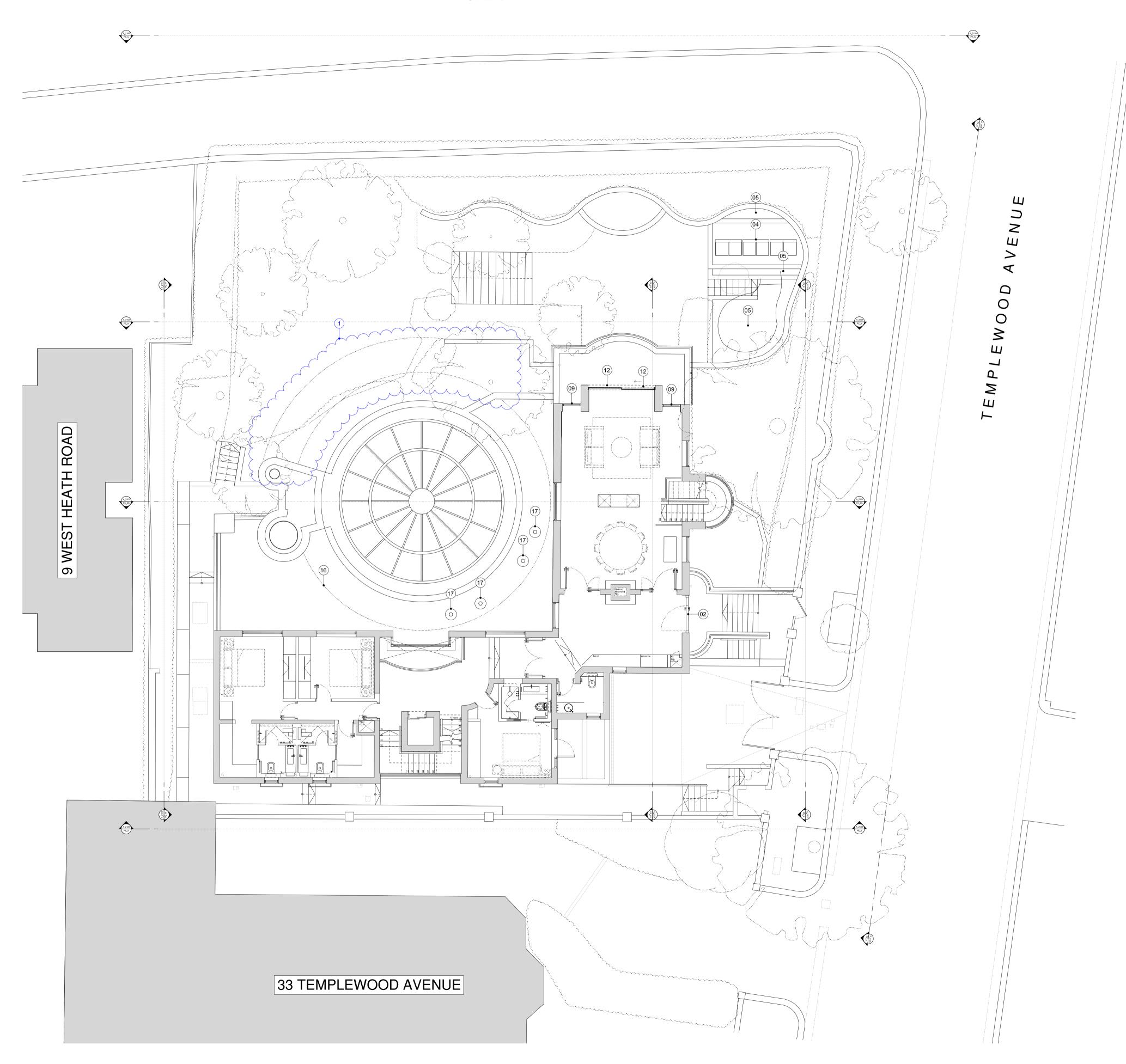
