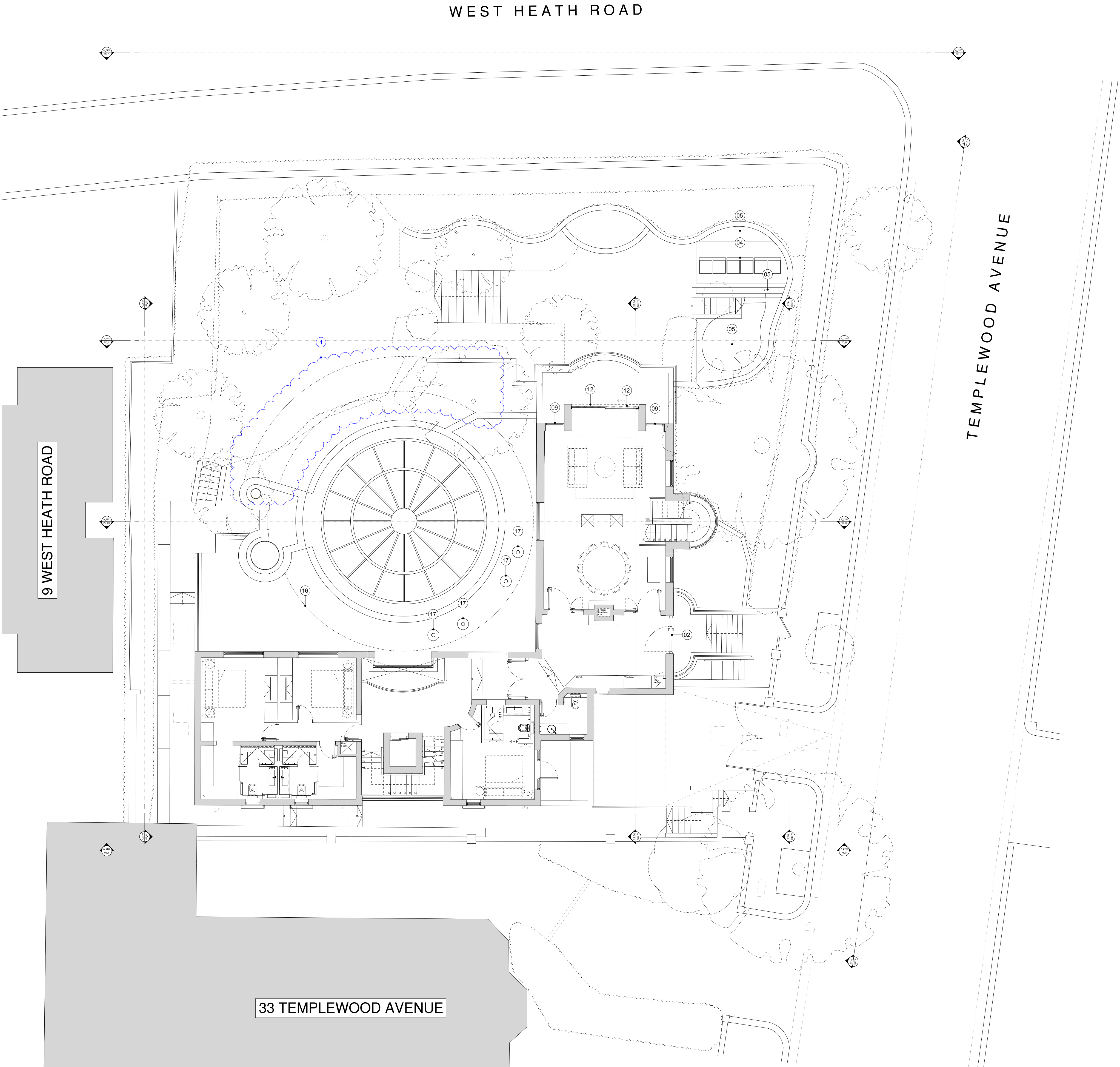


Rev.	Purpose	Date	
-	Issued for Planning	16.12.2024	
A	Issued for Planning	24.03.2025	
Studio Three Architects Limited. All construction works to comply with British Standards and Building Regulations requirements. Any errors on drawings or omissions should be reported to Studio Three. This drawing cannot be used to calculate areas for the purposes of valuation. All measurements should be checked on site. These drawings should not be scaled.			
Legends & Notes			
	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		
Proposal Notes			
Refurbishment: 1.New up-and-over garage doors within existing opening, bronze coloured finish. 2.New front entrance door within existing opening, bronze coloured finish. 3.New external door within existing opening, bronze coloured finish. 4.New external A/C condenser unit. 5.New landscape and built-in planters to screen external A/C condenser unit.  First Floor Extension: 6.First floor extension inset from the building perimeter constructed in red bricks to match existing. 7.New parapets in red brick and stone to match existing. Reference existing details. 8.New flat roof. 9.New metal framed, double glazed window, bronze coloured finish. 10.New solar panels on flat roof. 11.New canopy above front door entrance in red brick to match existing. 12.New metal framed, double glazed doors, bronze coloured finish.  Works to Listed Swimming Pool: 13.New bronze coloured, metal framed window. 14.New bronze coloured, glass metal framed door. 15.New relocated column. 16.Reinstatement of earth mound around retained pool. 17.Existing sun 'tubes' extended to provide natural light through the earth mound.			
Revision A Notes			
1. Reinstatement of earth mound surrounding the Grade II listed pool.			
Phase			
PLANNING			
Drawing title			
Proposed Lower Ground Floor Plan			
Drawing No.	A_1990	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025
STUDIO THREE			
31 Percy Street, London, W1T 2DD			
https://www.studiothreearchitects.com			
Project No.	23088	Address	Boncara 35 Templewood Avenue London NW3 7UY
Client	Andrea Sambo		
Scale	1:100 @ A1 / 1:200 @ A3		
0m   1m   2m   4m   6m   8m   10m			



