

Proposed Lower Ground Floor

key	
	New timber floorboards
	Paver finish
	Stone/ tile finish
	Timber decking finish
	Carpet finish

annotations					
01	New structurally glazed rear extension	09	New timber sash window	17	Infill existing window in matching brickwork
02	Glazed partitions to vaults	10	omitted	18	New internal panelling matching surrounding panelling
03	New insulated drylining to existing walls	11	Walk-on glass rooflight	19	New traditional style timber staircase and balustrade
04	New internal partitions	12	omitted	20	New part glazed part solid stair enclosure
05	New built in joinery	13	External metal stairs	21	omitted
06	omitted	14	Structural glass balustrade	22	omitted
07	New door	15	Mild steel balustrade	23	omitted
08	Replacement glazing to windows	16	Timber privacy screen 1.7m above terrace FFL	24	omitted

note

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scale bar

0 500 1000 2000 5000

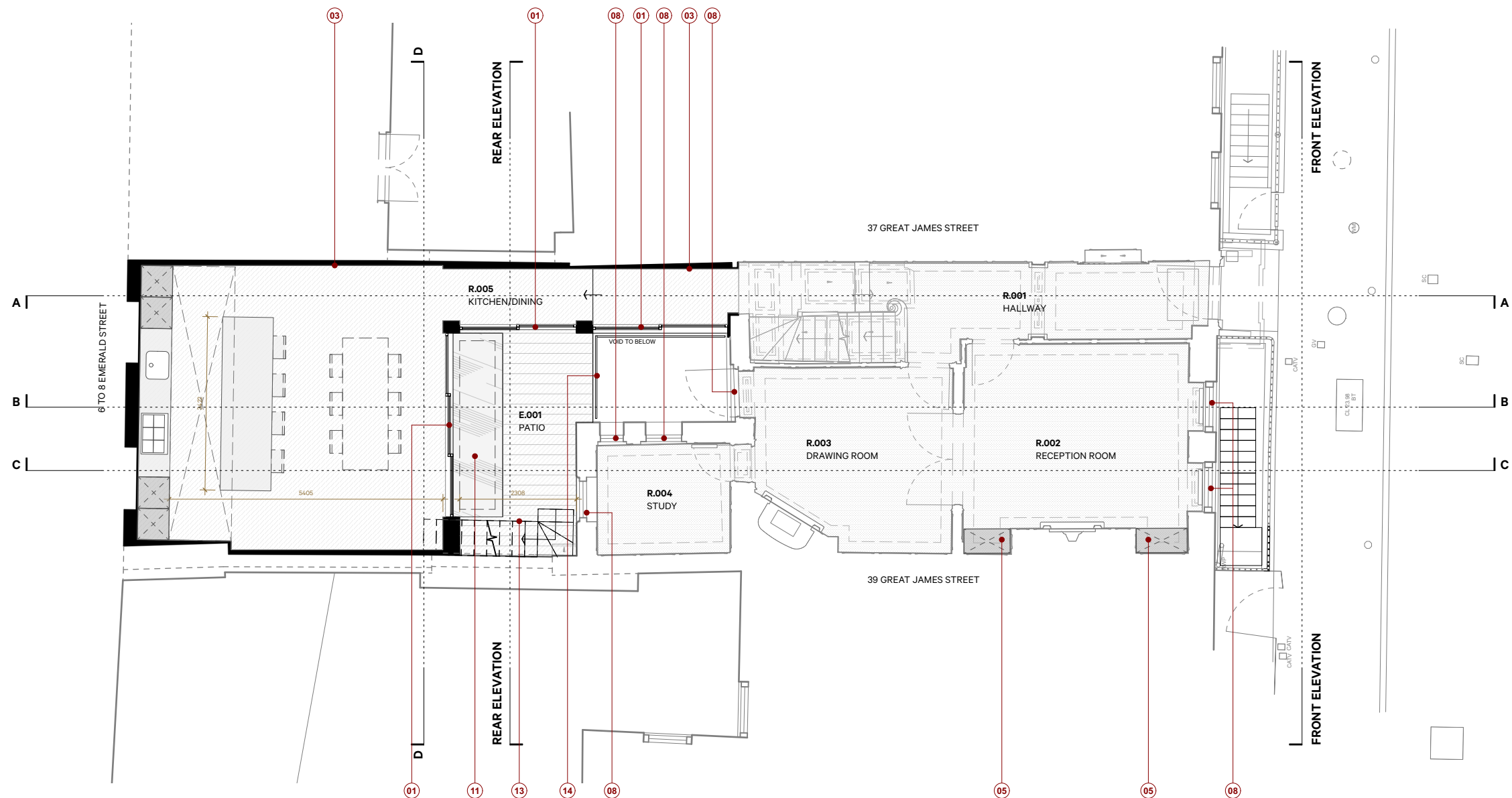
north point

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;






rev	A	note	Introduction of sloped roof to 4th floor terrace;	date	25.04.04	by	VV
dwg title	Proposed Lower GF Plan	project no.	2407	dwg no.	02-299	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed Ground Floor

key	annotations			
 New timber floorboards	01 New structurally glazed rear extension	09 New timber sash window	17 Infill existing window in matching brickwork	25 Make good existing cement render as necessary
 Paver finish	02 Glazed partitions to vaults	10 omitted	18 New internal panelling matching surrounding panelling	26 omitted
 Stone/ tile finish	03 New insulated drylining to existing walls	11 Walk-on glass rooftop	19 New traditional style timber staircase and balustrade	27 omitted
 Timber decking finish	04 New internal partitions	12 omitted	20 New part glazed part solid stair enclosure	28 Adapt existing railing to form a gate
 Carpet finish	05 New built in joinery	13 External metal stairs	21 omitted	29 Wet underfloor heating to lower ground floor
	06 omitted	14 Structural glass balustrade	22 omitted	30 Electric underfloor heating to bathrooms on upper floors
	07 New door	15 Mild steel balustrade	23 omitted	31 Recreation of pitched roof slope - natural welsh slates
	08 Replacement glazing to windows	16 Timber privacy screen 1.7m above terrace FFL	24 omitted	