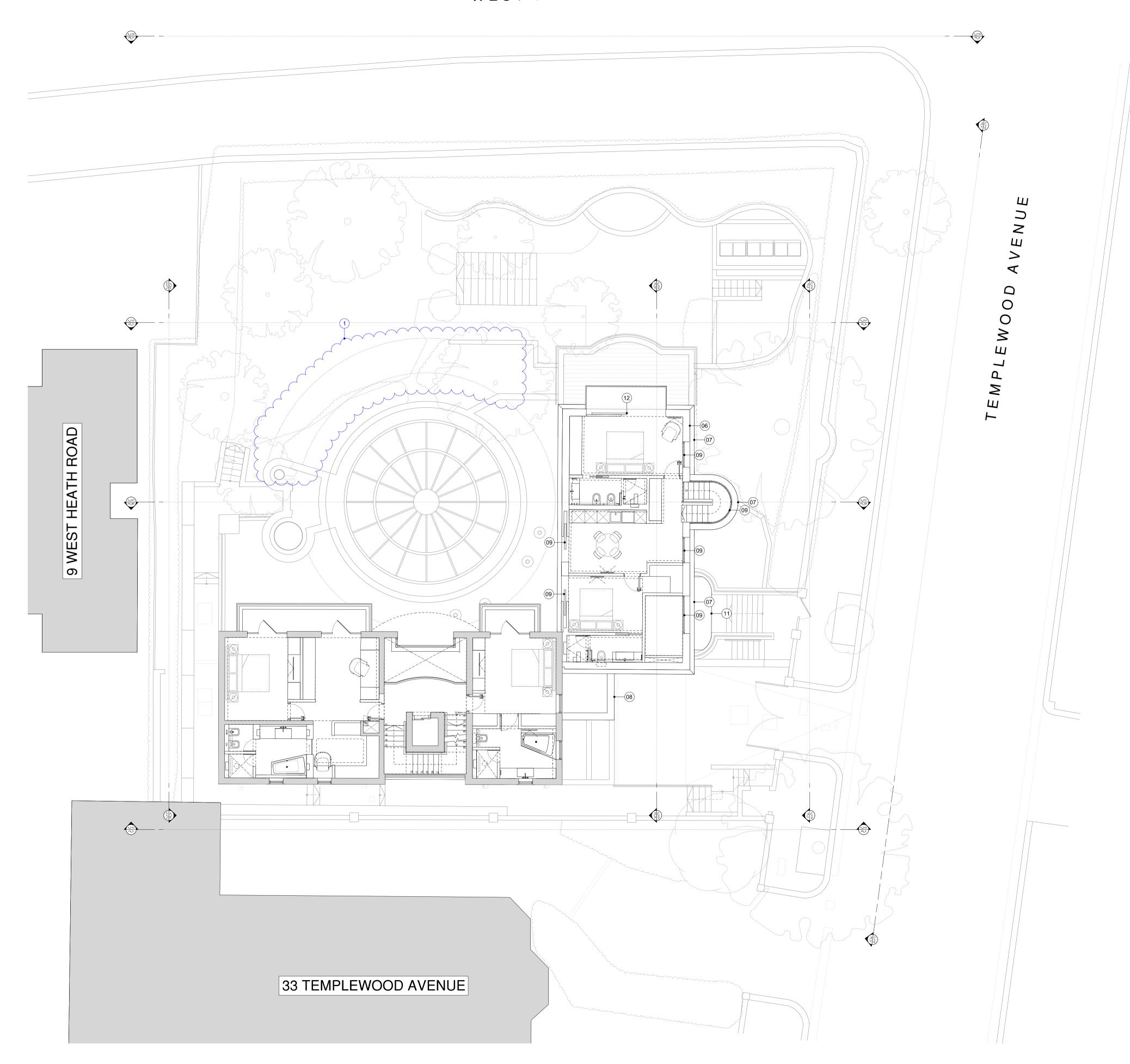