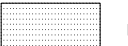

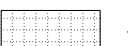




Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		

Proposal Notes

Refurbishment:  
1.New up-and-over garage doors within existing opening, bronze coloured finish.  
2.New front entrance door within existing opening, bronze coloured finish.  
3.New external door within existing opening, bronze coloured finish.  
4.New external A/C condenser unit.  
5.New landscape and built-in planters to screen external A/C condenser unit.  
First Floor Extension:  
6.First floor extension inset from the building perimeter constructed in red bricks to match existing.  
7.New parapets in red brick and stone to match existing. Reference existing details.  
8.New flat roof.  
9.New metal framed, double glazed window, bronze coloured finish.  
10.New solar panels on flat roof.  
11.New canopy above front door entrance in red brick to match existing.  
12.New metal framed, double glazed doors, bronze coloured finish.  
Works to Listed Swimming Pool:  
13.New bronze coloured, metal framed window.  
14.New bronze coloured, glass metal framed door.  
15.New relocated column.  
16.Reinstatement of earth mound around retained pool.  
17.Existing sun 'tubes' extended to provide natural light through the earth mound.

Revision A Notes

1. Reinstatement of earth mound surrounding the Grade II listed pool.

Phase

# PLANNING

Drawing title

Proposed Upper Ground Floor Plan

Drawing No.	A_2000	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

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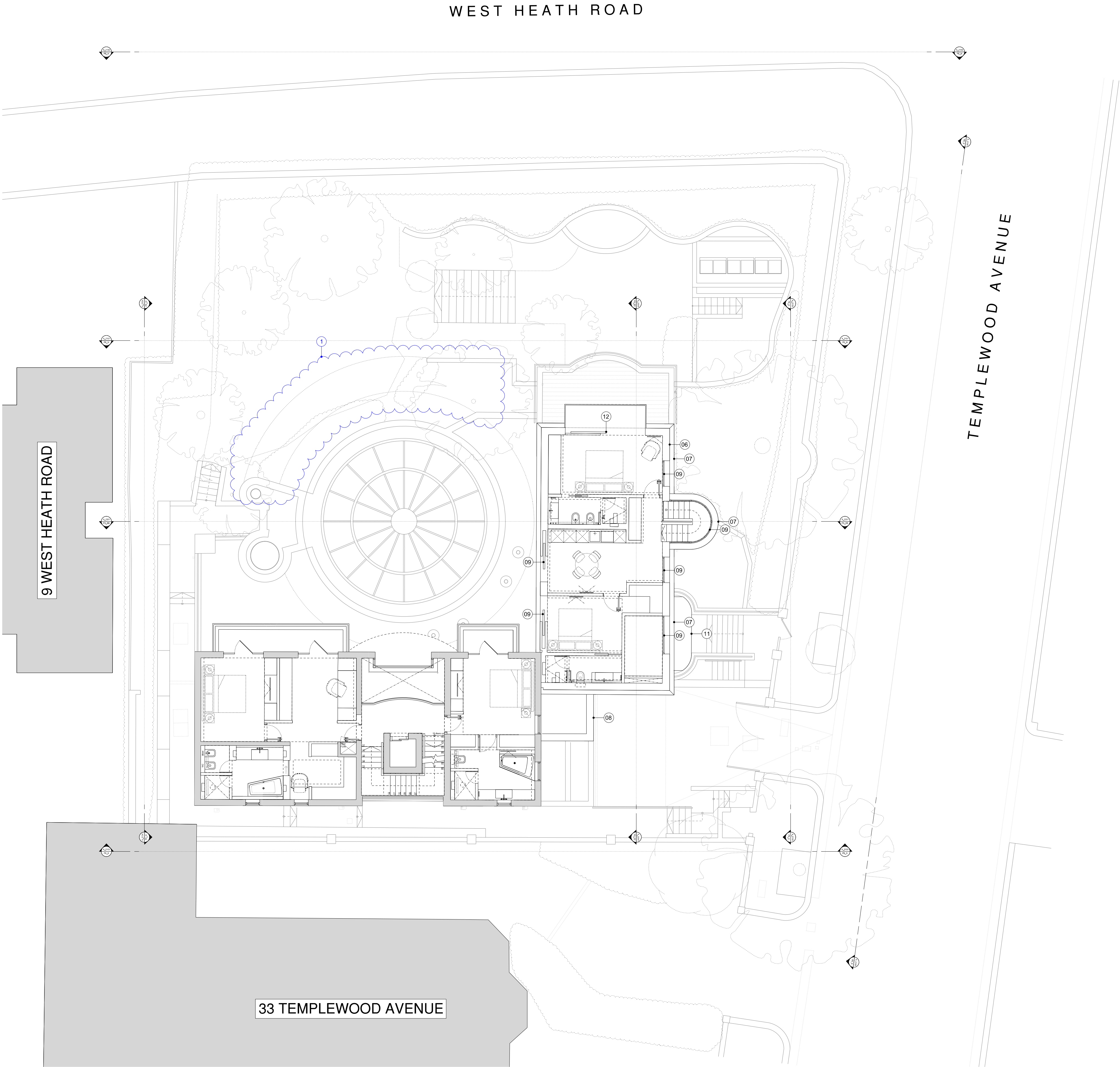
Project No. 23088 Address Boncara 35 Templewood Avenue London NW3 7UY