note

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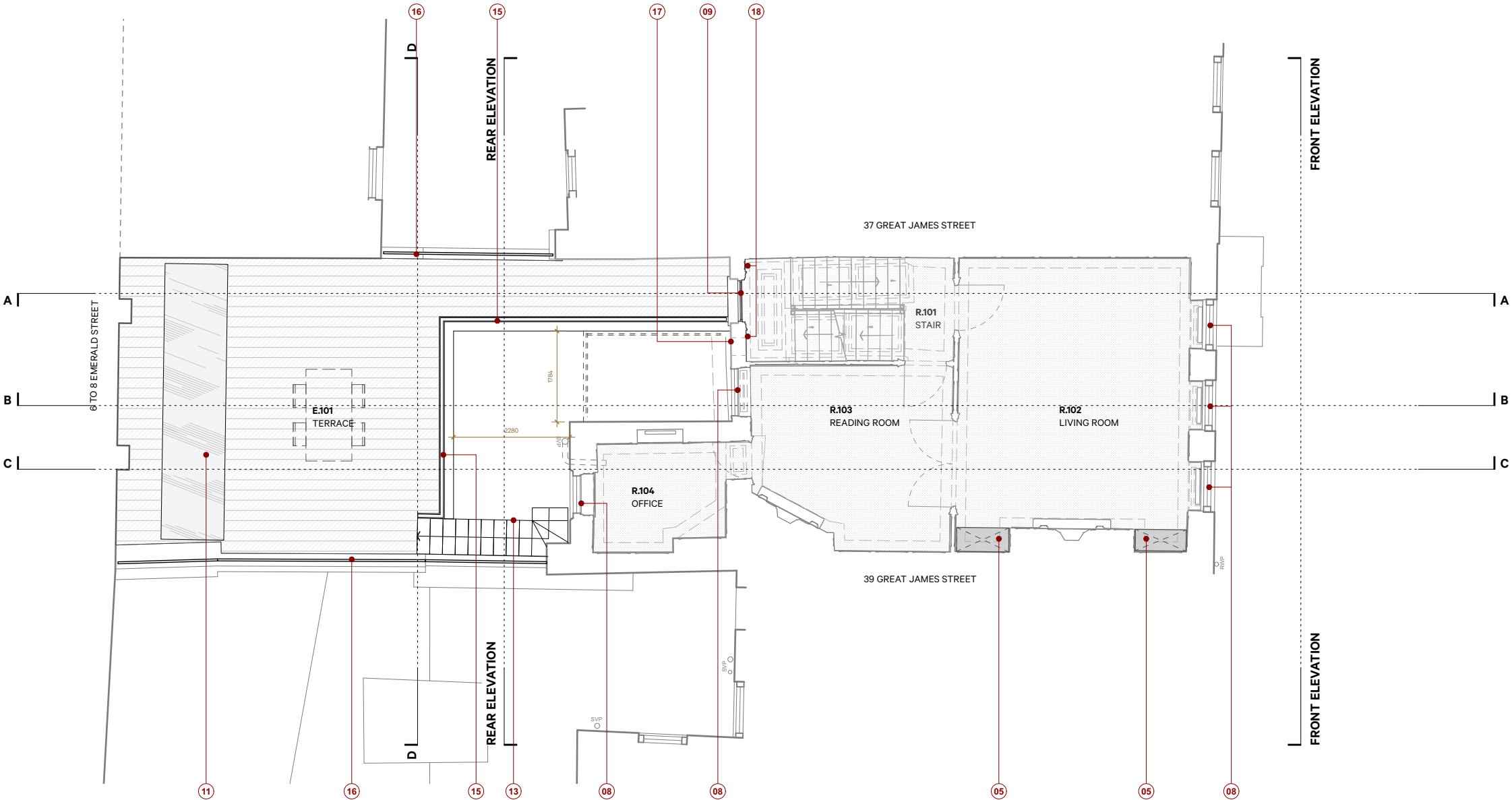
scale bar

0 500 1000 2000 5000

north point

A north arrow pointing upwards, consisting of a circle with a vertical line through the center and a small arrowhead at the top. Below it is a scale bar with markings at 0, 500, 1000, 2000, and 5000.

Omission of fireplace proposals; Omission of LGF and 3rd floor layout proposals; Omission of changes to 2nd floor bathroom; Omission of heat pump proposals; Omission of ground floor opening proposals; Introduction of sloped roof to 4th floor terrace;				date	25.04.04	by	VV
dwg title	Proposed GF Plan	project no.	2407	dwg no.	02-300	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV



Proposed First Floor

key		annotations			
	New timber floorboards		New structurally glazed rear extension		New timber sash window
	Paver finish		Glazed partitions to vaults		omitted
	Stone/ tile finish		New insulated drylining to existing walls		Walk-on glass rooflight
	Timber decking finish		New internal partitions		omitted
	Carpet finish		New built in joinery		External metal stairs
			omitted		Structural glass balustrade
			New door		Mild steel balustrade
			Replacement glazing to windows		Timber privacy screen 1.7m above terrace FFL

