details of all facing materials.

The physical samples as photographed are available for review on site at The Imperial Hotel in Russell Square.

For context, we have included relevant approved drawings as needed.



5plus 3

Application 2023/4729/P - Main MMA Discharge Information for Condition 4a: Plan, elevation and section drawings at 1:20 of new ground floor entrances

5plus 4 Imperial Hotel

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These drawings have been scaled to 1:200 when printed at A3 and illustrate the proposed metal-clad columns at ground floor in the Franchise area, as well as the Skybar entrance in the courtyard. North East Elevation Skybar entrance \bigcirc

P03 25/04/25 Updates to Fins
P02 16/04/25 Updated to show fins in Burrito Area
P01 04/04/25 First Issue





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Shop Front Flevation

SCALE: DRAWN: CH 1:100 @ A1 AW

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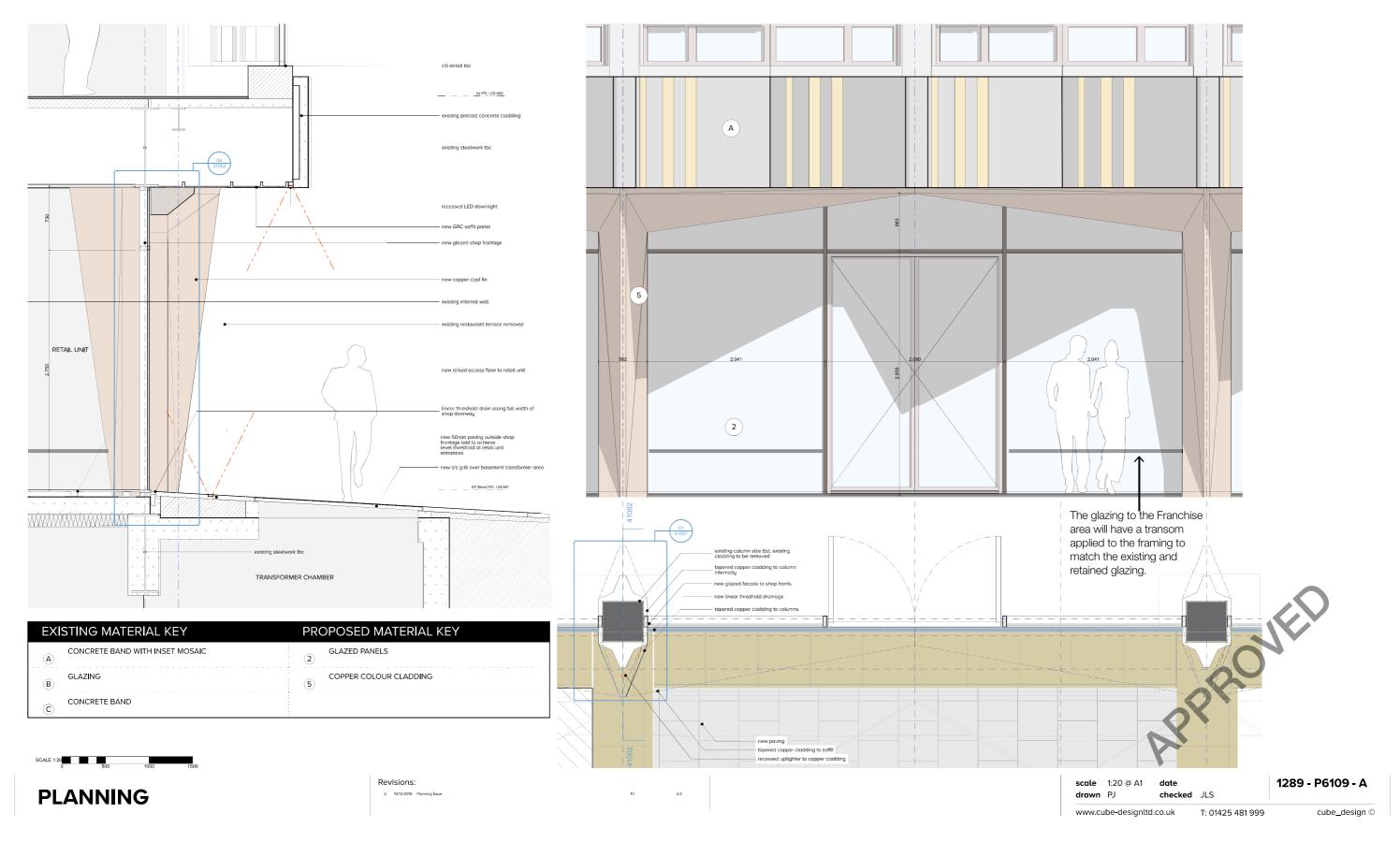
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South West Elevation