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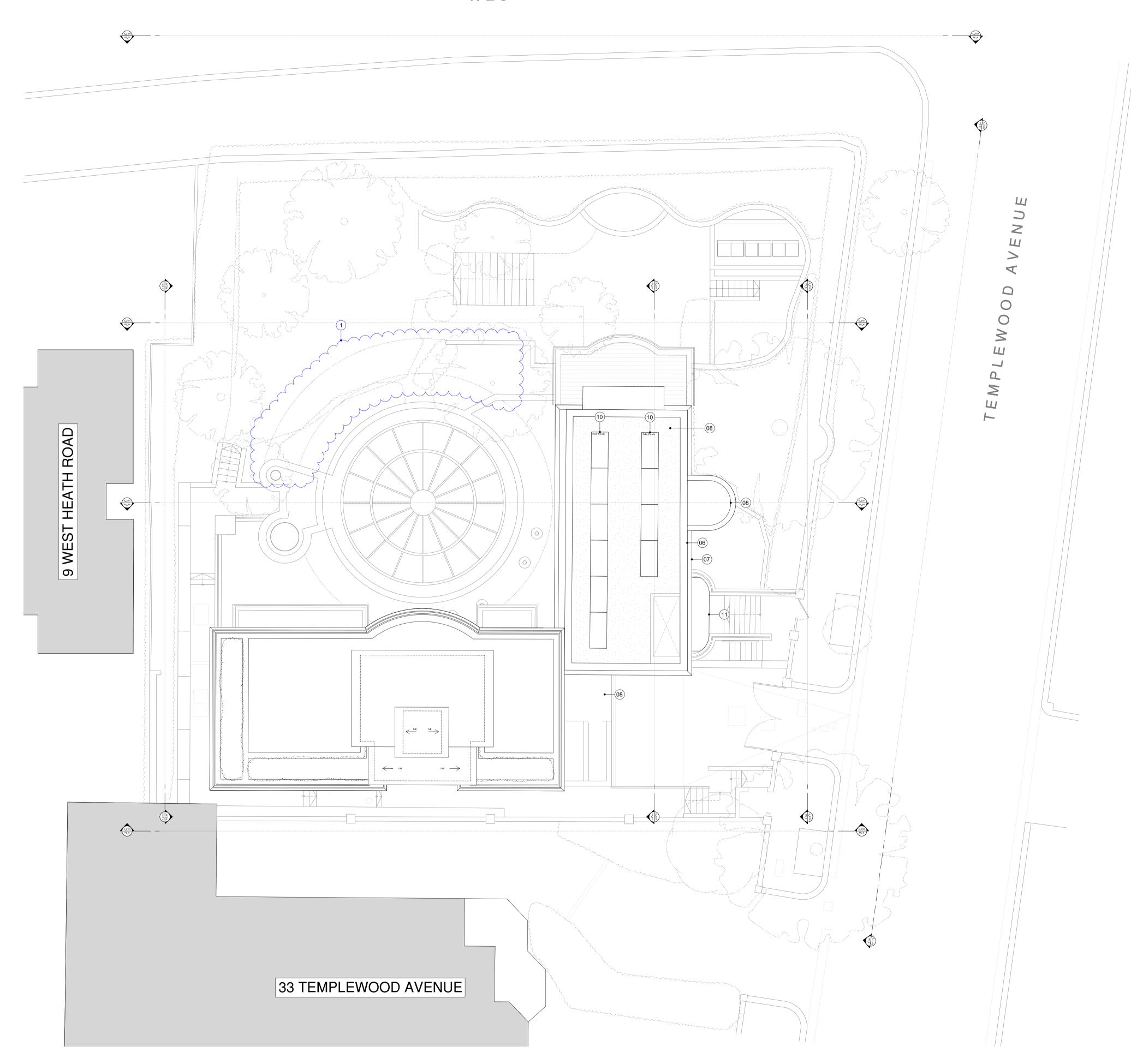