	Infill existing window in matching brickwork		Make good existing cement render as necessary
	New internal panelling matching surrounding panelling		omitted
	New traditional style timber staircase and balustrade		omitted
	New part glazed part solid stair enclosure		Adapt existing railing to form a gate
	omitted		Wet underfloor heating to lower ground floor
	omitted		Electric underfloor heating to bathrooms on upper floors
	omitted		Recreation of pitched roof slope - natural welsh slates
	omitted		

note
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scale bar
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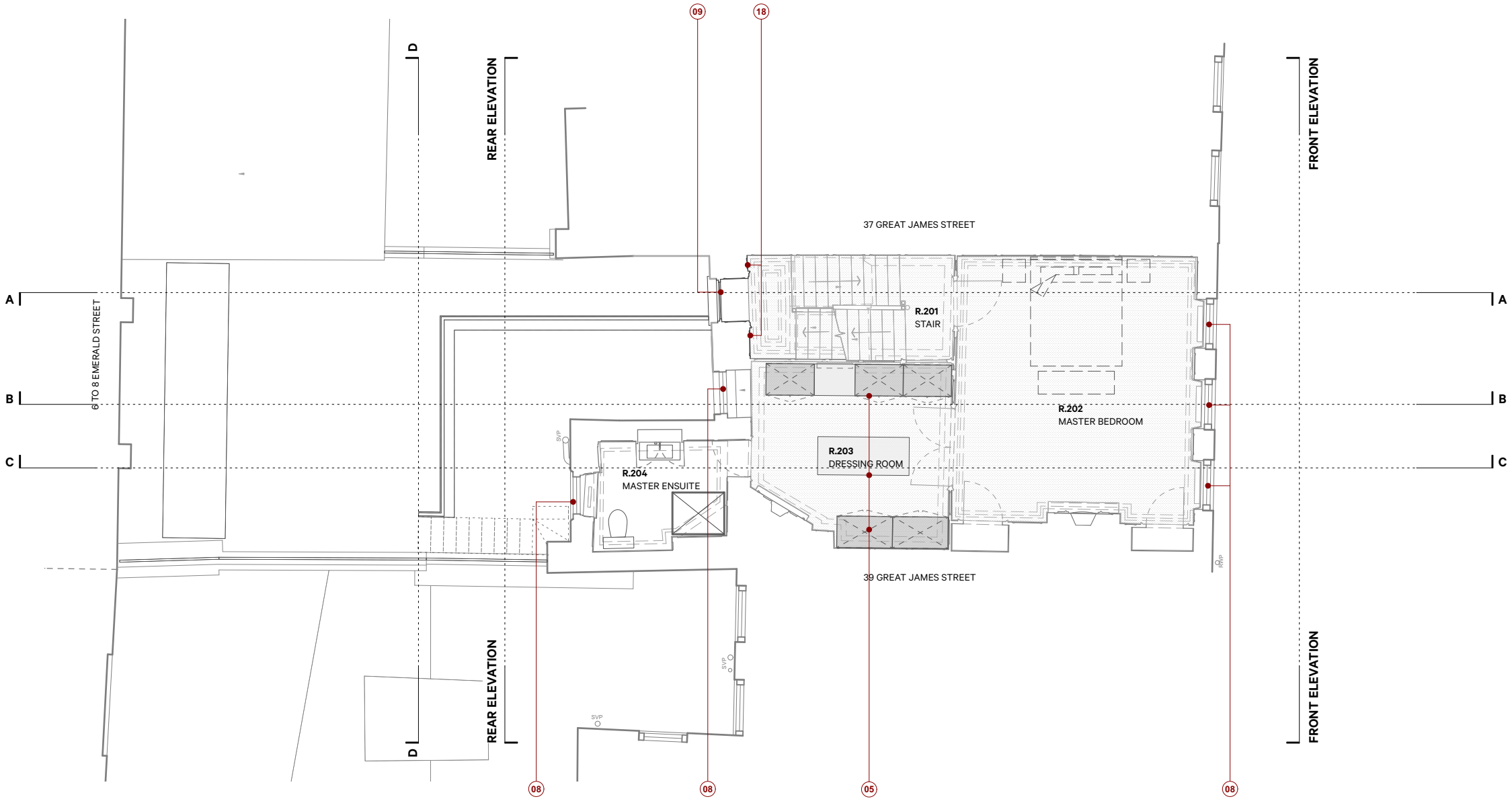
north point

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

rev	A	note	Introduction of sloped roof to 4th floor terrace;	date	25.04.04	by	VV
dwg title	Proposed 1F Plan	project no.	2407	dwg no.	02-301	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed Second Floor

key	annotations
	01 New structurally glazed rear extension
	02 Glazed partitions to vaults
	03 New insulated drylining to existing walls
	04 New internal partitions
	05 New built in joinery
	06 omitted
	07 New door
	08 Replacement glazing to windows
	09 New timber sash window
	10 omitted
	11 Walk-on glass rooflight
	12 omitted
	13 External metal stairs
	14 Structural glass balustrade
	15 Mild steel balustrade
	16 Timber privacy screen 1.7m above terrace FFL
	17 Infill existing window in matching brickwork
	18 New internal panelling matching surrounding panelling
	19 New traditional style timber staircase and balustrade
	20 New part glazed part solid stair enclosure
	21 omitted
	22 omitted
	23 omitted
	24 omitted
	25 Make good existing cement render as necessary
	26 omitted
	27 omitted
	28 Adapt existing railing to form a gate
	29 Wet underfloor heating to lower ground floor
	30 Electric underfloor heating to bathrooms on upper floors
	31 Recreation of pitched roof slope - natural welsh slates