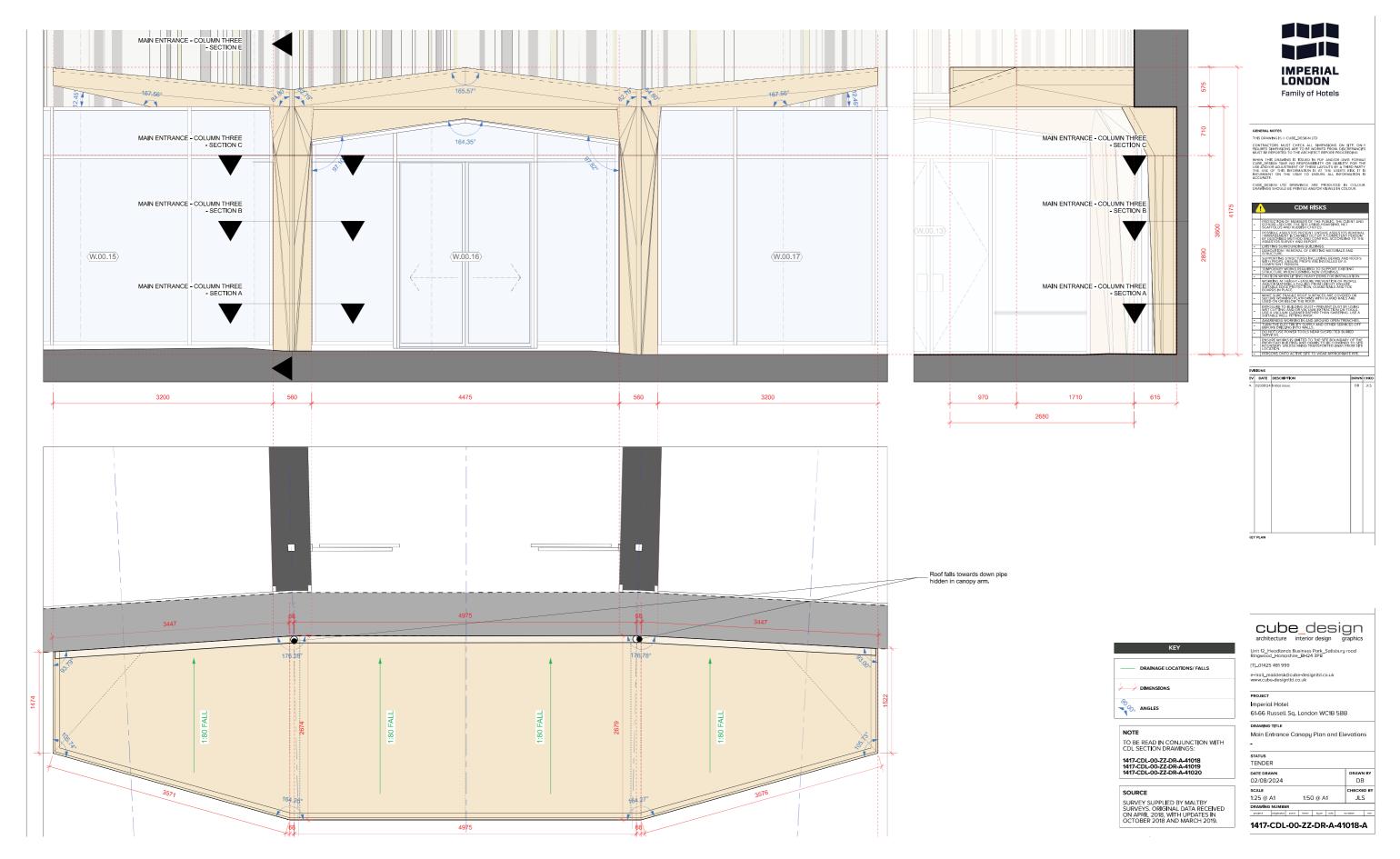














