



NOTES:

SUPPLEMENTARY INFORMATION:
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33-35 Jamestown Road Design and Access Statement
23054-MCO-XX-XX-DS-A-02017

These drawings should also be read in conjunction with the following information, prepared by other consultants:
- Structures Reports and Information (HDR Inc.)
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EXTENTS AND BOUNDARIES:
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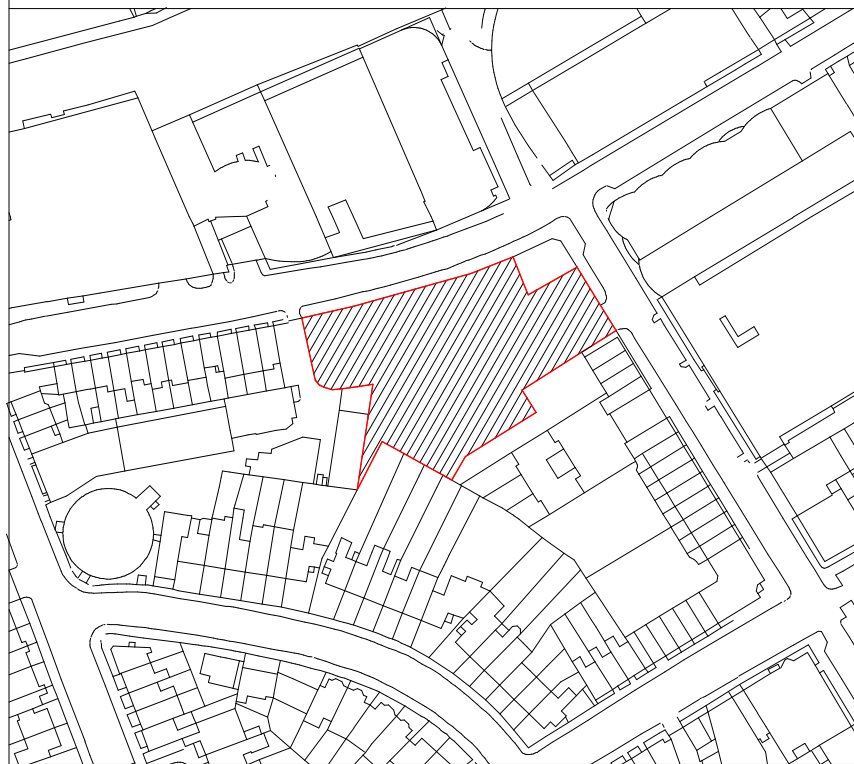
Existing site information, context, surrounding infrastructure, neighbouring building extents and plots are derived from 2D Surveys, produced by:
Maltby Land Surveys Ltd
Survey Date: 13.02.2024
Survey Reference: 22249-100-RevA

Planning Application Boundary

Room Key	
PBSA	C3
01 - Typical Studio	30 - 182P Unit
02 - Premium Studio	31 - 283P Unit
03 - WCA Studio	32 - 284P Unit
04 - Accessible WC	33 - 284P WCA Unit
05 - Study / Workshop	34 - 385P Maisonette
06 - Lounge / Games	35 - 386P Unit
07 - Cinema	36 - LV Switch Room
08 - Laundry	37 - Comms
09 - Gym	38 - Cold Water Storage + Domestic Sprinkler
10 - Accessible Shower	39 - Heating Plant Room
11 - WC	40 - Cycle Store
12 - Private Dining / Kitchen	41 - Refuse
13 - Reception / Entrance Lobby + Lounge	42 - Bulky Waste
14 - Post	43 - Substation
15 - Management Office	44 - Post
16 - Storage	45 - Storage
17 - LV Switch Room	46 - Lift Overrun
18 - Comms	47 - Stair Core
19 - Cleaners Cupboard	48 - AOV Roof Light
20 - Commercial Sprinkler	49 - Roof Plant
21 - Cold Water Storage	50 - Potential PV Zone
22 - Heating + Hot Water Storage	
23 - Generator & Life Safety Switchroom	
24 - Switch Room	
25 - Cycle Store	
26 - Refuse	
27 - Lift Overrun	
28 - AOV Roof Light / Access Hatch	
29 - Roof Plant	
30 - Potential PV Zone	
	Flexible Workspace
	51 - Flexible Workspace
	52 - Accessible WC/Shower
	53 - Bathrooms
	54 - Refuse Zone
	55 - Long Stay Cycles
	56 - Storage / Service Cupboard
	NOTES
	All workspace furniture layouts are indicative only
	All unit layouts are indicative only
	Cycle store layouts are indicative only