note
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scale bar
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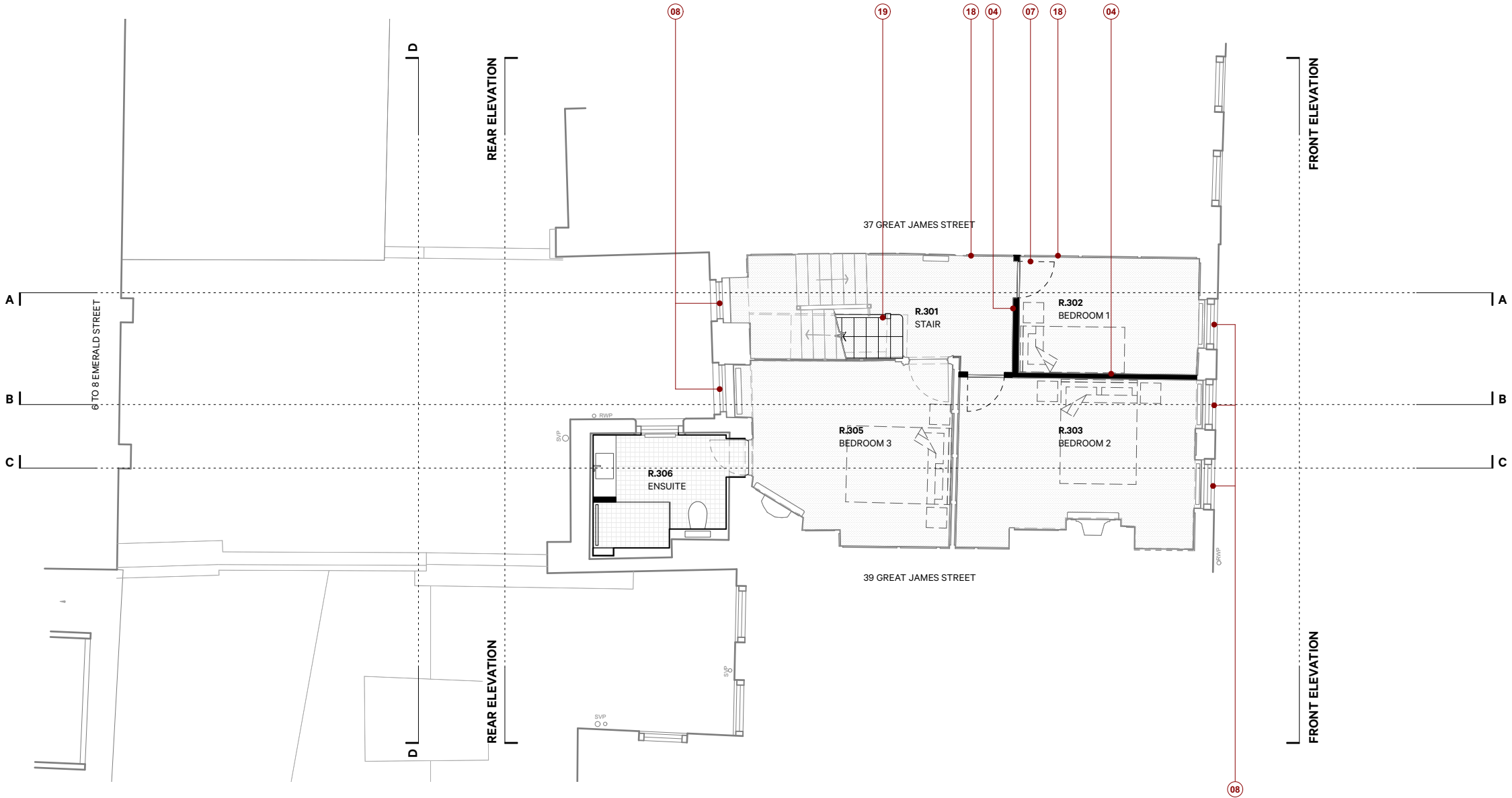
north point

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

rev	A	note	Introduction of sloped roof to 4th floor terrace;	date	25.04.04	by	VV
dwg title	Proposed 2F Plan	project no.	2407	dwg no.	02-302	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed Third Floor

key		annotations			
	New timber floorboards		New structurally glazed rear extension		New timber sash window
	Paver finish		Glazed partitions to vaults		omitted
	Stone/ tile finish		New insulated drylining to existing walls		Walk-on glass rooflight
	Timber decking finish		New internal partitions		omitted
	Carpet finish		New built in joinery		External metal stairs
			omitted		Structural glass balustrade
			New door		Mild steel balustrade
			Replacement glazing to windows		Timber privacy screen 1.7m above terrace FFL

	Infill existing window in matching brickwork		Make good existing cement render as necessary
	New internal panelling matching surrounding panelling		omitted
	New traditional style timber staircase and balustrade		omitted
	New part glazed part solid stair enclosure		Adapt existing railing to form a gate
	omitted		Wet underfloor heating to lower ground floor
	omitted		Electric underfloor heating to bathrooms on upper floors
	omitted		Recreation of pitched roof slope - natural welsh slates
	omitted		