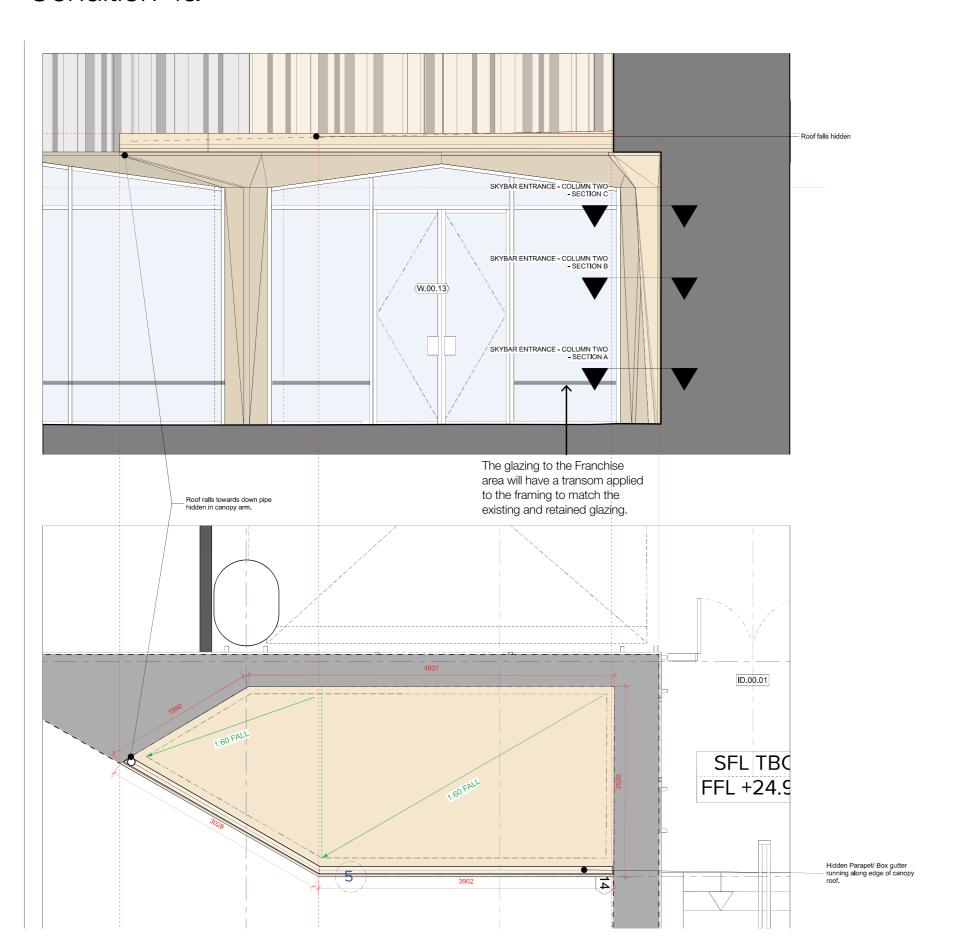
TO BE READ IN CONJUNCTION WITH CDL SECTION DRAWINGS:

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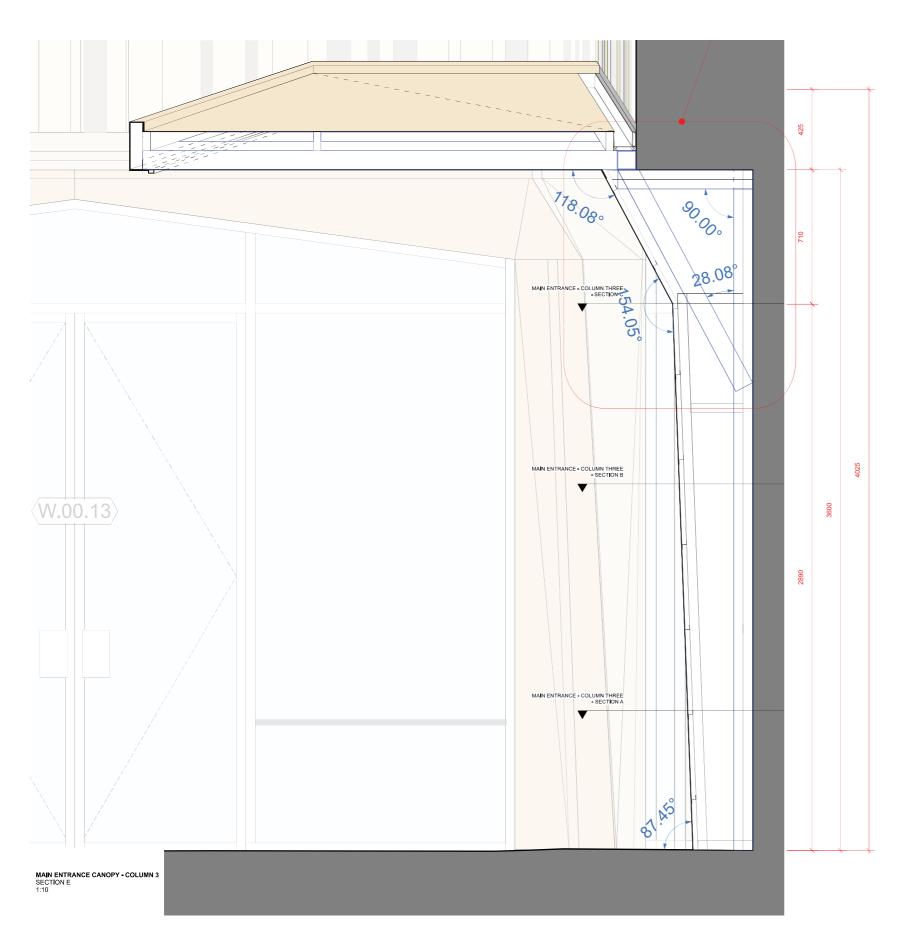


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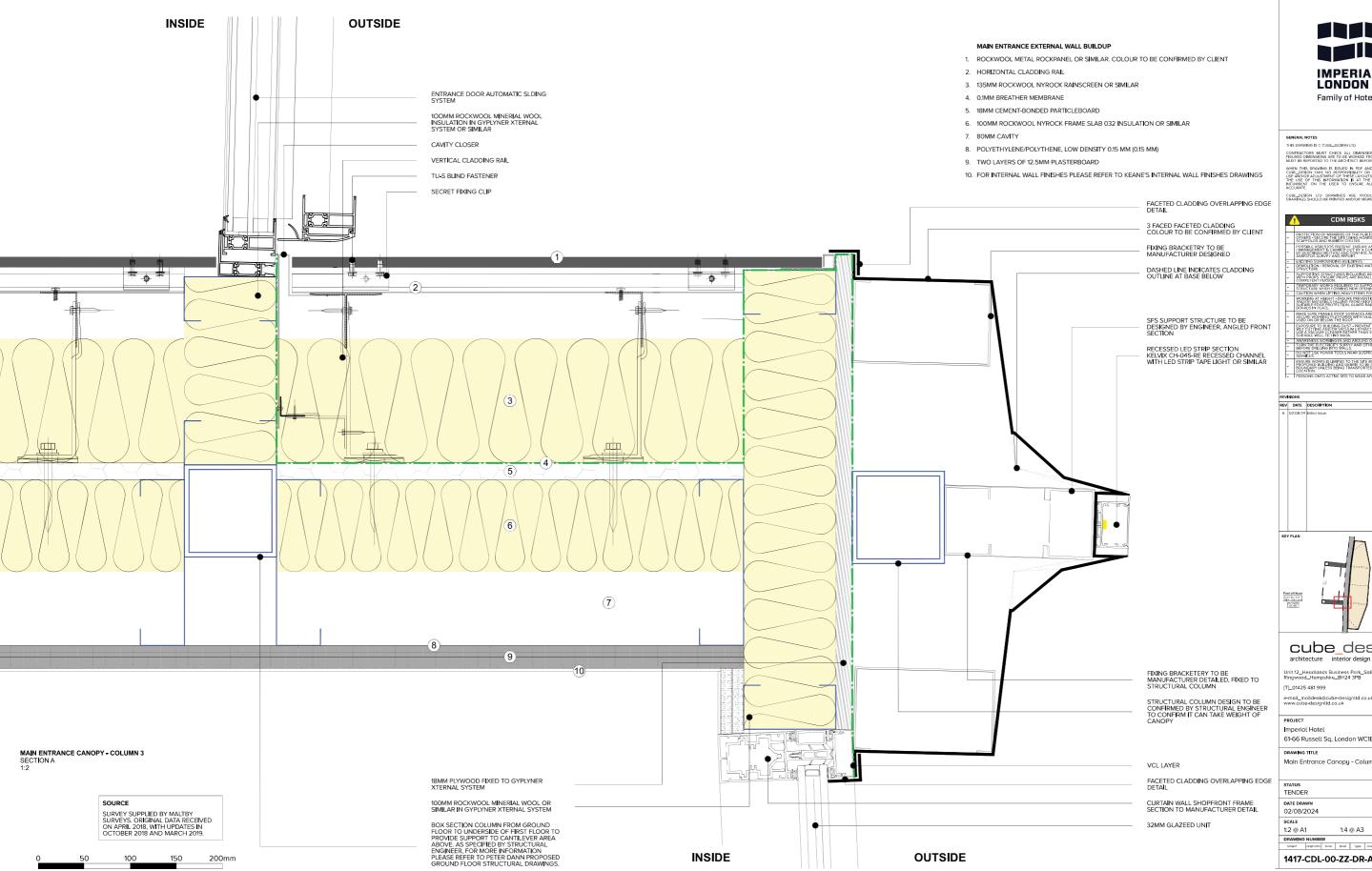












