

123 Clerkenwell Road, EC1

Design & Access Statement





Document Control

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Contents

0.0. Introduction

- 0.1 Introduction
- 0.2 Executive Summary

1.0 Site & Context

- 1.1 Location & Context
- 1.2 Existing Building
- 1.3 Planning Context
- 1.4 Conservation Area
- 1.5 Heritage
- 1.6 Statutory Listing

2.0 Design & Heritage

- 2.1 Design Overview
- 2.2 Materiality
- 2.3 Layout and Accommodation
- 2.4 Heritage Impact

3.0 Appendix

- 3.1 Drawings
- 3.2 Schedules
- 3.3 Registers

0.1 Introduction

TPM Studio have been approached by the London Borough of Camden, the owners of the site, to submit an Application for Listed Building Consent for works to No.123 Clerkenwell Road, and a small retail unit over the ground floor and basement, to the western edge of the Radcliff building fronting onto Clerkenwell Road.

The Bourne Estate, in which the site is situated, is bounded by Clerkenwell Road, Leather Lane, Portpool Lane and Gray's Inn Road on the north, east, south and west respectively and as such is located within the Hatton Garden Conservation Area and the London Suburbs Area of Archeological Priority.

The estate was designed by the Camden Council architects in 1901-1903 and consists of six terrace blocks separated by green space. It was recognised for its free classical style and Grade II listed on 11th January 1999. The council have preserved the character and design of the original design through maintained use, primarily residential with some ground floor lots along pedestrian streets converted for commercial use.

123 Clerkenwell Road, however, is currently vacant, and the works proposed within the Design and Access Statement and accompanying Planning Drawings are required to allow a tenant to take occupancy of the building.



0.2 Summary of Proposals

The proposed works to 123 Clerkenwell Road includes the following elements:

- Replacement of the existing ground shop front door with a like-for-like glazed aluminium unit. Re-glazing, repair and refurbishment of the existing timber window and fanlight units to the north elevation, facing onto Clerkenwell Road;
- Repairs to the existing ground floor window to the rear of No.123, including replacement of 3 broken glazing panes along with works to remedy the damaged original clinker lintel;
- Installation of a new internal timber staircase, linking the ground floor and basement levels.

It is our belief that although these proposals will have a minor and highly localised impact on the heritage asset, the benefit gain in undertaking these works greatly out-weighs any negligible negative impact on the existing Heritage Asset and Statutory Listing.



Bromley Public Hall - Front Elevation

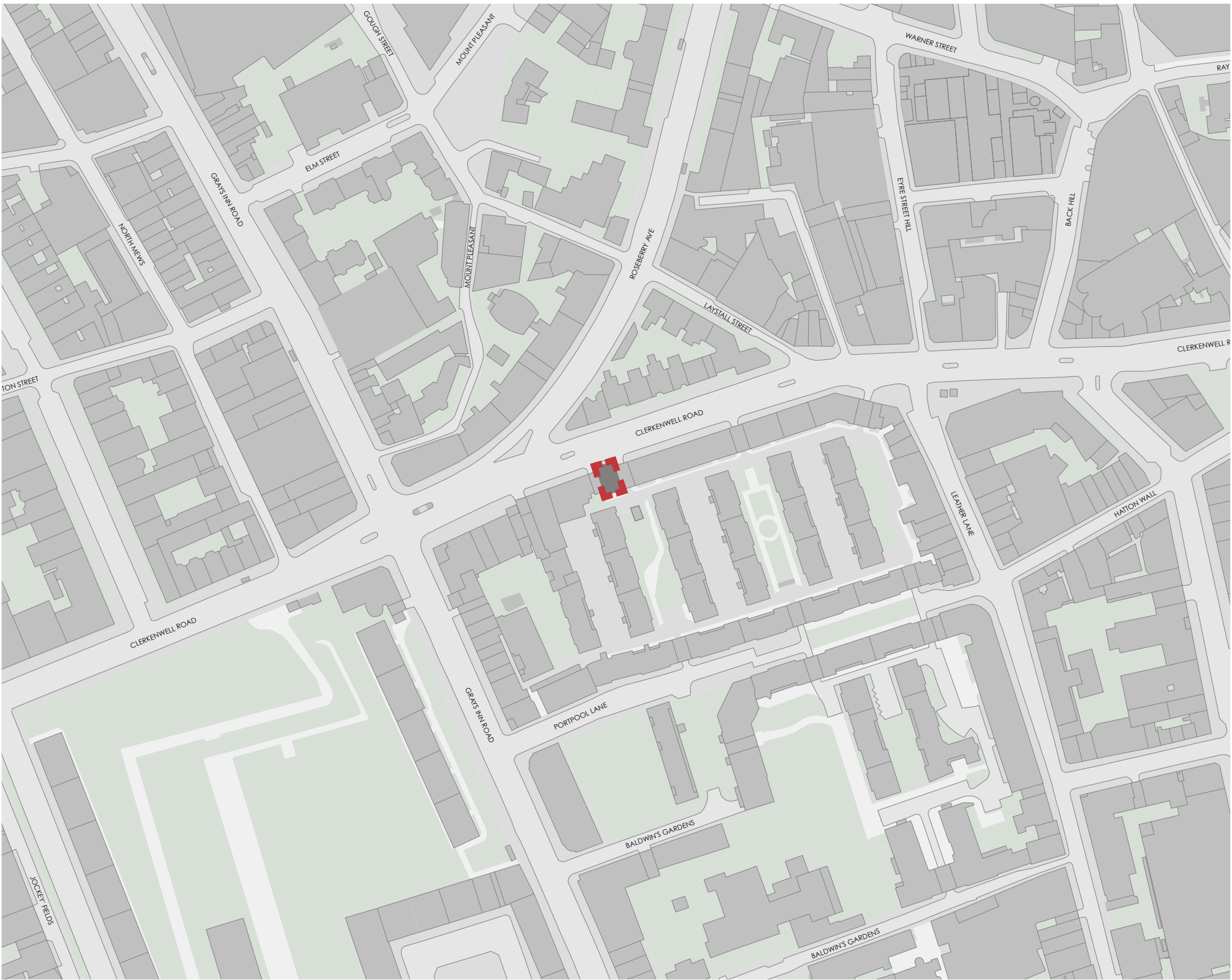
1.0 Site & Context

1.1 Site Location & Context

123 Clerkenwell Road is located in the south-east of the London Borough of Camden near the border to the London Borough of Islington and is in an area of great cultural significance close to The London Archives, Smithfield Market and the Barbican Centre.

The site is well-connected to local transport links: situated on an arterial route through central east London City, the C6 cycle route, and a short walk from Farringdon and Chancery Lane station

The local area is strongly residential with a number of prominent residential developments including Cavendish Mansions which faces the site. Further east, the area surrounding Hatton Garden is majority commercial with a strong creative identity including advertising, tech and architectural offices.



Key:  Site Boundary

Existing Site Location Plan

1.2 Existing Building

Site History

The Bourne Estate was commissioned by Camden County Council in the early 20th century and designed by E.H. Parkes under W.E. Riley. The site was bounded by the south by factories, industrial buildings and a Thanksgiving Model building housing 20 families and 128 single women until the building suffered damage in the Blitz in 1943. These structures were demolished and Mawson and Gooch Building were later erected on the land.