note

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scale bar

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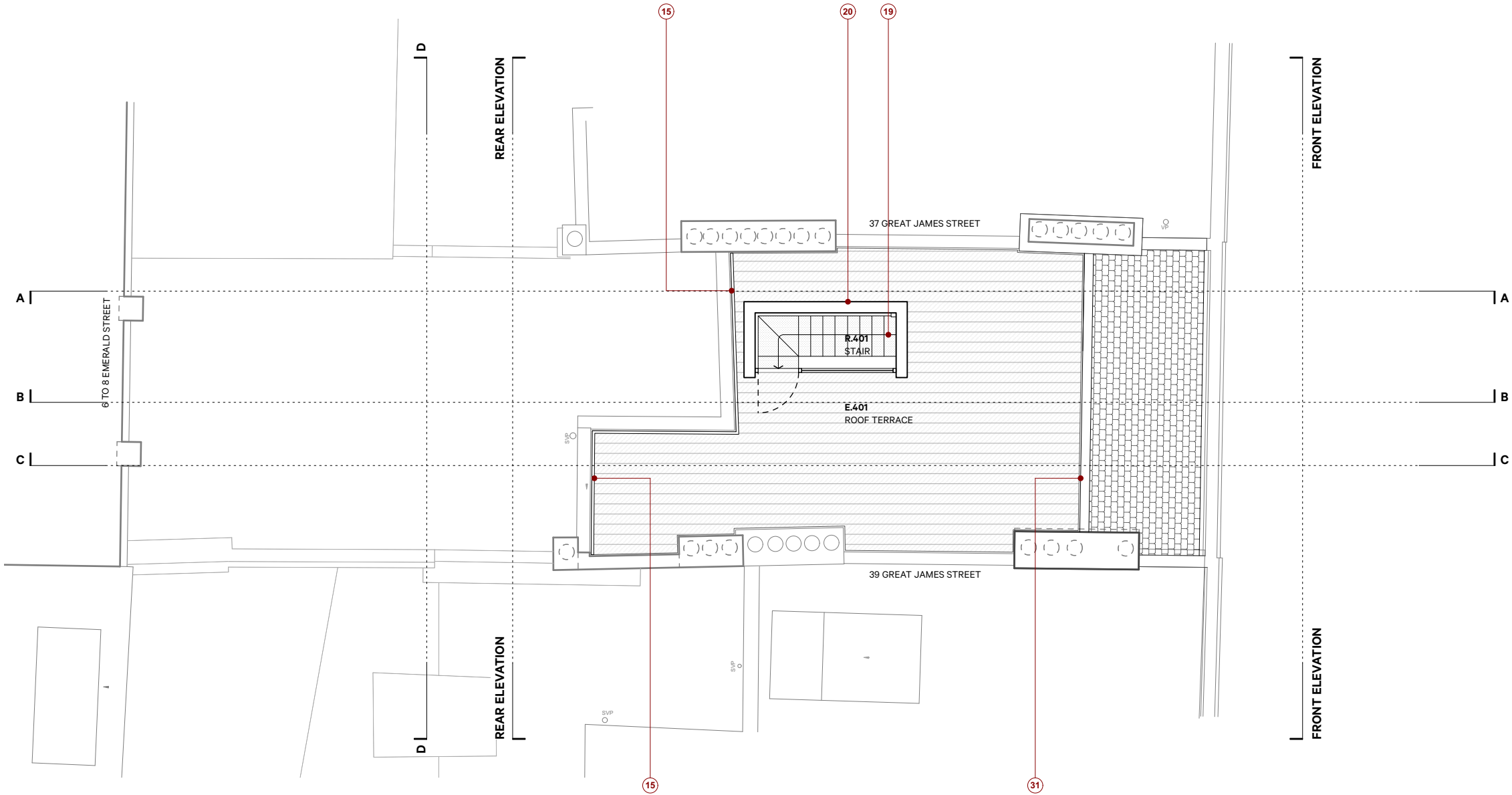
north point

Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

rev	A	note	Introduction of sloped roof to 4th floor terrace;	date	25.04.04	by	VV
dwg title	Proposed 3F Plan	project no.	2407	dwg no.	02-303	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed Fourth Floor

key		annotations					
	New timber floorboards		New structurally glazed rear extension		New timber sash window		Infill existing window in matching brickwork
	Paver finish		Glazed partitions to vaults		omitted		New internal panelling matching surrounding panelling
	Stone/ tile finish		New insulated drylining to existing walls		Walk-on glass rooflight		New traditional style timber staircase and balustrade
	Timber decking finish		New internal partitions		omitted		New part glazed part solid stair enclosure
	Carpet finish		New built in joinery		External metal stairs		omitted
			omitted		Structural glass balustrade		omitted
			New door		Mild steel balustrade		omitted
			Replacement glazing to windows		Timber privacy screen 1.7m above terrace FFL		omitted

note

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scale bar

0 500 1000 2000 5000

north point

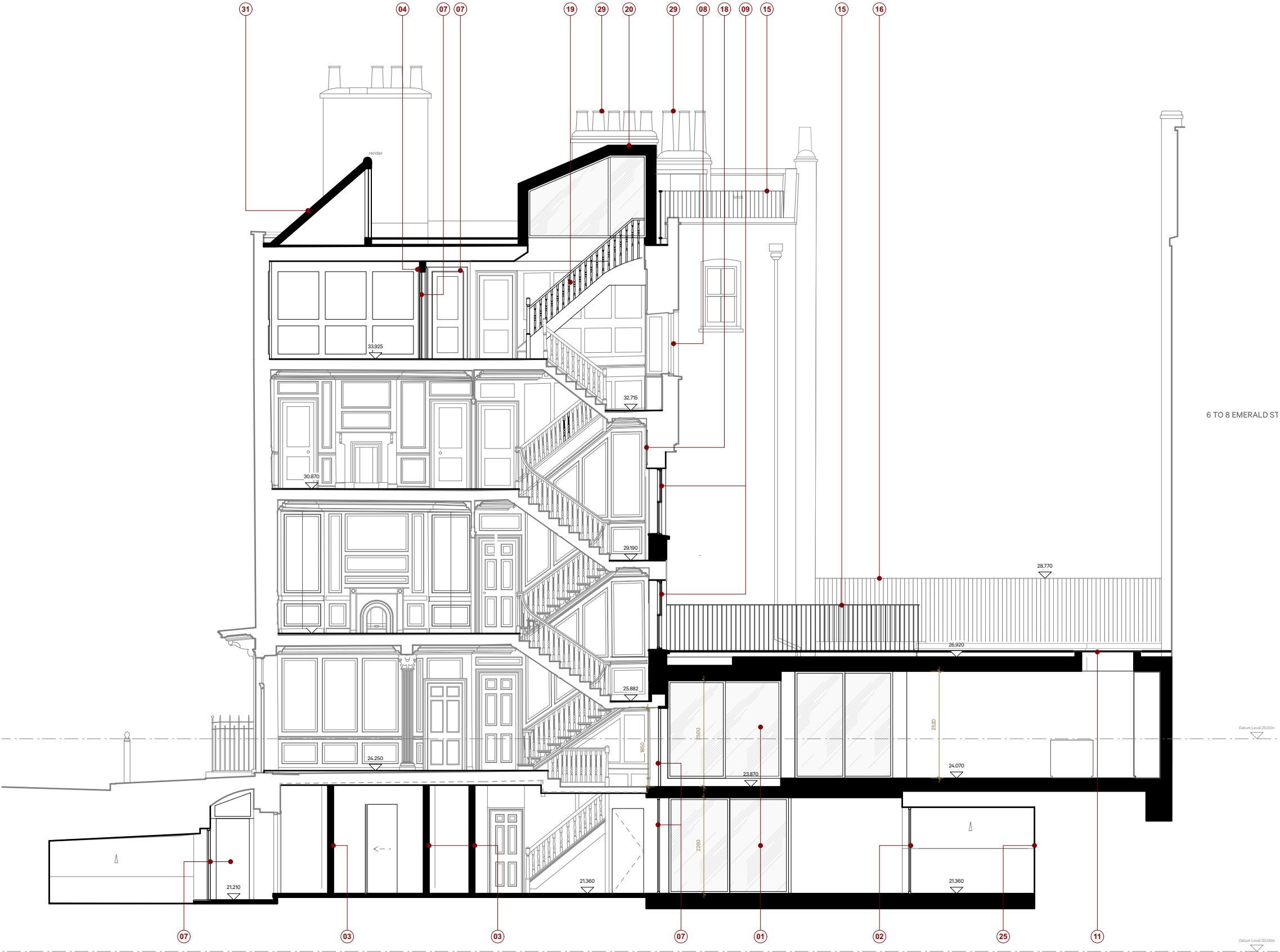
Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title	Proposed 4F Plan	project no.	2407	dwg no.	02-304	rev.	A
project	38 Great James Street	status	Planning	client	Cooper		
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV