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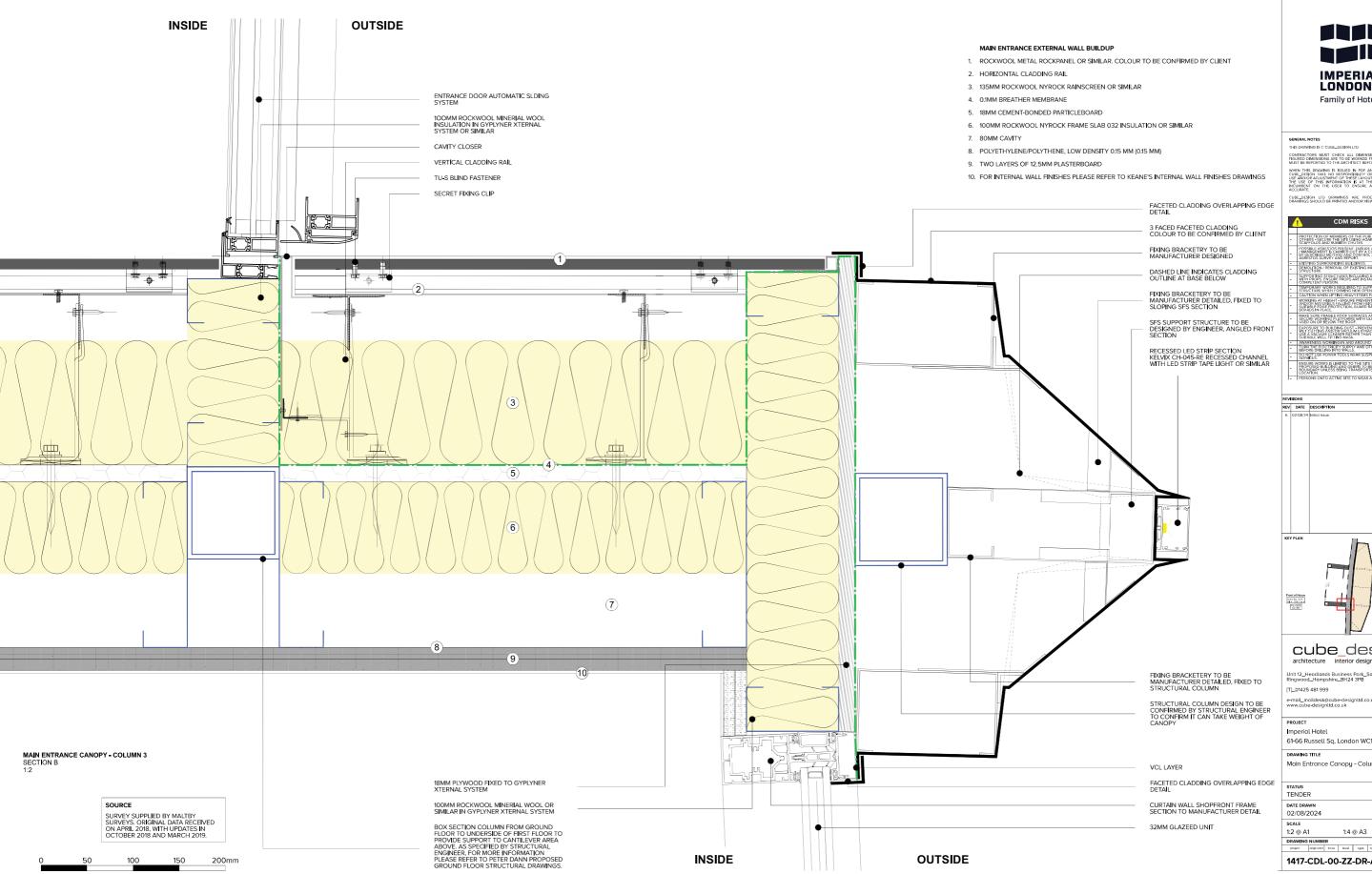
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-	DEMOLITION / REMOVAL OF EXISTING MATERIALS AND STRUCTURE.
-	SUPPORTING STRUCTURES INCLUDING BEAMS AND ROOFS WITH PROPS, ENSURE PROPS ARE INSTALLED BY A COMPETENT PERSON.
-	TEMPORARY WORKS REQUIRED TO SUPPORT EXISTING STRUCTURE WHEN FORMING NEW OPENINGS.
-	CAUTION WHEN LIFTING HEAVY ITEMS FOR INSTALLATION.
-	WORKING AT HEIGHT - ENSURE PREVENTION OF PEOPLE AND/OR MATERIALS FALLING FROM HEIGHT. ENSURE SUITABLE EDGE PROTECTION, GUARD RAILS AND TOE BOARDS IN PLACE.