Client Andrea Sambo

Scale 1:100 @ A1 / 1:200 @ A3

0m | 1m | 2m | 4m | 6m | 8m | 10m





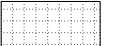




Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		

Proposal Notes

- Refurbishment:
- New up-and-over garage doors within existing opening, bronze coloured finish.
  - New front entrance door within existing opening, bronze coloured finish.
  - New external door within existing opening, bronze coloured finish.
  - New external A/C condenser unit.
  - New landscape and built-in planters to screen external A/C condenser unit.
- First Floor Extension:
- First floor extension inset from the building perimeter constructed in red bricks to match existing.
  - New parapets in red brick and stone to match existing. Reference existing details.
  - New flat roof.
  - New metal framed, double glazed window, bronze coloured finish.
  - New solar panels on flat roof.
  - New canopy above front door entrance in red brick to match existing.
  - New metal framed, double glazed doors, bronze coloured finish.
- Works to Listed Swimming Pool:
- New bronze coloured, metal framed window.
  - New bronze coloured, glass metal framed door.
  - New relocated column.
  - Reinstatement of earth mound around retained pool.
  - Existing sun 'tubes' extended to provide natural light through the earth mound.

Revision A Notes

- Reinstatement of earth mound surrounding the Grade II listed pool.

Phase

PLANNING

Drawing title

Proposed First Floor Plan

Drawing No.	A_2001	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

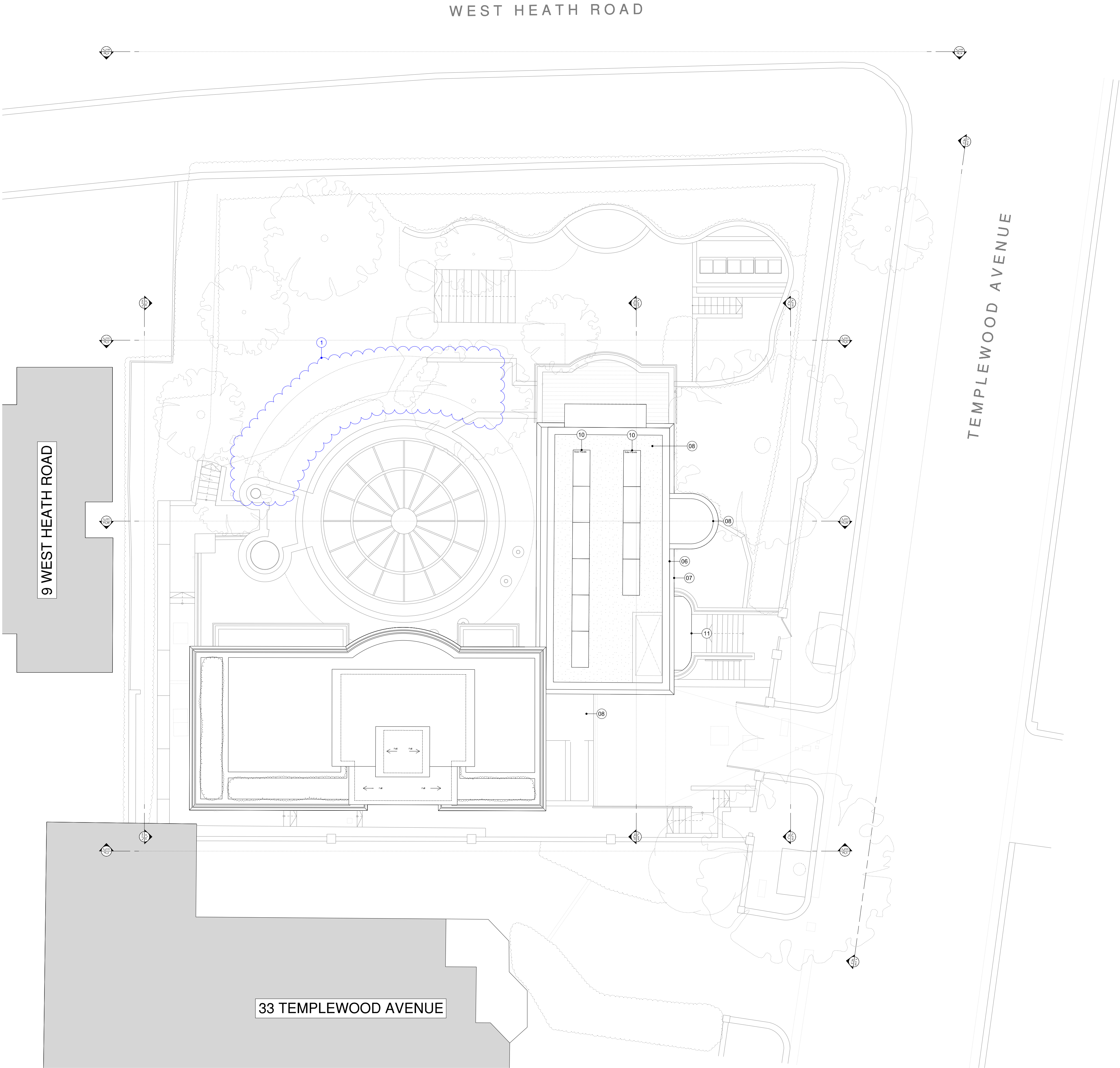
**STUDIO THREE**  
31 Percy Street, London, W1T 2DD  
<https://www.studiothreearchitects.com>