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Proposed Section A-A

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy screen 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

note

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scale bar



Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

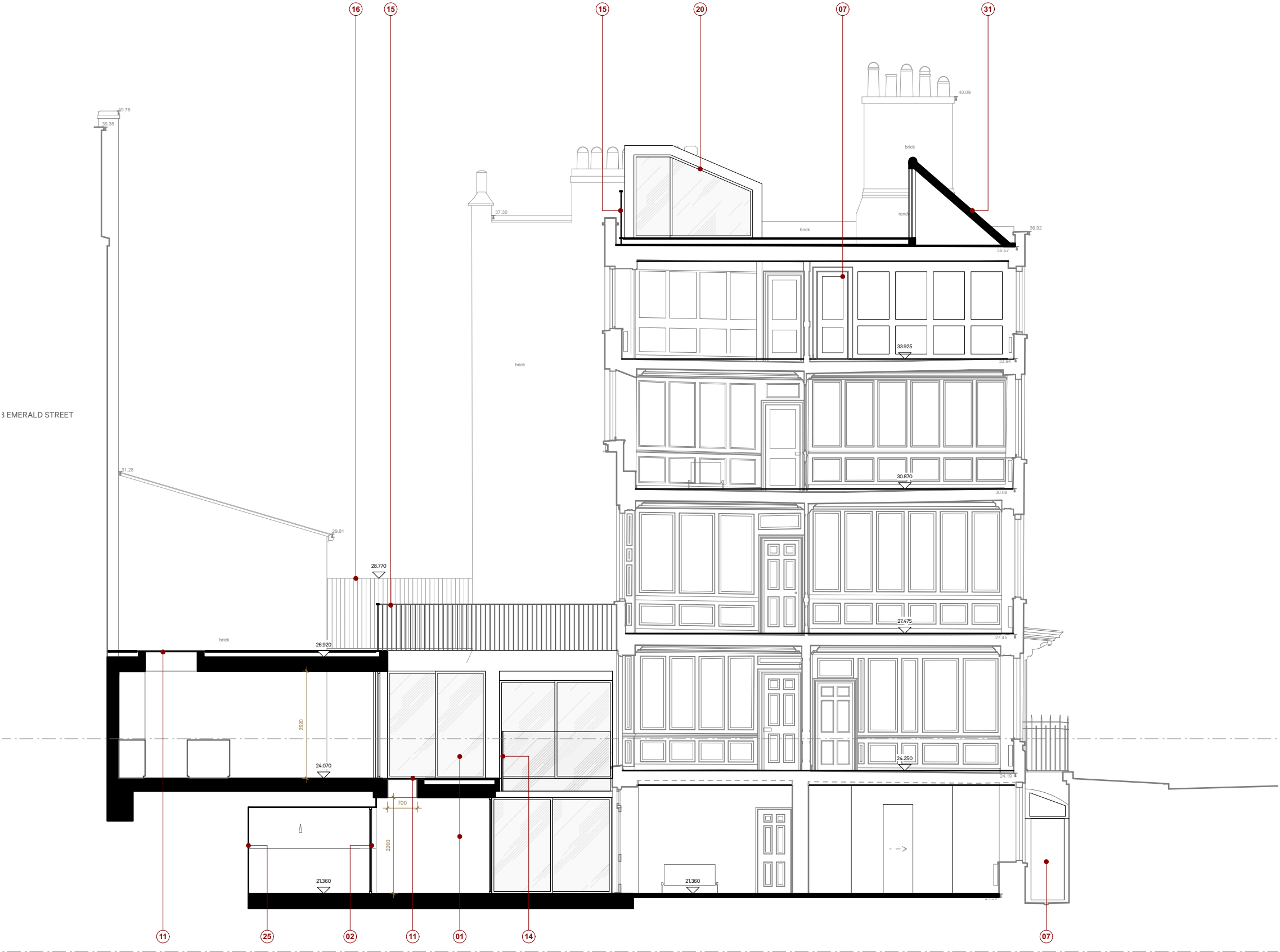
rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section A-A project no. 2407 dwg no. 03-300 rev. A

project 38 Great James Street status Planning client Cooper
scale 1:100@A3 / 1:50@A1 date January 2025 drawn VV check VV