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PLANNING  PLANNING  Proposed First Floor Plan  Drawing No. A_2001 Rev. A  Drawing No. MV Approved RD  First revision 16.12.2024 Updated 24.03.2025	15.New relocated	column.		
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Boncara 35 Templewood Avenue London NW3 7UY

Andrea Sambo

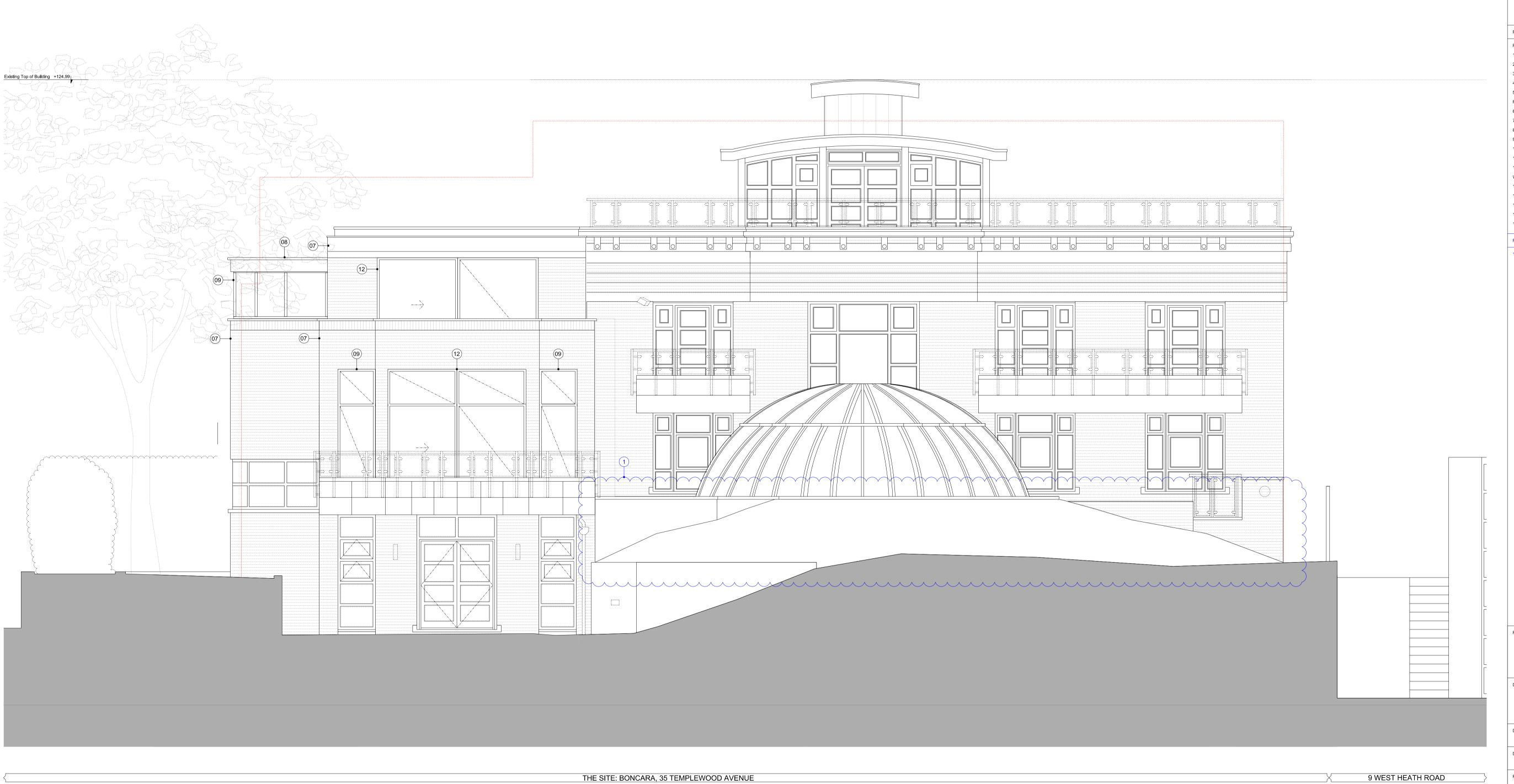
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Studio Three Architects Limited. All construction works to comply with British Standards and Building Regulations requirements. Any errors on drawings or omissions should be reported to Studio Three. This drawing cannot be used to calculate areas for the purposes of valuation. A measurements should be checked on site. These drawings should not be scaled.  Legends & Notes	Studio Three Architects Limited, All construction works to comply with British Standards and Bullding Regulations requirements. Any errors on drawings or omissions should be reported Studio Three. Phis drawing cannot be used to calculate areas for the purposes of valuation, A measurements should be checked on site. These drawings should not be scaled.  Legends & Notes  Existing Proposed wall / partition  Brick Metal Roof  Titles  Proposal Notes  Refurbishment:  1. New up-and-over garage doors within existing opening, bronze coloured finish.  2. New front entrance door within existing opening, bronze coloured finish.  3. New external door within existing opening, bronze coloured finish.  4. New external door within existing opening, bronze coloured finish.  5. New landscape and bullt-in planters to screen external A/C condenser unit.  First Floor Extension:  6. First floor extension:  6. First floor extension inset from the building perimeter constructed in red bricks to match existing. New parapets in red brick and stone to match existing. Reference existing detail.  8. New flat roof:  9. New metal framed, double glazed window, bronze coloured finish.  10. New solar panels on flat roof.  11. New canopy above front door entrance in red brick to match existing.  12. New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13. New bronze coloured, glass metal framed window.  14. New bronze coloured, glass metal framed door.  15. New relocated column.  16. Reinstatement of earth mound around retained pool.  17. Existing sun 'tubes' extended to provide natural light through the earth mound.		Issued for Planning		16.12.2024 24.03.2025
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Building Regulations requirements. Any errors on drawings or omissions should be reported the Studio Three. This drawing cannot be used to calculate areas for the purposes of valuation. A measurements should be checked on site. These drawings should not be scaled.  Legends & Notes  Existing  Proposed wall / partition  Brick  Metal Roof  Titles  Proposal Notes  Refurbishment:  1. New up-and-over garage doors within existing opening, bronze coloured finish.  2. New front entrance door within existing opening, bronze coloured finish.  3. New external door within existing opening, bronze coloured finish.  4. New external door within existing opening, bronze coloured finish.  5. New landscape and built-in planters to screen external A/C condenser unit.  First Floor Extension:  6. First floor extension inset from the building perimeter constructed in red bricks to match existing.  8. New flat roof.  9. New metal framed, double glazed window, bronze coloured finish.  