Project No. 23088  
Address Boncara  
35 Templewood Avenue  
London NW3 7UY

Client Andrea Sambo

Scale 1:100 @ A1 / 1:200 @ A3



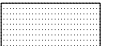

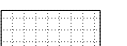
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Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

Studio Three Architects Limited. All construction works to comply with British Standards and Building Regulations requirements. Any errors on drawings or omissions should be reported to Studio Three. This drawing cannot be used to calculate areas for the purposes of valuation. All measurements should be checked on site. These drawings should not be scaled.

Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		

Proposal Notes

Refurbishment:  
1.New up-and-over garage doors within existing opening, bronze coloured finish.  
2.New front entrance door within existing opening, bronze coloured finish.  
3.New external door within existing opening, bronze coloured finish.  
4.New external A/C condenser unit.  
5.New landscape and built-in planters to screen external A/C condenser unit.  
First Floor Extension:  
6.First floor extension inset from the building perimeter constructed in red bricks to match existing.  
7.New parapets in red brick and stone to match existing. Reference existing details.  
8.New flat roof.  
9.New metal framed, double glazed window, bronze coloured finish.  
10.New solar panels on flat roof.  
11.New canopy above front door entrance in red brick to match existing.  
12.New metal framed, double glazed doors, bronze coloured finish.  
Works to Listed Swimming Pool:  
13.New bronze coloured, metal framed window.  
14.New bronze coloured, glass metal framed door.  
15.New relocated column.  
16.Reinstatement of earth mound around retained pool.  
17.Existing sun 'tubes' extended to provide natural light through the earth mound.