-	MAKE SURE FRAGILE ROOF SURFACES ARE COVERED OR SECURE WORKING PLATFORMS WITH GUARD RAILS ARE USED ON OR BELOW THE ROOF.
-	EXPOSURE TO BUILDING DUST - PREVENT DUST BY USING WET CUTTING AND/OR VACUUM EXTRACTION ON TOOLS, USE A VACUUM CLEANER RATHER THAN SWEEPING, USE A SUITABLE WELL FITTING MASK.
-	AWARENESS WORKING IN AND AROUND OPEN TRENCHES.
-	TURN THE ELECTRICITY SUPPLY AND OTHER SERVICES OFF BEFORE DRILLING INTO WALLS.
-	DO NOT USE POWER TOOLS NEAR SUSPECTED BURIED SERVICES.
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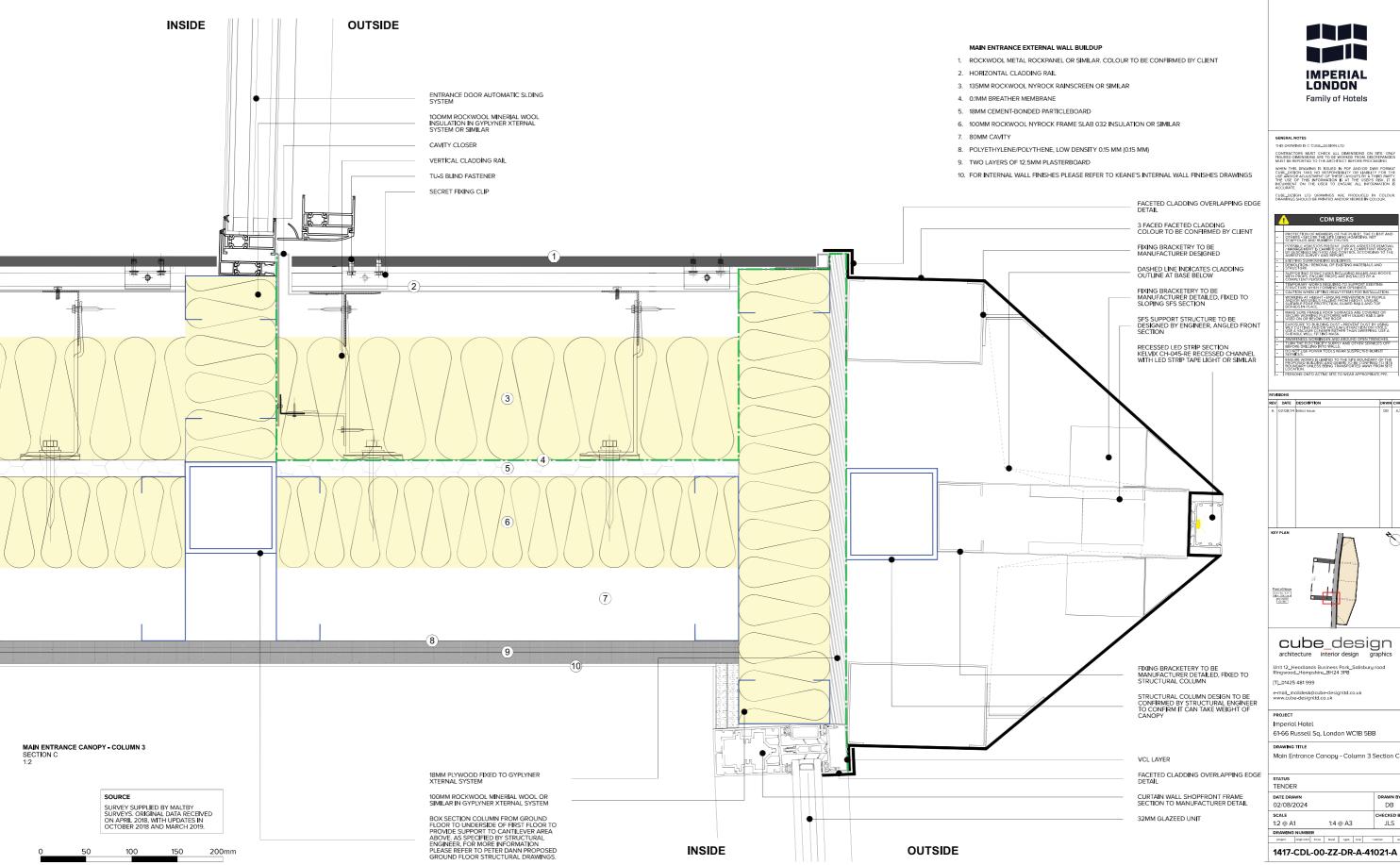
Main Entrance Canopy - Column 3 Section B