10. New solar panets on flat roof.  11. New canopy above front door entrance in red brick to match existing.  12. New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13. New bronze coloured, glass metal framed door.  15. New relocated column.  16. Reinstatement of earth mound around retained pool.  17. Existing sun 'tubes' extended to provide natural light through the earth mound.	Balleting Regulations recognised and activities of selection of select	Studio Thre	e Architects Limited All con	struction works to comply	with Rritish Standards and
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Proposal Notes  Refurblshment:  1.New up-and-over garage doors within existing opening, bronze coloured finish.  2.New front entrance door within existing opening, bronze coloured finish.  3.New external door within existing opening, bronze coloured finish.  4.New external A/C condenser unit.  5.New landscape and built-in planters to screen external A/C condenser unit.  First Floor Extension:  6.First floor extension inset from the building perimeter constructed in red bricks to match existing.  7.New parapets in red brick and stone to match existing. Reference existing detail.  8.New flat roof.  9.New metal framed, double glazed window, bronze coloured finish.  10.New solar panels on flat roof.  11.New canopy above front door entrance in red brick to match existing.  12.New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13.New bronze coloured, metal framed window.  14.New bronze coloured, glass metal framed door.  15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.	Proposal Notes  Refurthshmetic  Note up and/corp grange doors within existing opening, berace coloured finish.  2-New servand door within existing opening, berace coloured finish.  3-New advanted Accordinate unit.  5-New landscape and tubbin planties to screen advanted in red brides to match existing.  5-New papers in our brick and store to match outsing. Reference existing detail.  6-New restar advanted in rest through the building partimeter constructed in red brides to match existing.  7-New papers in on the root.  1-New canage store fine door entrance in red brick to match existing.  1-New canage store fine door entrance in red brick to match existing.  1-New canage store fine door entrance in red brick to match existing.  1-New metal framed, coulde glazed doors, bronze coloured finish.  Worst to lated Swinning Floot.  1-New metal framed, coulde glazed doors, bronze coloured finish.  Worst to lated Swinning Floot.  1-New remarks are not exist in mound around relatined good.  1-New remarks are not exist in mound around relatined good.  7-Revisiting san 'there' extended to provide natural light through the earth mound.  Please  Please  Please  Please  Please  Please  Please  Please  A Approved Ro  Floor revisiting  1-New Approved Ro  Ro  Floor Roberts  1-Revisiting Roberts  1		Brick		Metal Roof
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8.New flat roof.  9.New metal framed, double glazed window, bronze coloured finish.  10.New solar panels on flat roof.  11.New canopy above front door entrance in red brick to match existing.  12.New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13.New bronze coloured, metal framed window.  14.New bronze coloured, glass metal framed door.  15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.	8. New flat roof. 9. New seals panels on filat roof. 11. New cancey above front door entrance in red bids to match existing. 