In 2013, Camden Council accepted plans to replace the unlisted Mawson Building with a mixture of private and social housing blocks in-keeping with the Edwardian style of the estate.

Existing Site

Spatially, the estate faces inwards, to the central housing blocks and gardens, enclosed at the perimeter by the Radcliff building which fronts Clerkenwell Road and Leather Lane whilst the Redman building faces to Portpool Lane.

The Radcliff building, within which No.123 is located, forms a monumental, uniform frontage, characterised by small ground-floor shops and arched entrances, allowing permeability to the housing blocks within. The detached blocks at the centre are arranged in parallel rows with significant open space and mature trees.

123 Clerkenwell Road is part of the Radcliff Building, however, is not noted in the statutory listing addresses. The site is a 2No storey unit, within a larger 6No storey volume, with accommodation split over ground floor and basement. The property is currently unoccupied, with the ground floor shop front presently faced with security shutters.



Areas Relating to Application

1.2 Existing Building

Volumes
The Radcliff building which houses No.123, faces onto Clerkenwell Road and varies between 5 and 6No storeys, with the lower elements set back slightly from the building line generated by the higher elements. The building has a brick plinth at the ground floor, featuring three broad arches along its length which lead through into the centre of the estate. The 5No storey volumes are topped with a flat parapet roof, while the taller 6No storey elements are topped with mansard roofs with brick chimneys.

The block which houses No.123 has the same articulation and height as the rest of the perimeter block facing Clerkenwell Road, but is much narrower, book-ending the boundary of the estate and one of the three broad arches leading through to the centre of the estate.

Material
The facade has a strong architectural identity, formulated around rhythm and symmetry, with the incorporation of grand, classical details. Materials are applied monumentally in various applications, like the giant pilasters for the arched entrances in render.

The larger 6No storey brick elements are faced in brown bricks with red brick features, such as brick-on-end lintels, banding to the base of the building, and quions to the edges of each element. The 5No storey stucco rendered elements include brick pedestals up to the top of the first floor, with rendered pillasters between window openings with doric capitals atop.

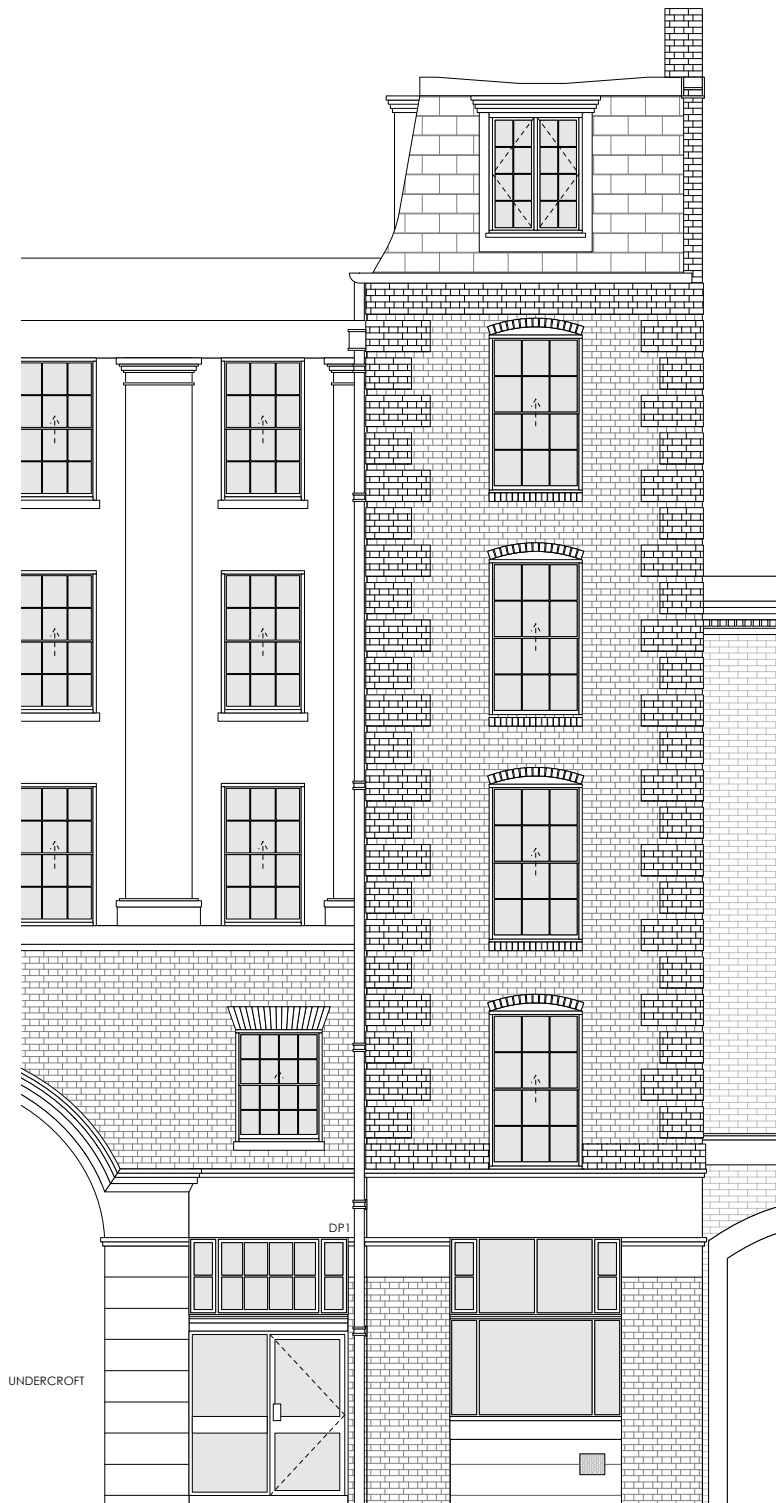
The building has sash windows to the main volumes above ground floor level, whilst the lead-clad dormer windows to the mansard roofs have casement windows. Windows within the brick faced elements have red brick arched lintels and red brick sills, whilst those within stucco faced elements have flat lintels and painted cement sills. Beyond the ground floor shop fronts, the only exception along the Clerkenwell Road are the windows to brick plinth the 1st floor of the 5No storey elements, which have red-brick flat arch lintels, fanning out at each end.