P03	April 2025	Planning Addendum Update
P02	March 2025	Planning Addendum
P01	October 2024	Planning Submission

revision	date	description		
0	1500	3000	7500	15000 mm



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- Do not scale from this drawing
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- And such dimensions to be their responsibility
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job title
33-35 JAMESTOWN ROAD

drawing title / location
PROPOSED PLAN LEVEL 00

status	S2 - FOR INFORMATION / REFERENCE					
scale	1 : 150 @ A1					
project	originator	funct.	spatial	form	disc.	number
23054	MCO	XX	00	DR	A	06110



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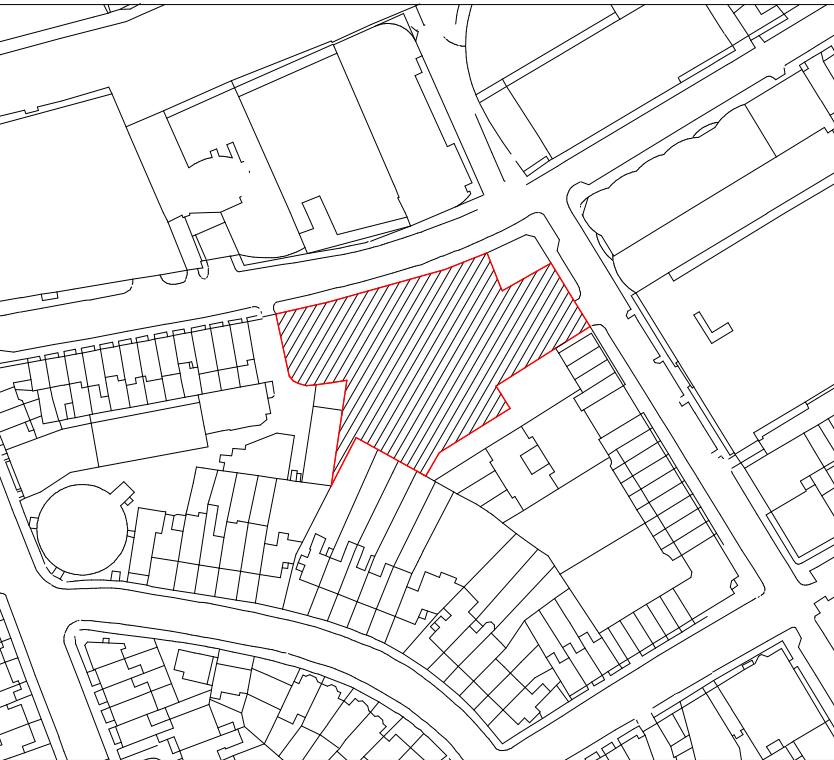
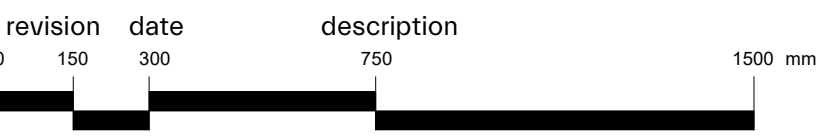
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P04	April 2025	Planning Addendum Update
P03	March 2025	Planning Addendum
P02	January 2025	Planning Addendum
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job title
33-35 JAMESTOWN ROAD

drawing title / location
PROPOSED PLAN LEVEL 01

status	S2 - FOR INFORMATION / REFERENCE				
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scale	1 : 150 @ A1				
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project	originator	funct.	spatial	form	disc.	number
23054	MCO	XX	01	DR	A	06111