12. New retell framed, double glazed doors, bronze coloured finish. Works to Listed Swimming Pool: 13. New tronze coloured, glass metal framed door. 15. New relocated octumn. 15. New relocated octumn. 17. Existing sun "tubes" extended to provide natural light through the earth mound.  Revision A Notes  1. Reinstatement of earth mound arrounding the Grade II listed poel.  Phase  PLANNING  Proposed Roof Plan  Drawing title Proposed Roof Plan  MV  Rev. A  Drawn MV  Rev. A  Licetard Rep.  Liceta	6.First floor exten	sion inset from the building		
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12.New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13.New bronze coloured, metal framed window.  14.New bronze coloured, glass metal framed door.  15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes	12.New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool:  13.New tronze coloured, glass metal framed window;  14.New tronze coloured, glass metal framed door.  15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes  17. Reinstatement of earth mound surrounding the Grade III listed pool.  Phase  PLANNING  Drawing title  Proposed Roof Plan  Drawing No.  A_2003  Rev.  A  Drawn  MV  Approved  RD  First revision  Undated	10.New solar par	els on flat roof.		
13.New bronze coloured, metal framed window.  14.New bronze coloured, glass metal framed door.  15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes	13.New bronze coloured, issels framed window. 14.New bronze coloured, isses metal framed door. 15.New relocate doorm. 16.Reinstatement of earth mound around retained pool. 17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes  1. Reinstatement of earth mound surrounding the Grade III listed pool.  Phase  PLANNING  Prawling title Proposed Roof Plan  Drawling No. A_2003  Rev. A  Drawn  MV  Approved  RD  Fret revision  United ed  1. Notes the coloured of the col	12.New metal fra	med, double glazed doors, b		y.
15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes	15.New relocated column.  16.Reinstatement of earth mound around retained pool.  17.Existing sum 'tubes' extended to provide natural light through the earth mound.  Revision A Notes  1. Reinstatement of earth mound surrounding the Grade III listed pool.  Phase  PLANNING  Proposed Roof Plan  Drawling Ittle  Proposed Roof Plan  Drawling No. A_2003  Rev. A  Drawn MV Approved RD  First revision I Locistant	13.New bronze co	ploured, metal framed windo		
17.Existing sun 'tubes' extended to provide natural light through the earth mound.  Revision A Notes	PLANNING  Prawing title Proposed Roof Plan  Drawing No. A_2003  A_2003  Rev. A  Drawn MV Approved RD  First revision A Notes  Light through the earth mound.	15.New relocated	column.		
	Phase PLANNING  Proposed Roof Plan  Drawing No. A_2003 Rev. A  Drawn MV Approved RD				th mound.
	Phase PLANNING  Proposed Roof Plan  Drawing No. A_2003 Rev. A  Drawn MV Approved RD	Povision A Notes			
	Phase PLANNING  Drawing title Proposed Roof Plan  Drawing No. A_2003 Rev. A  Drawn MV Approved RD			the Grade II listed pool.	
	PLANNING  Drawing title Proposed Roof Plan  Drawing No.  A_2003  Rev.  A  Drawn  MV  Approved  RD				
	A_2003 A  Drawn MV Approved RD  First revision Updated	Phase	PLAI	NNIN	G
-	MV RD	Drawing title			G
Proposed Roof Plan  Drawing No. Rev.	First revision 16.12.2024 Updated 24.03.2025	Drawlng title <b>P</b> r	oposed Roof Pla	n	
Proposed Roof Plan  Drawing No. A_2003 Rev. A		Drawing title Pr  Drawing No.	oposed Roof Pla A_2003	n Rev.	A