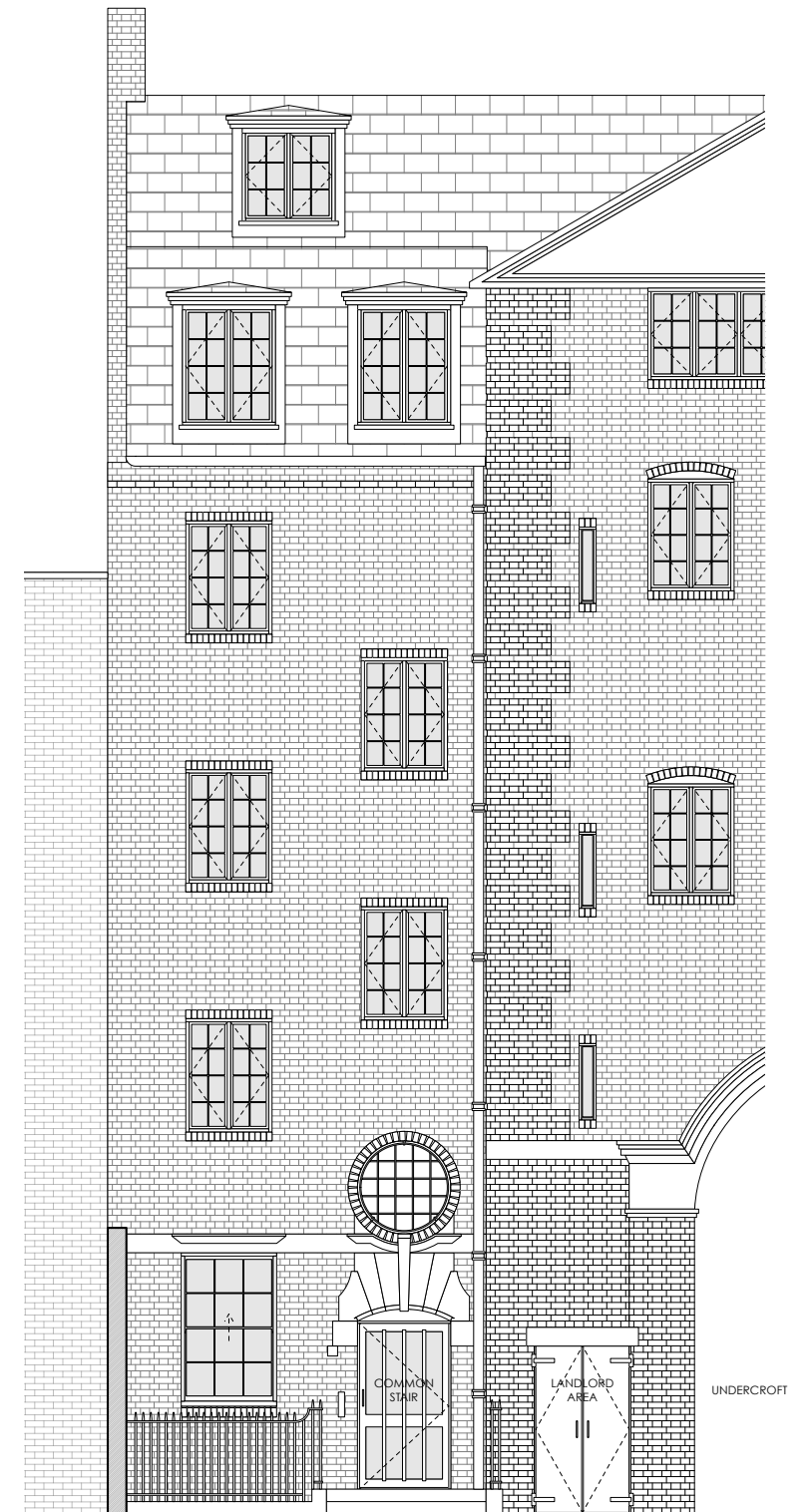
1.2 Existing Building

Ground floor shop fronts along Clerkenwell Road vary greatly, with each commercial unit exhibiting different shop front styles and materials. However, each shop front is contained within a consistent framing provided by glazed brick piers either side of openings, and a simple stucco pediment over the ground floor openings, which runs the full length of the facade.

The rear of the building is more pared-back, constructed of London Stock brick masonry in yellow with red articulations and some stuccoed elements. The rear of No.123 there is a basement light well with metal railings and concrete steps down from street level.



Existing Front Elevation



Existing Rear Elevation

1.3 Planning Context

Planning Context

Relevant planning policy is contained within the Camden Local Plan (2017) and the Camden Planning Guidance supplementary documents.

The site is designated within the Central London Area and located within the an Archaeological Priority Area and the Protected Vista between Blackheath Point to St Paul's Cathedral.

When reviewing the extent of the proposals, the relevant policies and points within them are scheduled below.

London Borough of Camden Local Plan 2017

Policy D2: Heritage

Conservation areas

In order to maintain the character of Camden's conservation areas, the Council will take account of conservation area statements, appraisals and management strategies when assessing applications within conservation areas. The Council will:

- e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area;
- f. resist the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area;
- g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and
- h. preserve trees and garden spaces which contribute to the character and appearance of a conservation area or which provide a setting for Camden's architectural heritage.

Listed Buildings

To preserve or enhance the borough's listed buildings, the Council will:

- i. resist the total or substantial demolition of a listed building;
- j. resist proposals for a change of use or alterations and

extensions to a listed building where this would cause harm to the special architectural and historic interest of the building; and

- k. resist development that would cause harm to significance of a listed building through an effect on its setting.

Planning History

2017/6421/L

Part-demolition of existing front façade above arched entranceway to provide enlarged access route to the rear of the site and reinstatement of the façade once works approved under ref: 2015/6751/P granted 12/05/2017 have been completed.

Status: **Granted**

Date: **28.11.2017**

2017/0799/L

The proposed installation of an ATM to be installed through the existing glazing to the right hand side of the shop front. Replacing part of the existing glazing with a white laminate composite security panel incorporating the ATM fascia with black bezels surround and white internally illuminated lettering Free Cash Withdrawals out of black background. Blue LED halo illumination to the ATM surround.