Revision A Notes

1. Reinstatement of earth mound surrounding the Grade II listed pool.

Phase

PLANNING

Drawing title

Proposed Roof Plan

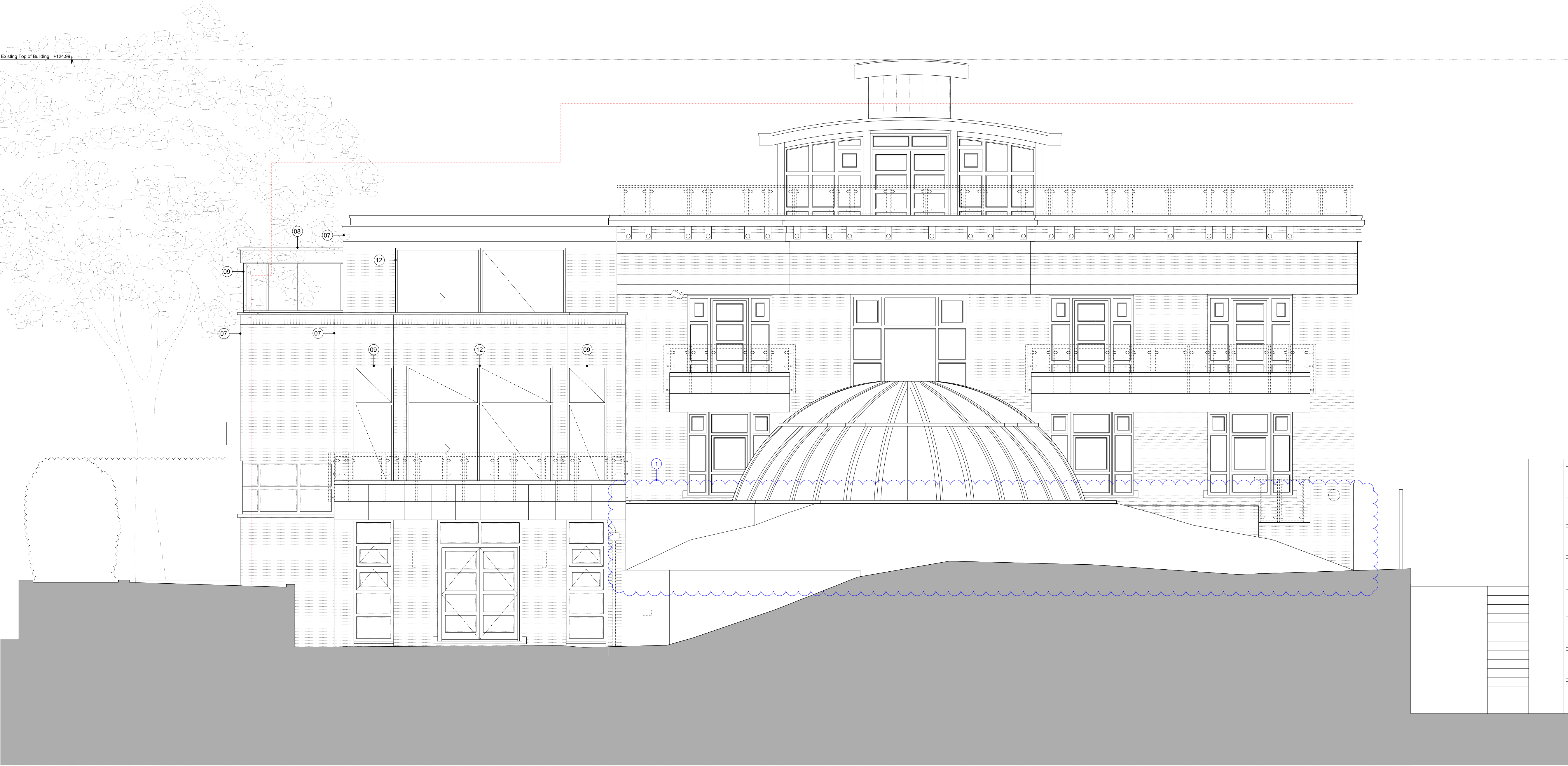
Drawing No.	A_2003	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

**STUDIO THREE**  
31 Percy Street, London, W1T 2DD  
<https://www.studiothreearchitects.com>

Project No. 23088  
Address Boncara  
35 Templewood Avenue  
London NW3 7UY

Client Andrea Sambo  
Scale 1:100 @ A1 / 1:200 @ A3  
N  
0m | 1m | 2m | 4m | 6m | 8m | 10m











THE SITE: BONCARA, 35 TEMPLEWOOD AVENUE 9 WEST HEATH ROAD

Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		Outline of consented scheme REF 2020/1025/P

Proposal Notes

- Refurbishment:
- 1.New up-and-over garage doors within existing opening, bronze coloured finish.
  - 2.New front entrance door within existing opening, bronze coloured finish.
  - 3.New external door within existing opening, bronze coloured finish.
  - 4.New external A/C condenser unit.
  - 5.New landscape and built-in planters to screen external A/C condenser unit.
- First Floor Extension:
- 6.First floor extension inset from the building perimeter constructed in red bricks to match existing.
  - 7.New parapets in red brick and stone to match existing. Reference existing detail.
  - 8.New flat roof.
  - 9.New metal framed, double glazed window, bronze coloured finish.
  - 10.New solar panels on flat roof.
  - 11.New canopy above front door entrance in red brick to match existing.
  - 12.New metal framed, double glazed doors, bronze coloured finish.
- Works to Listed Swimming Pool:
- 13.New bronze coloured, metal framed window.
  - 14.New bronze coloured, glass metal framed door.
  - 15.New relocated column.
  - 16.Reinstatement of earth mound around retained pool.
  - 17.Existing sun 'tubes' extended to provide natural light through the earth mound.