ect No. 23088	Boncara 35 Templewood Ave London NW3 7UY

Andrea Sambo 1:100 @ A1 / 1:200 @ A3

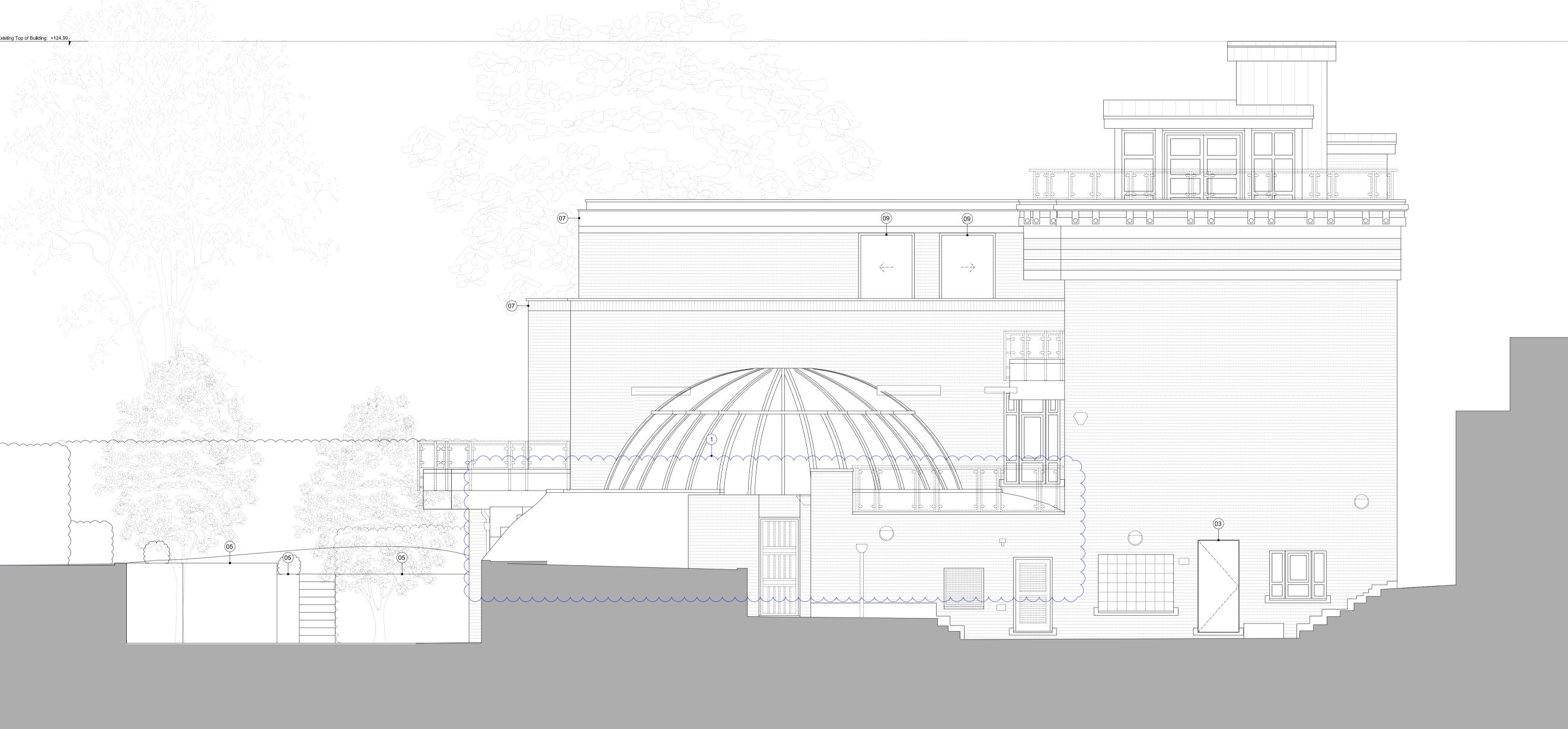


Studio Tr	nree Architects Limited. All con	struction works to comply	with British Standards and
Studio Thr	egulations requirements. Any e ree. This drawing cannot be use asurements should be checked	ed to calculate areas for	the purposes of valuation. All
Legends & Not	tes		
	Existing		Proposed wall / partition
	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		Outline of consented schem REF 2020/1025/P
Dropood Note:			
Proposal Notes  Refurbishment			
	over garage doors within existi- over door within existing ope		
	I door within existing opening, I I A/C condenser unit.	bronze coloured finish.	
5.New landsca	ape and built-in planters to scre	en external A/C condens	er unit.
6.First floor ext	tension inset from the building		
8.New flat roof			disting detail.
	ramed, double glazed window, panels on flat roof.	bronze coloured finish.	
	y above front door entrance in framed, double glazed doors, b		g.
	d Swimming Pool: e coloured, metal framed windo	nw	
14.New bronze	e coloured, glass metal framed		
15.New relocated 16.Reinstatem	ted column. ent of earth mound around reta	ained pool.	
17.Existing sur	n 'tubes' extended to provide na	atural light through the ea	arth mound.
Revision A Not	tes		
Phase			
Phase	PLA	NNIN	G
Drawing title	PLAI Proposed North Ele		G
Drawing title		evation 1	G
Drawlng title	Proposed North Ele	evation 1	

# STUDIO THREE

1 Percy Street, London, W1T 2DD https://www.studiothreearchited

	2000	35 Templewo London NW3	
Client	Andrea Sambo		
Scale	1:50 @ A1 / 1:100 @ A3		•