Status: **Withdrawn**

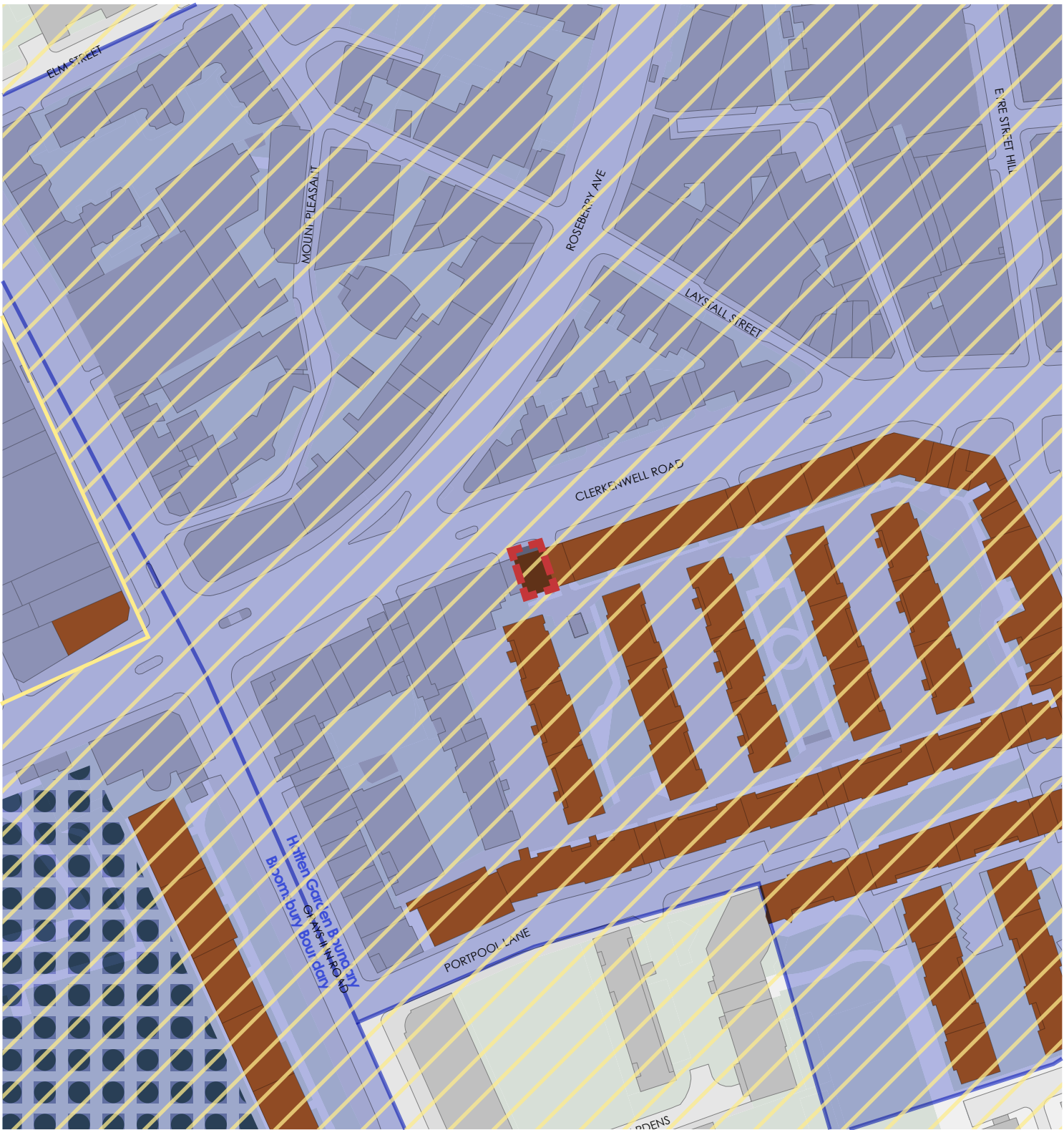
Date: **08.02.2017**

2004/3780/P

Change of ground floor use from retail use (Class A1) to a mixed use as private hire chauffeurs and minicabs (Sui Generis) and insurance services (Class A2).

Status: **Granted**

Date: **16.09.2004**



Key: Site Boundary Statutory Listing Conservation Area Gardens and Squares of Historic Interest Archaeological Priority Area

1.3 Planning Context

Archaeology
The Council will protect remains of archaeological importance by ensuring acceptable measures are taken proportionate to the significance of the heritage asset to preserve them and their setting, including physical preservation, where appropriate.

Policy D3: Shop fronts
When determining proposals for shop front development the Council will consider:

- a. the design of the shop front or feature, including its details and materials;
- b. the existing character, architectural and historic merit and design of the building and its shop front;
- c. the relationship between the shop front and the upper floors of the building and surrounding properties, including the relationship between the shop front and any forecourt or lightwell;
- d. the general characteristics of shopfronts in the area;

London Borough of Camden
Archaeological Priority Areas Appraisal 2018
Tier 2 - is a local area within which the GLHER holds specific evidence indicating the presence or likely presence of heritage assets of archaeological interest. Planning decisions are expected to make a balanced judgement for non-designated assets considered of less than national importance in respect of the scale of any harm and the significance of the asset.

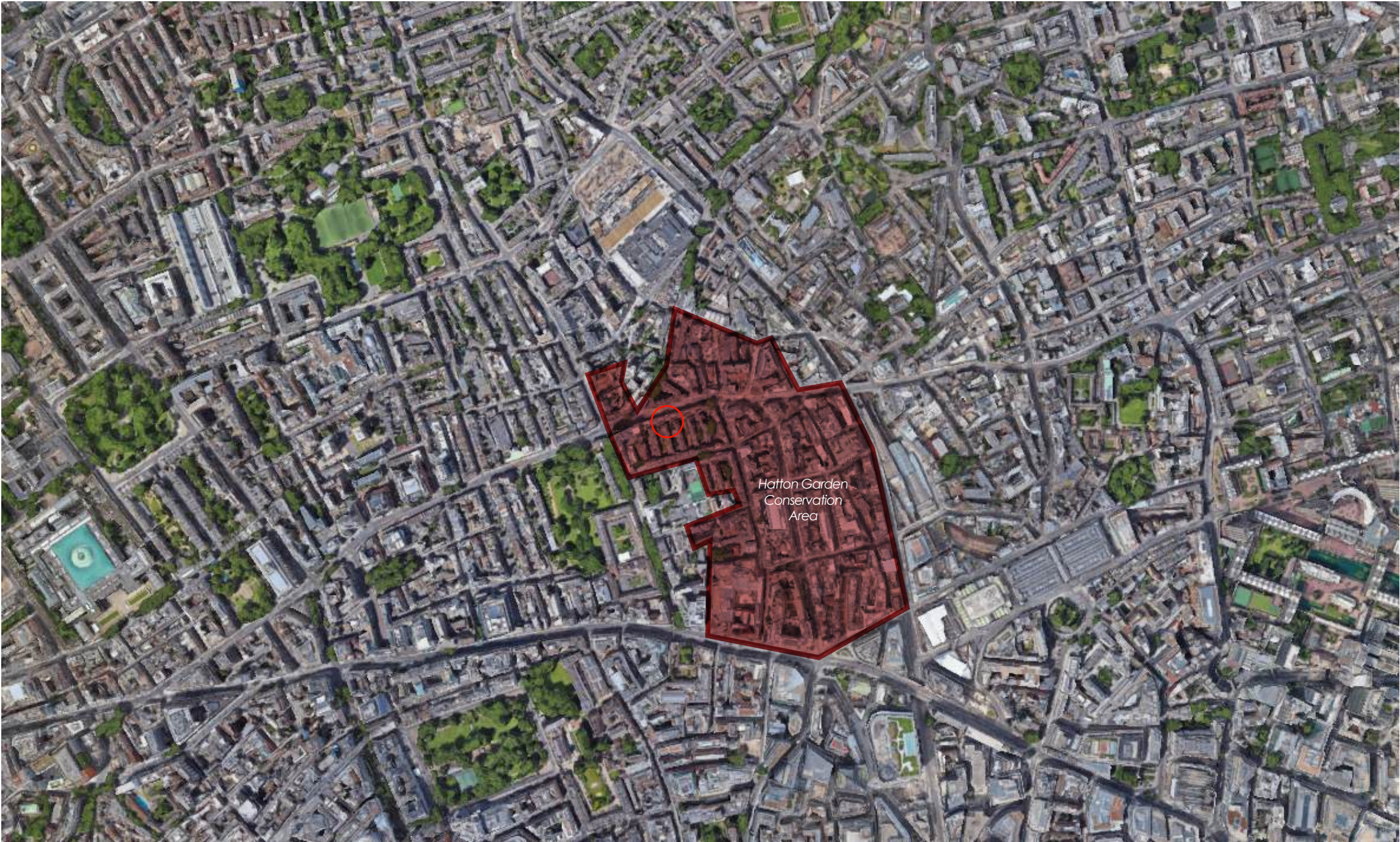
1.4 Conservation Area

Overview

Hatton Garden Conservation Area is located in the south-east corner of the London Borough of Camden, and borders the Bloomsbury Conservation Area on the west and the London Borough of Islington on all other sides.