Revision A Notes

1. Reinstatement of earth mound surrounding the Grade II listed pool.

Phase

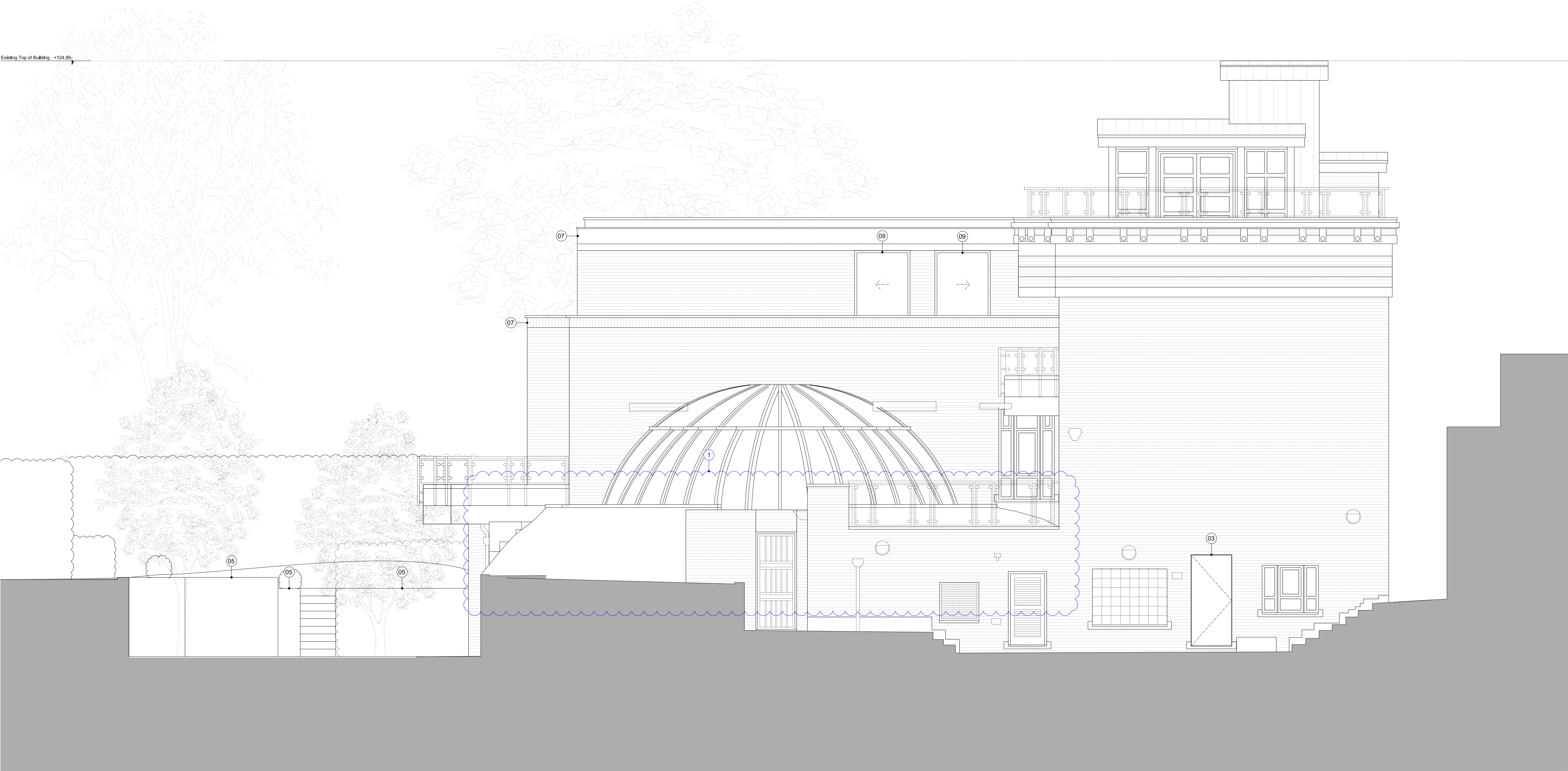
PLANNING

Drawing title  
Proposed North Elevation 1

Drawing No.	A_2101	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

<b>STUDIO THREE</b> 31 Percy Street, London, W1T 2DD <a href="https://www.studiothreearchitects.com">https://www.studiothreearchitects.com</a>	
Project No. 23088	Address Boncara 35 Templewood Avenue London NW3 7UY
Client Andrea Sambo	
Scale 1:50 @ A1 / 1:100 @ A3	
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







Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		Outline of consented scheme REF 20201025P

Proposal Notes

- Refurbishment:
- 1.New up-and-over garage doors within existing opening, bronze coloured finish.
  - 2.New front entrance door within existing opening, bronze coloured finish.
  - 3.New external door within existing opening, bronze coloured finish.
  - 4.New external A/C condenser unit.
  - 5.New landscape and built-in planters to screen external A/C condenser unit.
- First Floor Extension:
- 6.First floor extension inset from the building perimeter constructed in red bricks to match existing.
  - 7.New parapets in red brick and stone to match existing. Reference existing detail.
  - 8.New flat roof.
  - 9.New metal framed, double glazed window, bronze coloured finish.
  - 10.New solar panels on flat roof.
  - 11.New canopy above front door entrance in red brick to match existing.
  - 12.New metal framed, double glazed doors, bronze coloured finish.
- Works to Listed Swimming Pool:
- 13.New bronze coloured, metal framed window.
  - 14.New bronze coloured, glass metal framed door.
  - 15.New relocated column.
  - 16.Reinstatement of earth mound around retained pool.
  - 17.Existing sun 'tubes' extended to provide natural light through the earth mound.