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Proposed Section B-B

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy screen 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

note

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scale bar



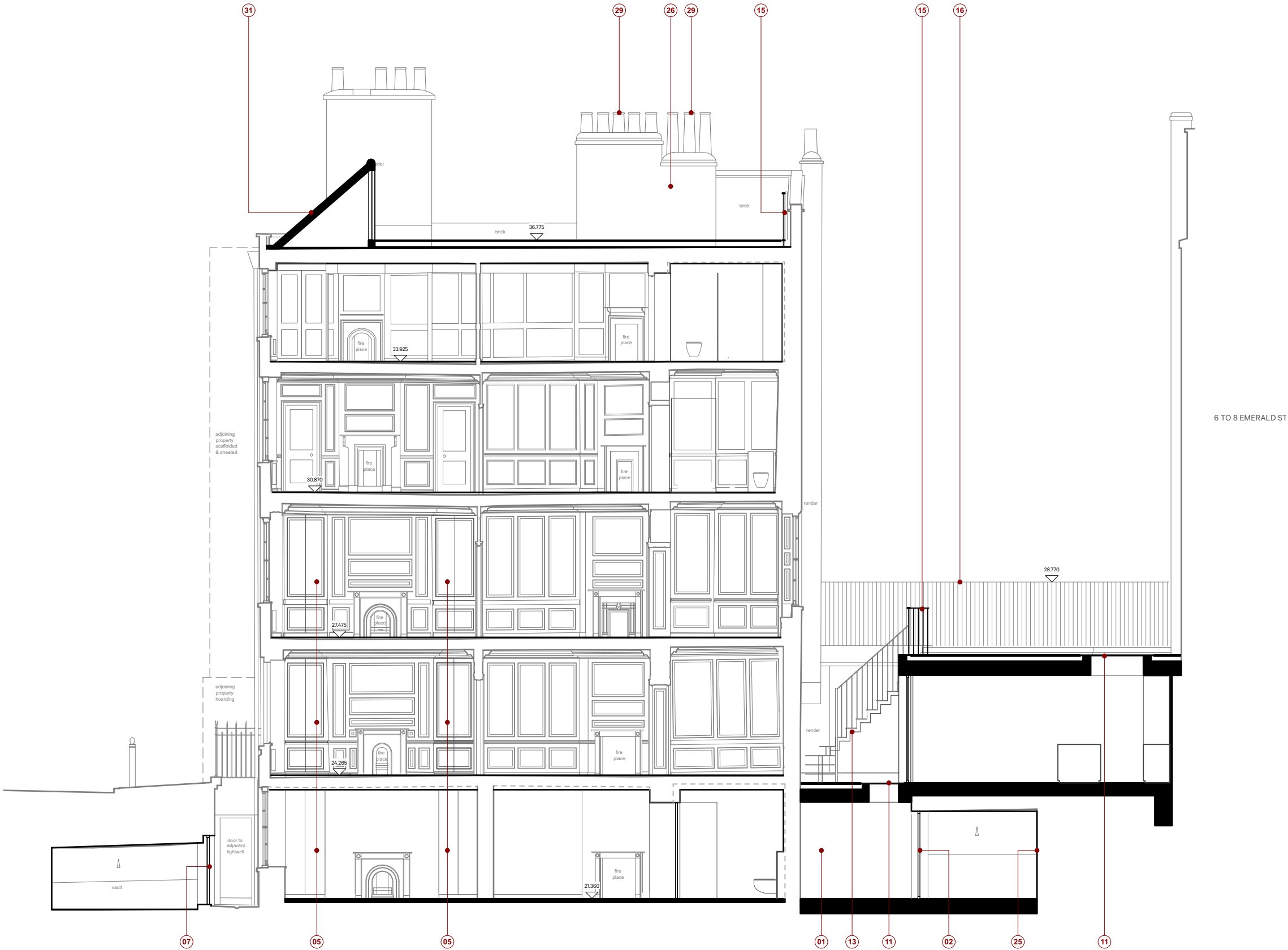
Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section B-B project no. 2407 dwg no. 03-301 rev. A

project 38 Great James Street status Planning client Cooper
scale 1:100@A3 / 1:50@A1 date January 2025 drawn VV check VV

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NAME



Proposed Section C-C

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooftop
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy screen 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

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scale bar



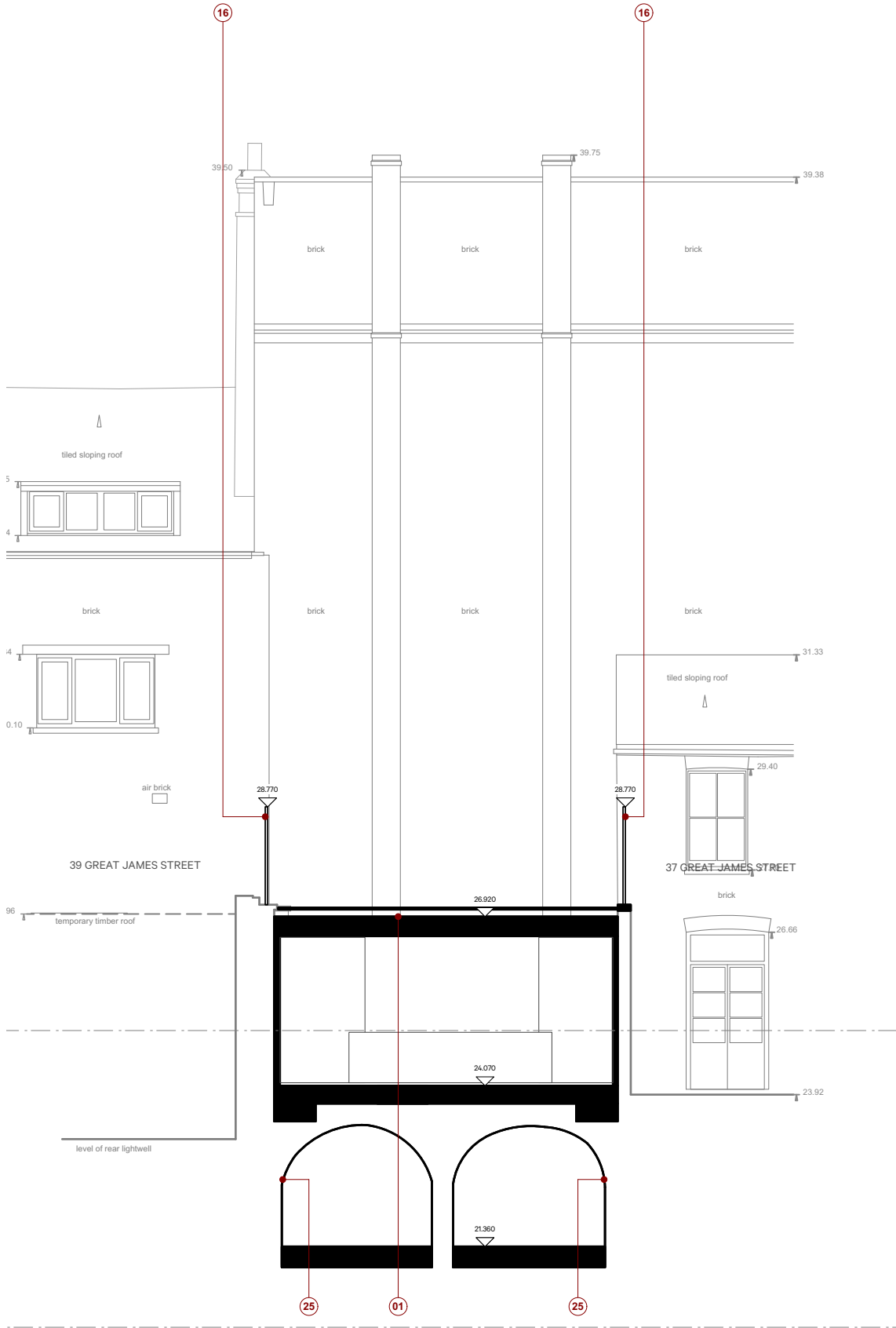
rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Proposed Section C-C project no. 2407 dwg no. 03-302 rev. A