The Conservation Area is centered around Hatton Garden, London's jewellery quarter, and is bounded by Warner Street and Elm Street to the north, Holborn Circus and Charterhouse Street to the south, a number of residential blocks and Chancery Lane to the west, and Farringdon Road and Herbal Hill to the east.

King's Cross St. Pancras Conservation Area was designated by the London Borough of Camden in 1999 and was amended once when the buildings west of Gray's Inn Road were transferred to the Bloomsbury Conservation Area.



Hatton Garden Conservation Area and Site

1.4 Conservation Area



Conservation Area (1676)



Conservation Area (1873)



Conservation Area (1914)

1.4 Conservation Area

Character Assessment

Hatton Garden Conservation Area is defined by its majority Victorian and Edwardian architecture. Prominent buildings situated within the area include Grade I Listed Roman Catholic Church of St Etheldred (c1300) and a variety of Grade II listed residential housing along Ely Place. The character of the area was established by the success of the diamond trade along Hatton Garden in the late nineteenth century, bringing in great investment to the area and laying the ground for its commercial and creative identity.

Defining buildings in the area include the Cavendish Mansion on Clerkenwell Road, made of London stock brick, and the more decorative Churston and Dawlish mansion blocks along Gray's Inn Road in red brick and stucco ornamentation. There are also a number of robust and unembellished buildings to the north: Panther House, a former factory, on Mount Pleasant and Herbal House, a former printworks, on Herbal Hill.

The architecture throughout is majority residential and commercial with evidence of some ex-industrial buildings. Though there is a consistent focus on detailing throughout, there is no defining style and the character of neighbouring buildings is often independent giving the area its diverse nature. The unplanned street layout and frequent street markets also lend themselves to the pedestrian-friendly, lively atmosphere, particularly near Hatton Garden.



1.4 Conservation Area



1.



2.



3.



4.

- 1. Grade I Listed Roman Catholic Church of St Etheldred
- 2. Grade II Listed terraced housing along Ely Place
- 3. View of Hatton Garden
- 4. View of Saffron Hill

1.5 Heritage

The property is Grade II Listed and is located in an area with a high concentration of other Grade II Listed housing - in particular the other properties within the Bourne Estate to the west of the site - and within the Hatton Garden Conservation Area.

The Bourne Estate is one of the defining and most expansive heritage sites within the conservation area and, as such, has its own sub-area within Hatton Garden.

-  Grade II Listed Building
-  Grade II* Listed Building
-  Locally Listed Building
-  Hatton Garden Conservation Area



1.6 Statutory Listing

Although 123 Clerkenwell Raod is not categorically stated in the Statutory Listing addresses, it is clear it is part of the Radcliff building within the Bourne Estate, and therefore considered as such for the purposes of this application.

**National Heritage List:
Grade II Listed Building**

List Entry Number: 1245473

Listed: 11.01.1999

Address: Radcliff House, 1-105 Clerkenwell Road, EC1

TQ 3181 NW CAMBDEN CLERKENWELL ROAD (South side)
798-1/102/1769 Bourne Estate (Northern part) 11.01.1999

Housing estate for the London County Council. 1901-3. Designed by the LCC Architect's Department (chief assistant for scheme E H Parkes under W E Riley). The Bourne Estate is the third of the three key estates built by the London County Council in the years of its greatest innovation.

Long east-west blocks (Radcliff House and Redman House) to perimeter of estate, with broad arches leading through to centre of estate, their stuccoed upper storeys with giant pilasters.

Radcliff House: long elevation to Clerkenwell Road, shorter elevations in two sections to Leather Lane, and canted corner between with principal entrance arch to estate and pyramidally capped towers left and right. Ground storey towards roads have shops, with granite piers in between. Upper storeys towards Clerkenwell Road alternate between plain brick elevations with dormers in roof and slightly recessed stuccoed sections with giant pilasters rising through three storeys and parapet over. 3 broad moulded segmental arches lead through to centre of estate, the arch at the corner being more fully detailed with voussoirs and small brick windows over.

Elevations of red, orange and stock bricks with some blue and glazed bricks. Portions of upper elevations towards Clerkenwell Road and Portpool Road stuccoed. Brick

chimneys, slated roofs. Stone string courses, parapets and segmental arches. Concrete open stairs and balconies with iron railings. Wooden sash and casement windows, some within segmental brick arches and with brick aprons.

Reference: Heritage England
<https://historicengland.org.uk/listing/the-list/list-entry/1245473?section=official-list-entry>



Radcliff House and Redman House, from the corner of Clerkenwell Road and Leather Lane.

2.0 Design & Sustainability

2.1 Design Overview

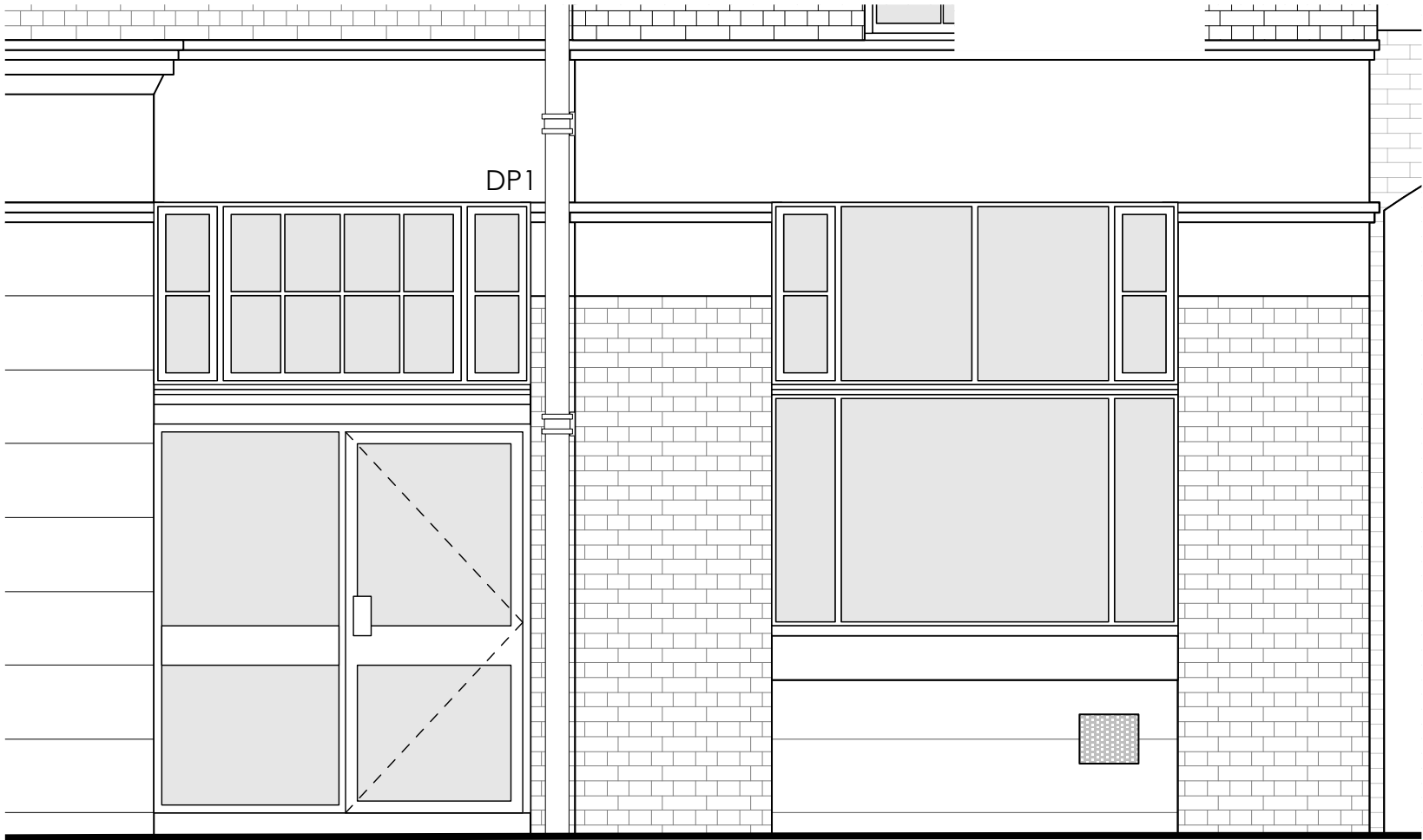
The proposals include the following elements:

- Repair, re-glazing and refurbishment of the existing ground floor shop front window and fan light over the door unit to the north elevation, facing onto Clerkenwell Road; along with the replacement of the existing aluminium entry door with a like-for-like glazed aluminium unit.
- Repairs to the existing ground floor window to the rear of No.123, including replacement of 3No broken glazing panes along with works to remedy the damaged original clinker lintel;
- Installation of a new internal timber staircase, linking the ground floor and basement levels.

Replacement of Shop Fronts

The existing shop front door opening to No.123 (which is currently boarded up for security reasons) has aluminium frames which are in poor condition, as well as a timber framed fanlight over the door opening. It is proposed that the aluminium door unit is to be replaced with a new aluminium framed door, whilst the existing timber fanlight is to be re-glazed and refurbished.

Unlike the existing shop front door, the existing ground floor window opening onto Clerkenwell Road has a timber frame. However, this is also in poor condition and in need of re-glazing and refurbishment. As such, it is proposed to re-glaze, repair and refurbish the unit.



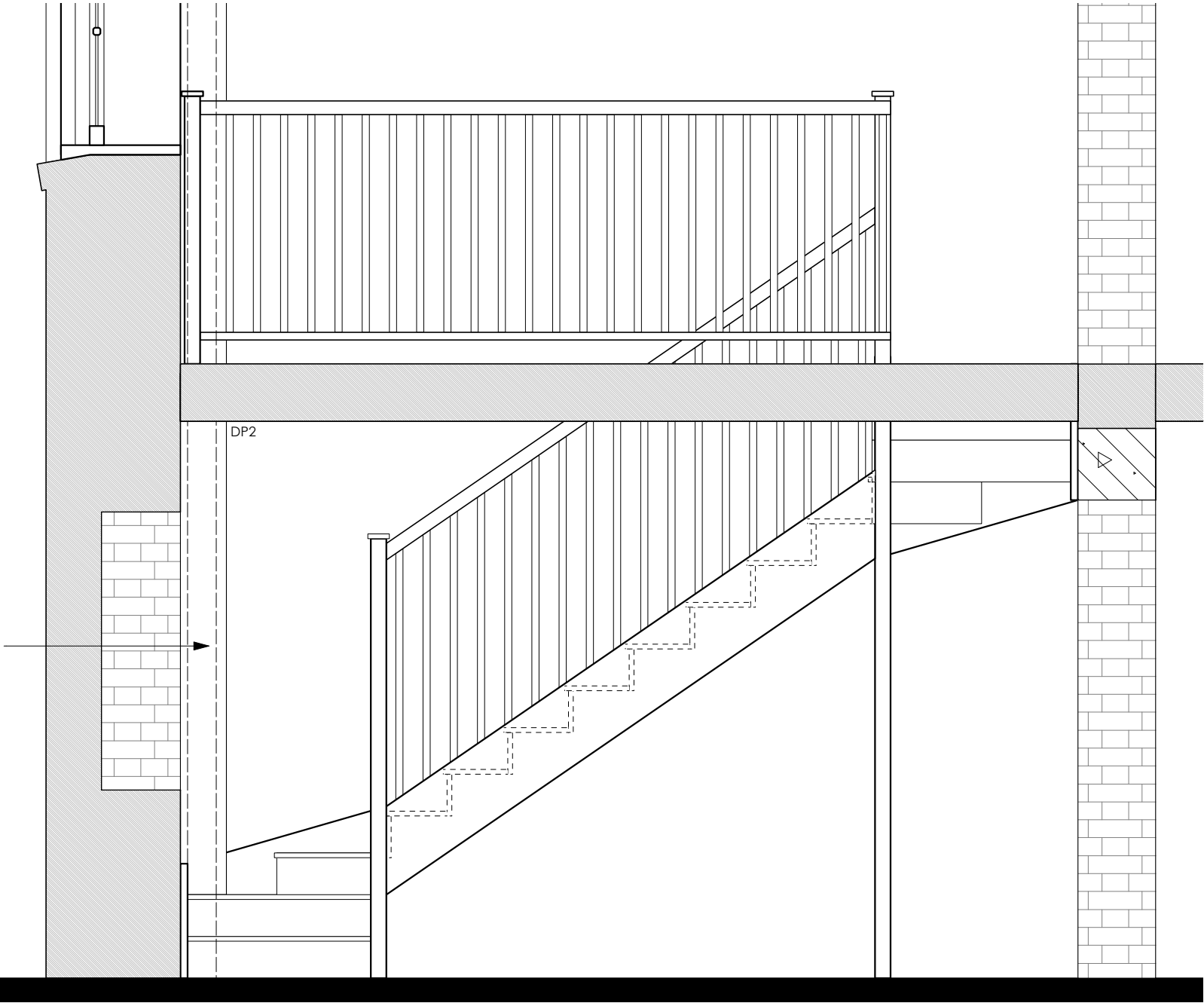
Proposed Replacement Shop Front Window and Door to Clerkenwell Road Elevation

2.1 Design Overview

New Interior Circulation Stair

Currently there is no internal circulation stair between the ground floor and basement levels of No.123, meaning access between the two floors can only be gained through using the existing escape stair, which is shared with the residential developments above.

As such, it is proposed that a new staircase is installed to provide access between the two levels for users of the property. These works will involve adaptations to the existing ground floor structure, including cutting and trimming of existing joists, along with removal of boards as required to form the proposed opening for the stair. Following this, a new timber staircase, with timber stringers to the edge of each flight, is to be installed. The proposed stair is of a simple design, with square profile balustrade and square newel posts with simple capping details.



Proposed Stair Between Ground Floor and Basement

2.1 Design Overview

Repair Works to Rear Window

3No of the existing glazing panes to the existing ground floor rear window to No.123 are broken and in need of replacement. In the completion of these works it is proposed the existing timber sash window frame, boxes, weights, rails etc are retained, and only the broken glass between the glazing bars is replaced. It is not clear whether the panes of glass are kept in place with timber beading or putty, however, woks will aim to retain timber beading profiles where possible, and replace putty to match existing as necessary.