Revision A Notes

1. Reinstatement of earth mound surrounding the Grade II listed pool.

Phase

# PLANNING

Drawing title  
Proposed West Elevation

Drawing No.	A_2104	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

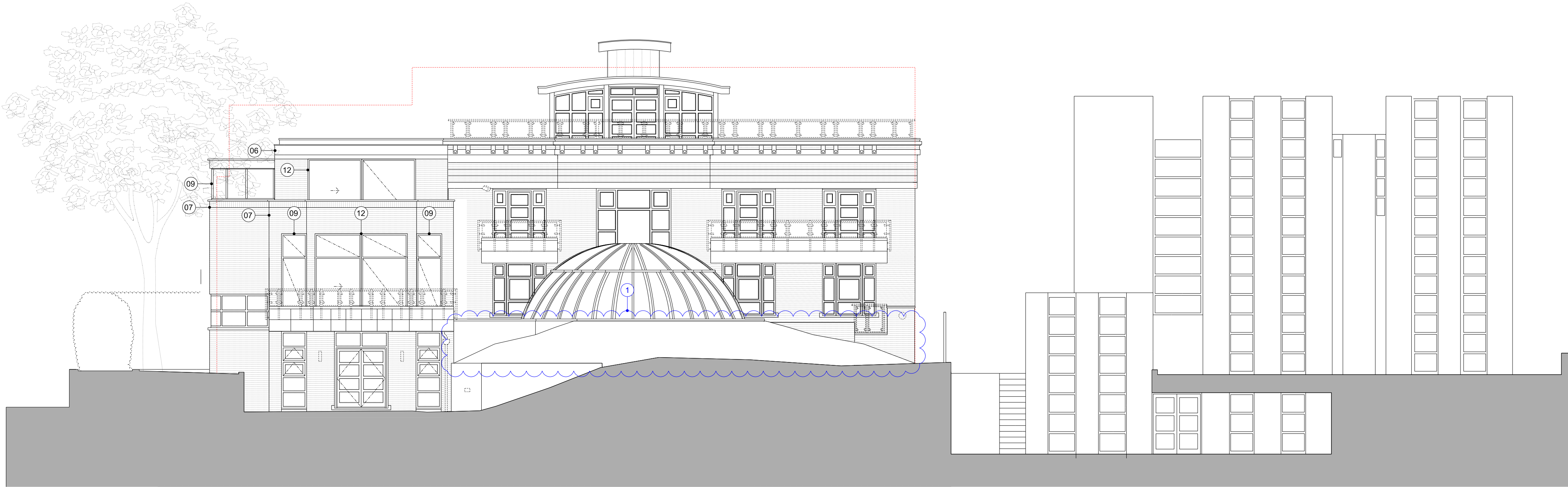
31 Percy Street, London, W1T 2DD

<https://www.studiothreearchitects.com>

Project No.	23088	Address	Boncara 35 Templewood Avenue London NW3 7UY
Client	Andrea Sambo		
Scale	1:50 @ A1 / 1:100 @ A3		
0m   1m   2m   4m   5m			



Existing Top of Building +124.99



TEMPLEWOOD AVENUE

THE SITE: BONCARA, 35 TEMPLEWOOD AVENUE

9 WEST HEATH ROAD "SCHREIBER HOUSE"

Existing Top of Building +124.99



110m Line

TEMPLEWOOD AVENUE

THE SITE: BONCARA, 35 TEMPLEWOOD AVENUE

9 WEST HEATH ROAD "SCHREIBER HOUSE"

Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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#### Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		Outline of consented scheme REF 2020/1025/P

#### Proposal Notes

- Refurbishment:
- New up-and-over garage doors within existing opening, bronze coloured finish.
  - New front entrance door within existing opening, bronze coloured finish.
  - New external door within existing opening, bronze coloured finish.
  - New external A/C condenser unit.
  - New landscape and built-in planters to screen external A/C condenser unit.
- First Floor Extension:
- First floor extension inset from the building perimeter constructed in red bricks to match existing.
  - New parapets in red brick and stone to match existing. Reference existing details.
  - New flat roof.
  - New metal framed, double glazed window, bronze coloured finish.
  - New solar panels on flat roof.
  - New canopy above front door entrance in red brick to match existing.
  - New metal framed, double glazed doors, bronze coloured finish.
- Works to Listed Swimming Pool:
- New bronze coloured, metal framed window.
  - New bronze coloured, glass metal framed door.
  - New relocated column.
  - Reinstatement of earth mound around retained pool.
  - Existing sun 'tubes' extended to provide natural light through the earth mound.

#### Revision A Notes

- Reinstatement of earth mound surrounding the Grade II listed pool.