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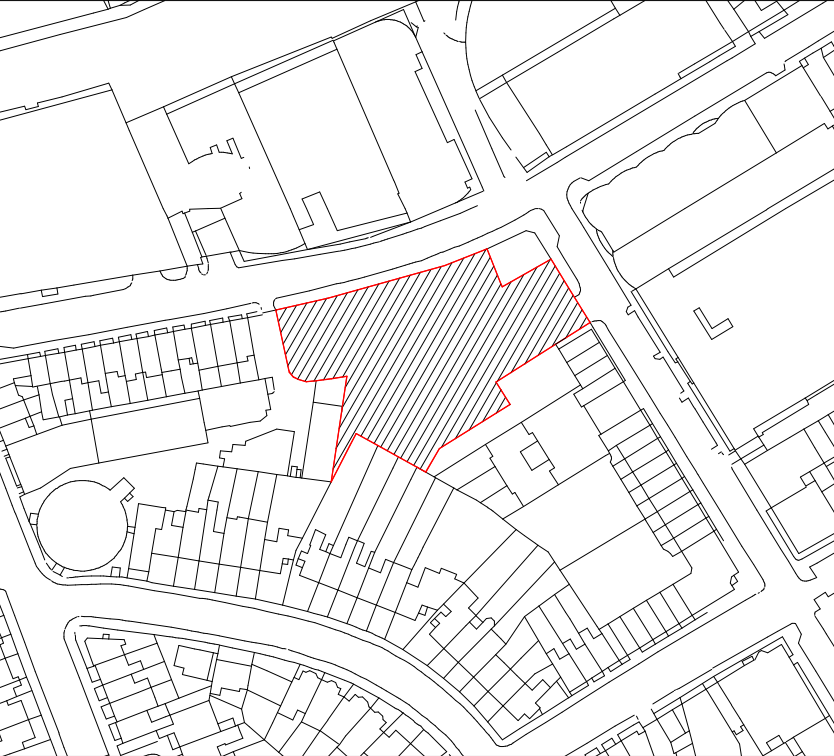
Planning Application Boundary

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job title

33-35 JAMESTOWN ROAD

drawing title / location

PROPOSED PLAN LEVEL 02-04

status	S2 - FOR INFORMATION / REFERENCE					
scale	1 : 150 @ A1					
project	originator	funct.	spatial	form	disc.	number
23054	MCO	XX	02	DR	A	06112



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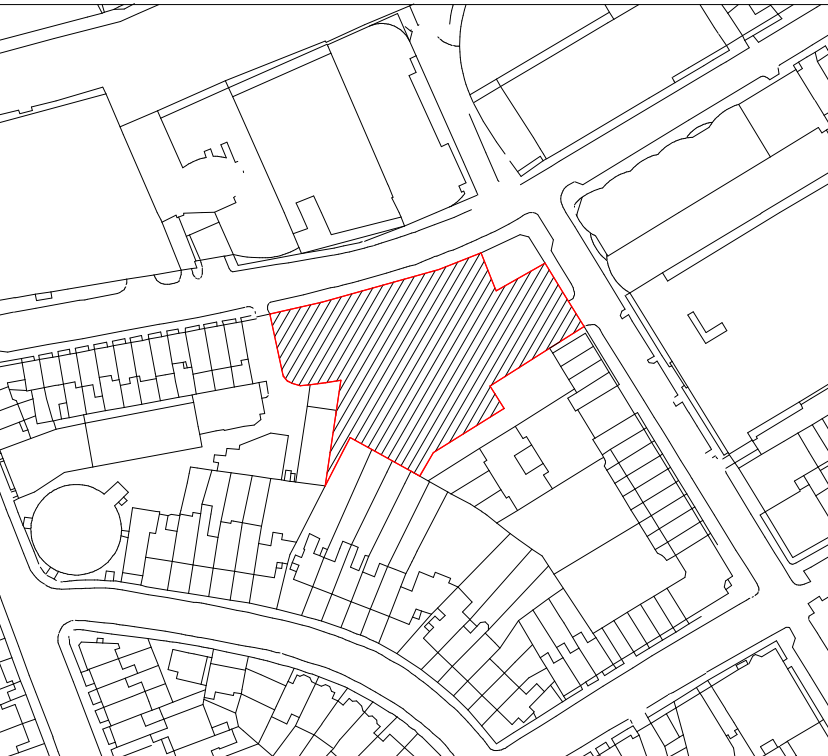
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job title
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drawing title / location
PROPOSED PLAN LEVEL 05

status	S2 - FOR INFORMATION / REFERENCE					
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project	originator	funct.	spatial	form	disc.	number
23054	MCO	XX	05	DR	A	06115