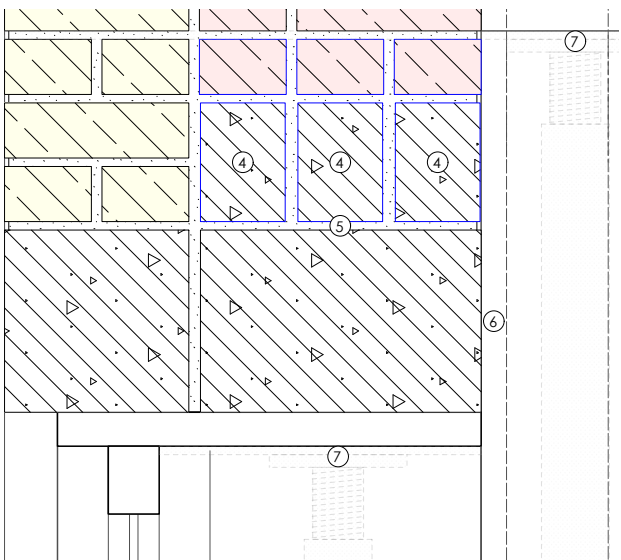
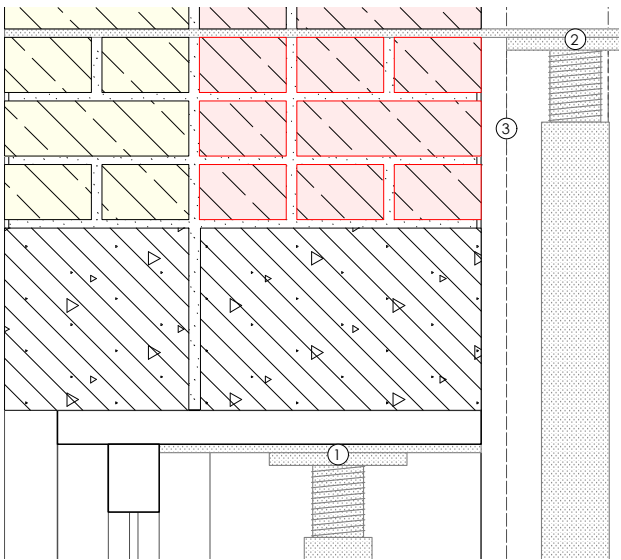
Along with this, the existing clinker lintel supporting the inner leaf of brickwork is showing serious signs of disrepair. As such, it is proposed that a new lintel is installed above the existing clinker lintel, preserving the fabric of the existing Listed Building, but ensuring its structural performance is completed by a new and undamaged structure. This will ensure no further damage occurs to the clinker lintel, or the external wall should it continue to degrade.

The proposed sequence of works is illustrated in the adjacent detail drawings, with annotations for each numbered label as follows:

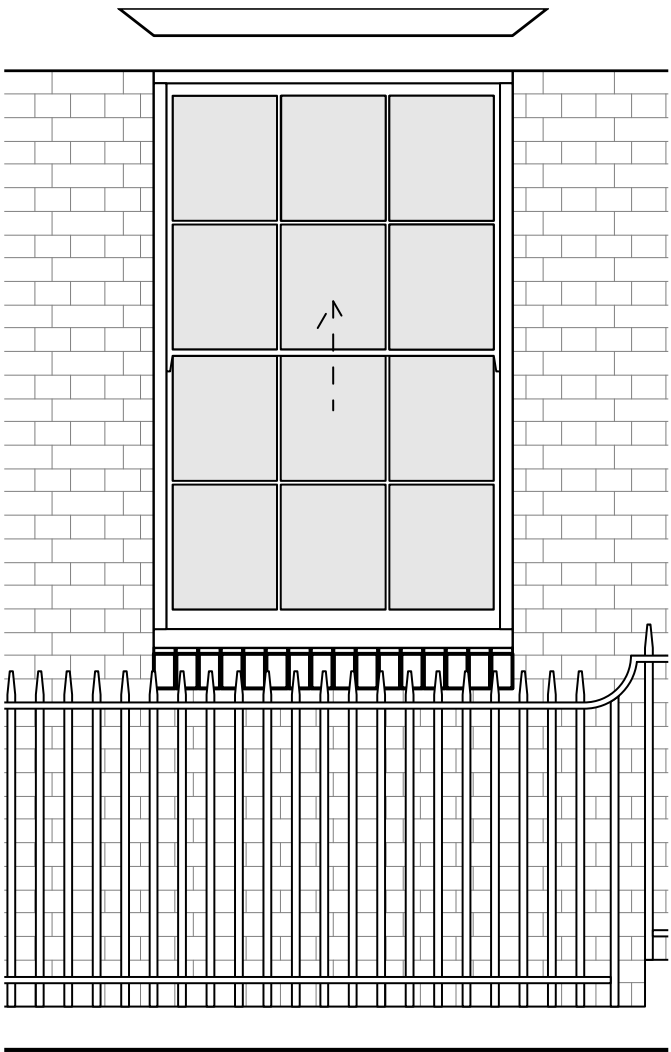
1. Strongboy & acrow prop above window frame, below the lintel (post FosRoc repair, if it is viable);
2. Strongboy & acrow prop in the mortar bed 3 courses above the Clinker lintel. The walls in this area are solid brick, English bond, London Stock outer skin and London Red inner skins. The strong-boy pockets will be created to support the London Stock skin during the renovation process, but the outer skin will not be removed as part of the works. Any disturbed pointing will be replaced like-for-like;
3. Carefully remove the mortar beds and cut out bricks above the existing Clinker Lintel, retain for re-use post lintel installation;
4. Replace with 3 no. back-to-back, pre-cast, concrete lintels (Naylor R6, 100(W)x145(H)mm @ 1800mm to be trimmed on site, with a minimum end bearing of 150mm at both ends, for each lintel). Install one then the other, set in place, then reinstate the retained original bricks

above the lintels using matching mortar to the original spec (Hydraulic Lime mortar) and leave to set for 48hrs;

5. Dry pack and compact between the old and new lintels with a strong mix and leave for 48hrs;
6. Return after setting time, make good to old lintel using Sika 615 High Build and 620 fairing coat;
7. Remove propping and re-point the brickwork pockets using matching mortar to the original spec (Hydraulic Lime mortar).



Proposed Sequence of Works to Install New Lintel/Repair Existing



External Elevation of Ground Floor Rear Window

2.2 Materiality

New Interior Circulation Stair
The proposed stair is intended to be constructed out of pine timber. 3D model of proposed stair adjacent



Aluminium Frames to Shop Front Door
New glazed aluminium framed door to replace the existing unit in anodized or polyester powder coated to a dark grey finish.



Timber Shop Front Window & Fanlight
Existing timber window frames, stiles, transoms and mullions to be retained, glazing replaced to match existing. Beads/putty to be retained/replaced as necessary to match existing.



Rear Window Repairs
Existing timber sash window frame, boxes, weights, stiles etc to be retained, and broken glazing to be replaced with single glazed panes to match the existing. Beads/putty to be retained/replaced as necessary to match the existing.