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Window Type 46

6243 W/S

2098 M/C





This plan shows the window manufacturer's window plan layout for the Shopfront glazing to the franchise area, along with the glazed entrance to the Skybar in the Courtyard area.

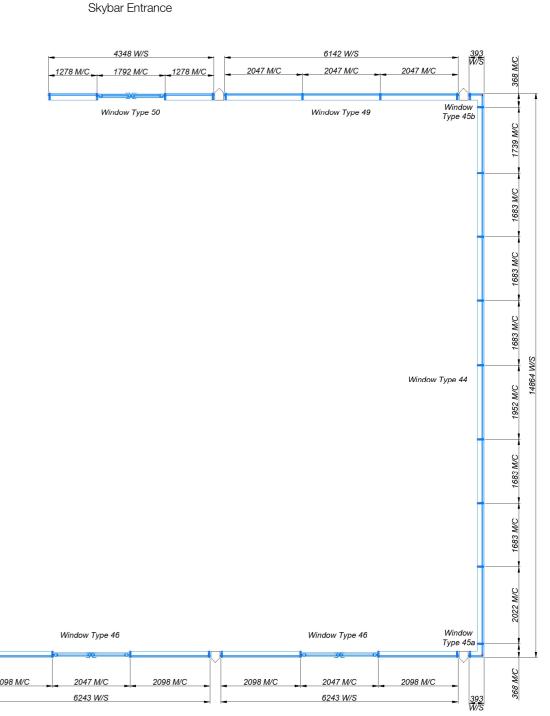
This drawing has been scaled to 1:100 when printed at A3.