## PLANNING

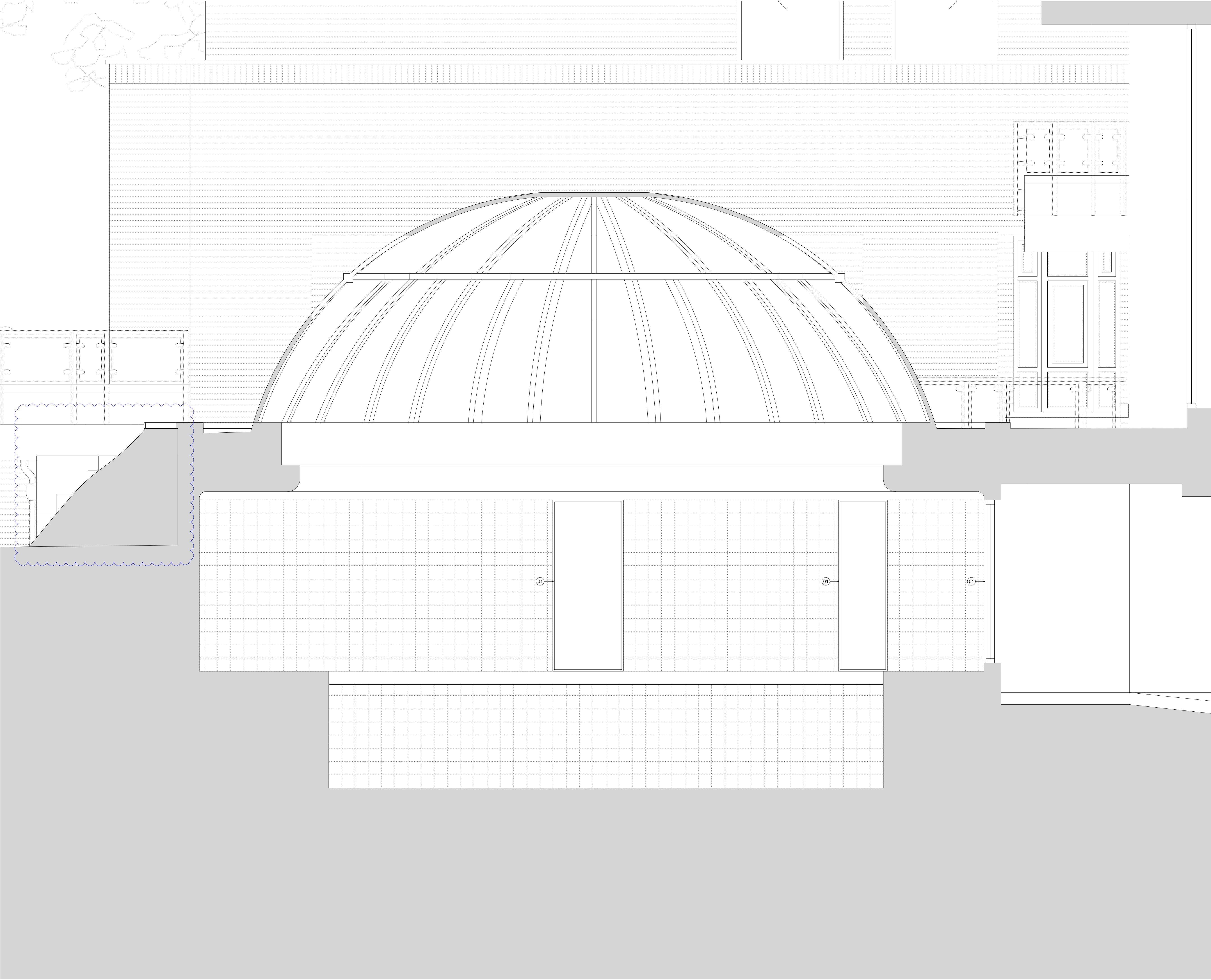
Drawing title  
Proposed North Street Elevation

Drawing No.	A_2106	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

31 Percy Street, London, W1T 2DD <https://www.studiothreearchitects.com>



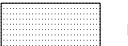

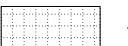
Project No.	23088	Address	Boncara 35 Templewood Avenue London NW3 7UY			
Client	Andrea Sambo					
Scale	1:100 @ A1 / 1:200 @ A3					
0m	1m	2m	4m	6m	8m	10m



Rev.	Purpose	Date
-	Issued for Planning	16.12.2024
A	Issued for Planning	24.03.2025

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#### Legends & Notes

	Existing		Proposed wall / partition
	Brick		Metal Roof
	Tiles		

#### Proposed Works to Listed Swimming Pool

- New bronze coloured, metal framed window.
  - New bronze coloured, glass metal framed door.
  - New relocated column.
  - Restatement of earth mound around retained pool.
  - Existing rooflights extended to provide natural light through the earth mound.
- Refer to Outline Schedule of Work for full description of proposed alterations.

#### Revision A Notes

- Restatement of earth mound surrounding the Grade II listed pool.

## PLANNING

Drawing title  
Proposed Listed Swimming Pool  
Internal Elevations 2 of 2

Drawing No.	A_2712	Rev.	A
Drawn	MV	Approved	RD
First revision	16.12.2024	Updated	24.03.2025

## STUDIO THREE

31 Percy Street, London, W1T 2DD <https://www.studiothreearchitects.com>

Project No. 23088 Address Boncara  
35 Templewood Avenue  
London NW3 7UY

Client Andrea Sambo  
Scale 1:20 @ A1 / 1:40 @ A3

0m | 0.2m | 0.5m | 1m | 1.5m | 2m