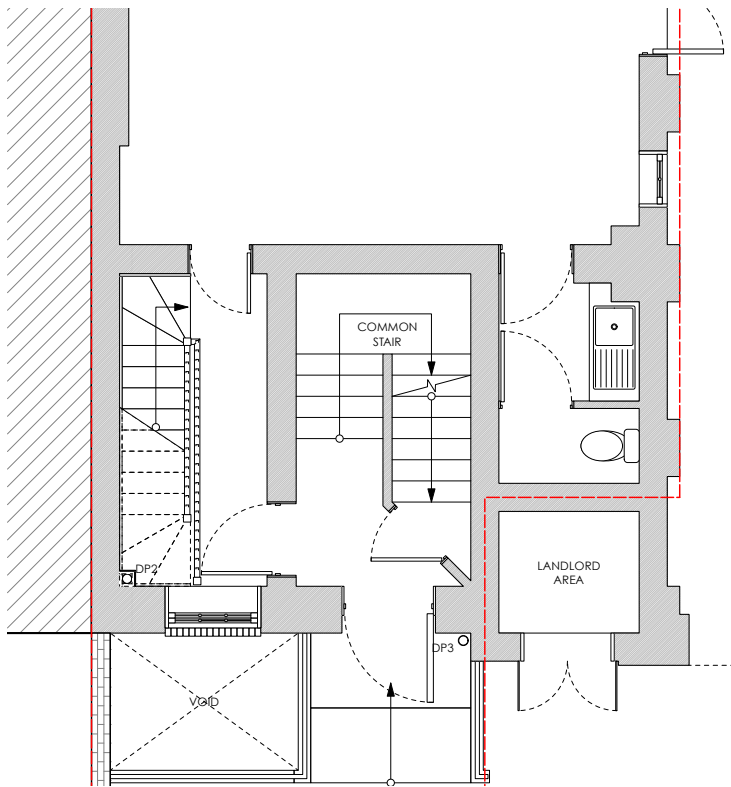


2.3 Layout and Accommodation

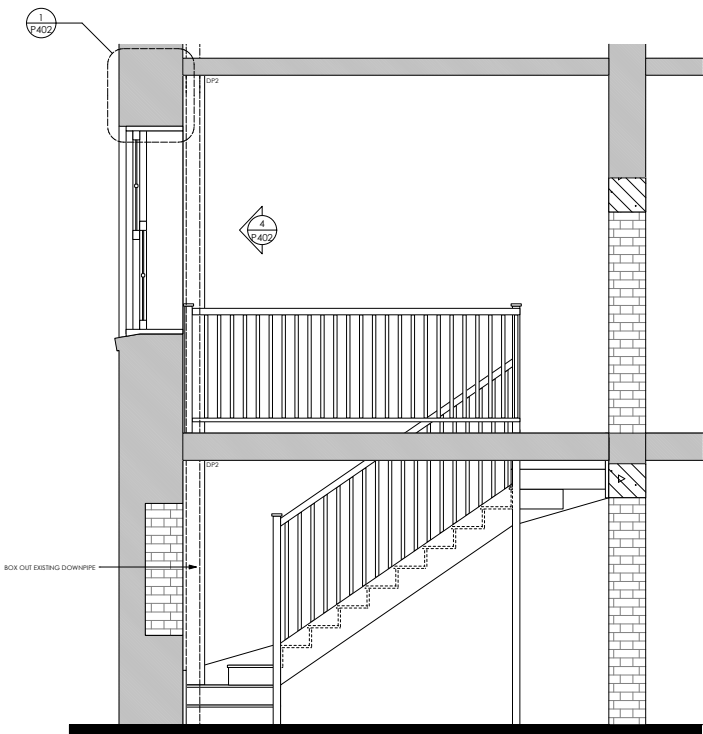
This application proposes to repair and replace the exterior window and doors of the title property and introduce an internal circulation stair so that the common stair is not required to navigate the two levels.

The interior works are limited to the proposed circulation stair, with the original arrangement to be unchanged.

This does not look to alter the existing scale of the Radcliff building and looks to maintain portions of the original exterior. Nor does it seek to change the existing Gross Internal Area (GIA), or Gross External Area (GEA).



Proposed Ground Floor Plan



Proposed Section - Stair

2.4 Heritage Impact

Heritage Impact

Replacement of Shopfronts

The existing retail frontage of the Radcliff Building along Clerkenwell Road demonstrates no consistency between the shop fronts, whether in material, colour or arrangement. As such, there is no precedent or overriding style to follow for the proposed replacement of existing shop front door and window.

Originally, No.123 would have had both timber windows and doors to the frontage. However, within the last decade, the door opening was changed to aluminium, much like the majority of the retain units at the ground floor of the Radcliff Building.

The proposed replacement of the shop front door and window with like-for-like materials, mirroring the current situation, will result in no net impact to the Heritage Asset. Works are limited to these bays and the heritage facade of the Radcliff building will otherwise remain unchanged.



Other Shop Fronts In The Radcliff Building



Internal & External Views of Existing Shop Front to No.123

2.4 Heritage Impact

New Interior Circulation Stair
The proposed internal circulation stair will impact on the existing heritage asset through the works required to form the opening in the ground floor, providing access to the basement level. This will involve the cutting and trimming of the existing floor joists, along with the removal of a small area of floorboards to create the floor opening required.

There will be a small loss of heritage fabric resulting from this, however, where possible, the existing timber joists are to be re-used to trim the new opening, and the existing floorboards are to be reused in other areas of the property as far as possible.

As with alterations to shop fronts, there is also precedent for stairs being added to retail units along the Clerkenwell Road elevation of the Radcliff building. A review of some of the existing units found ground to basement circulation stairs had been added to at least 2No adjacent properties, including No.117-119 and No.121, photos of which are included adjacent.



Existing Stairs to No.121 (above) and No.117-119 (below)



Existing Floor Construction to Location Where Stair is Proposed

2.4 Heritage Impact

Rear Window Repairs

The rear elevation has fewer historic features and but is still referenced to within the Listing of the building, facing toward the rest of the Bourne Estate. The repairs on the rear window look to extend the life of the original window by replacing some broken panes. Some repairs to the lintel from the interior side will help maintain the original fabric around the opening. If left unattended, may otherwise result in more significant damage to the facade of the Listed Building.

The main impact on the heritage asset will result from the replacement lintels, which will be visible from the inside of the building within the inner leaf of brickwork. Although this will result in a jarring appearance internally, it avoids the replacement of the existing clinker lintel, which would not only result in the loss of heritage building fabric, but also possibly result in damage to the external facade surrounding the window opening.

Overall

Any heritage impact resulting from the proposals is extremely localised, and will not impact on the over heritage asset. Although these changes will result in nominal changes to the existing building fabric, these are required (in the case of repair works to the rear window) to prevent further damage to the existing building fabric, and provide suitable retail accommodation to the ground floor units to continue to allow for tenants to use and occupy the whole unit, maintaining the important active frontage along Clerkenwell Road.



External & Internal View of Window to be Repaired

3.0 Appendices

3.1 Drawings

1207-P001-0_LOCATION PLAN
1207-P010-0_SITE PLAN

1207-P101-0 EXISTING PLANS
1207-P301-0 EXSITING ELEVATIONS
1207-P401-0 DETAIL DRAWINGS - EXISTING

1207-P102-0 EXISTING PLANS WITH DEMOLITION
1207-P302-0 EXSITING ELEVATIONS WITH DEMOLITION

1207-P103-0 PROPOSED PLANS
1207-P303-0 PROPOSED ELEVATIONS
1207-P402-0 DETAIL DRAWINGS - PROPOSED

3.2 Schedules

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3.3 Registers

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