_	Purpose Issued for Planning		Date:
A	Issued for Planning		24.03.2025
Building Regul Studio Three.	Architects Limited, All const lations requirements. Any en This drawing cannot be used ements should be checked o	ors on drawings or omis to calculate areas for th	sions should be reported to e purposes of valuation. All
Legends & Notes	Cristian		Drange of well / portition
	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		Outline of consented scheme REF 2020/1025/P
Proposal Notes			
Refurbishment:  1.New up-and-ove	r garage doors within existin	g opening, bronze colou	red finish.
2.New front entran	ce door within existing openior within existing openior within existing opening, br	ng, bronze coloured fini	
4.New external A/0			rupit
First Floor Extension	on:		
	ion inset from the building per red brick and stone to match		_
8.New flat roof. 9.New metal frame	ed, double glazed window, br	onze coloured finish.	
10.New solar pane	els on flat roof.		
	ove front door entrance in re ned, double glazed doors, bro		
Works to Listed Sv 13.New bronze col	vimming Pool: loured, metal framed window		
14.New bronze col	loured, glass metal framed d	oor.	
	of earth mound around retair	ned pool.	
17.Existing sun 'tul	bes' extended to provide nat	ural light through the ear	th mound.
Revision A Notes			
1. Reinstatement c	of earth mound surrounding t	ne Grade II listed pool.	
Phase			

Drawing title
Proposed West Elevation

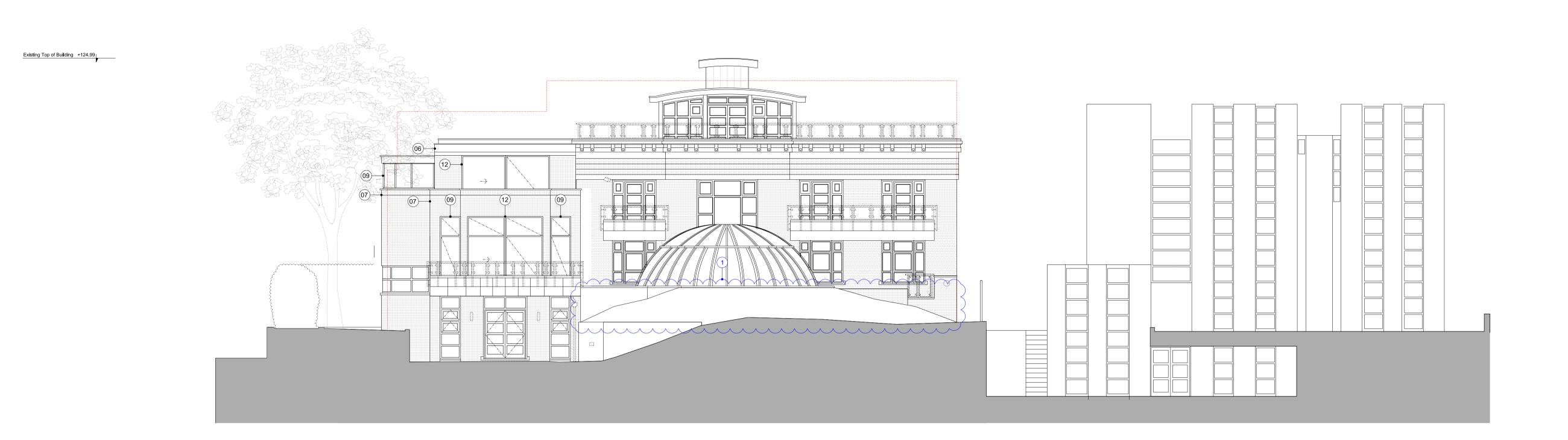
Drawing No.	A_2104	Rev.	Α
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

23088
Boncara
35 Templewood Avenue
London NW3 7UY

Client
Andrea Sambo

1:50 @ A1 / 1:100 @ A3



THE SITE: BONCARA, 35 TEMPLEWOOD AVENUE

THE SITE: BONCARA, 35 TEMPLEWOOD AVENUE

TEMPLEWOOD AVENUE

TEMPLEWOOD AVENUE

Existing Proposed wall / partition  Brick Metal Roof  Outline of consented schore REF 2020/1025/P	Rev.	Purpose		Date:
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9 WEST HEATH ROAD "SCHREIBER HOUSE"

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## **PLANNING**

Drawing title
Proposed North Street Elevation

Drawing No.	A_2106	Rev.	Α
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

at Percy Street, London, W1T 2DD https://www.studiothreearchitects

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