On the following page, we have included elevation drawings of the glazed shopfronts in the scale of 1:100 so plan and elevation drawings can be read in conjunction.

Window Type 46

6243 W/S







Window Type 46

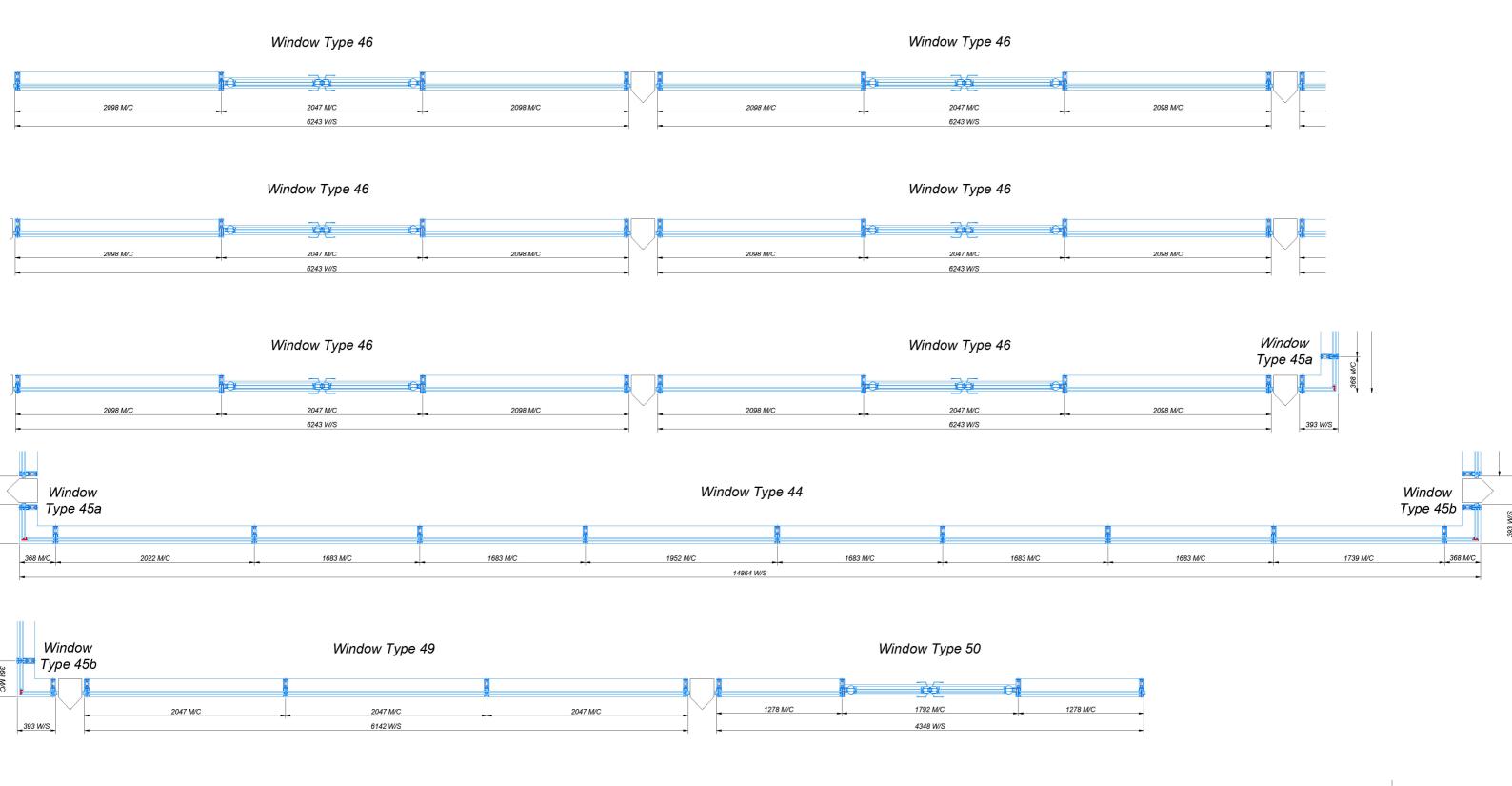
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Window Type 46

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