project 38 Great James Street status Planning client Cooper scale 1:100@A3 / 1:50@A1 date January 2025 drawn VV check VV

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Proposed Section D-D

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows

- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooflight
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy screen 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
- 29 Raised chimneys as approved for 39 GJS
- 30 6 over 6 sashes to retained frames
- 31 Recreation of pitched roof slope - natural welsh slates

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scale bar

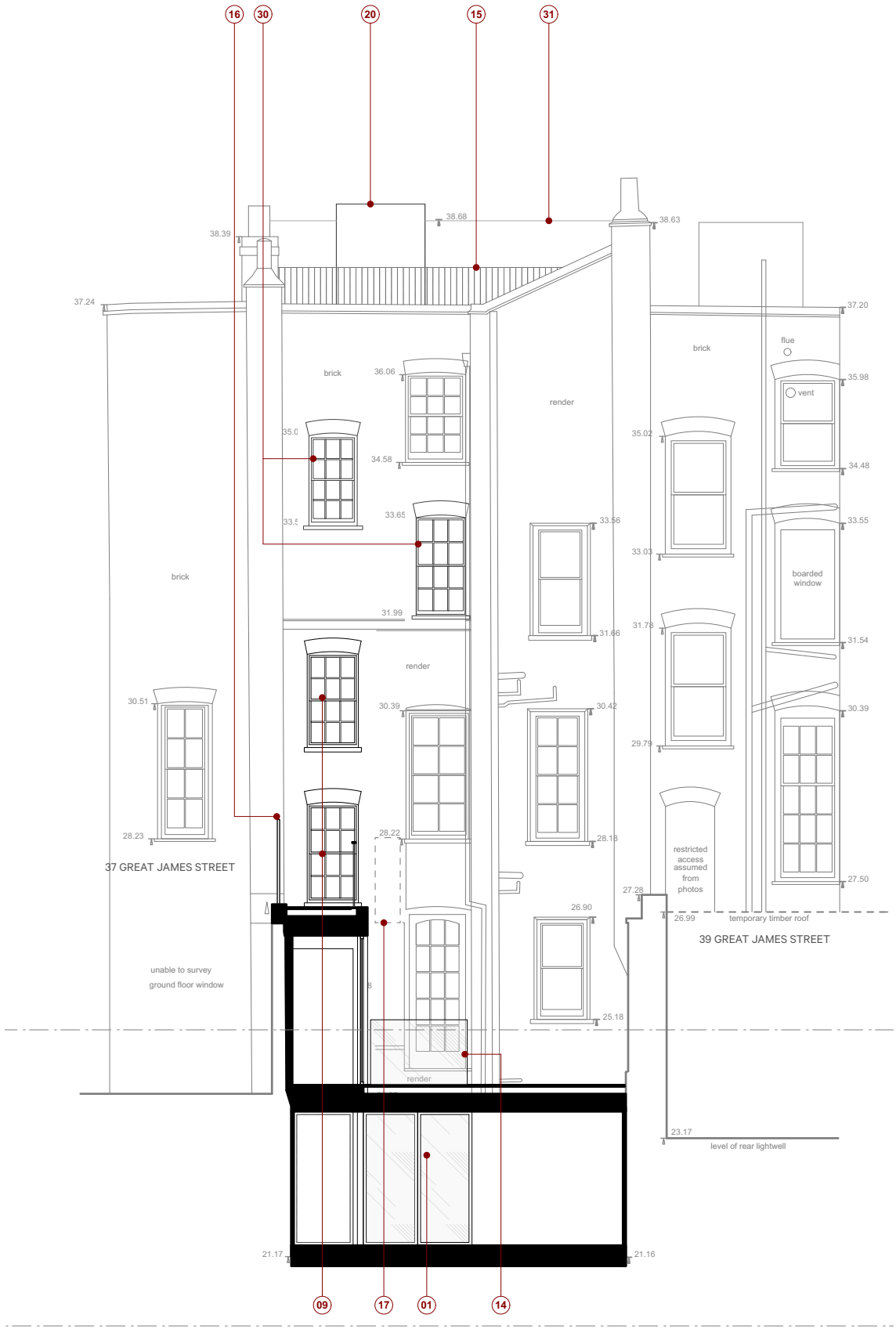
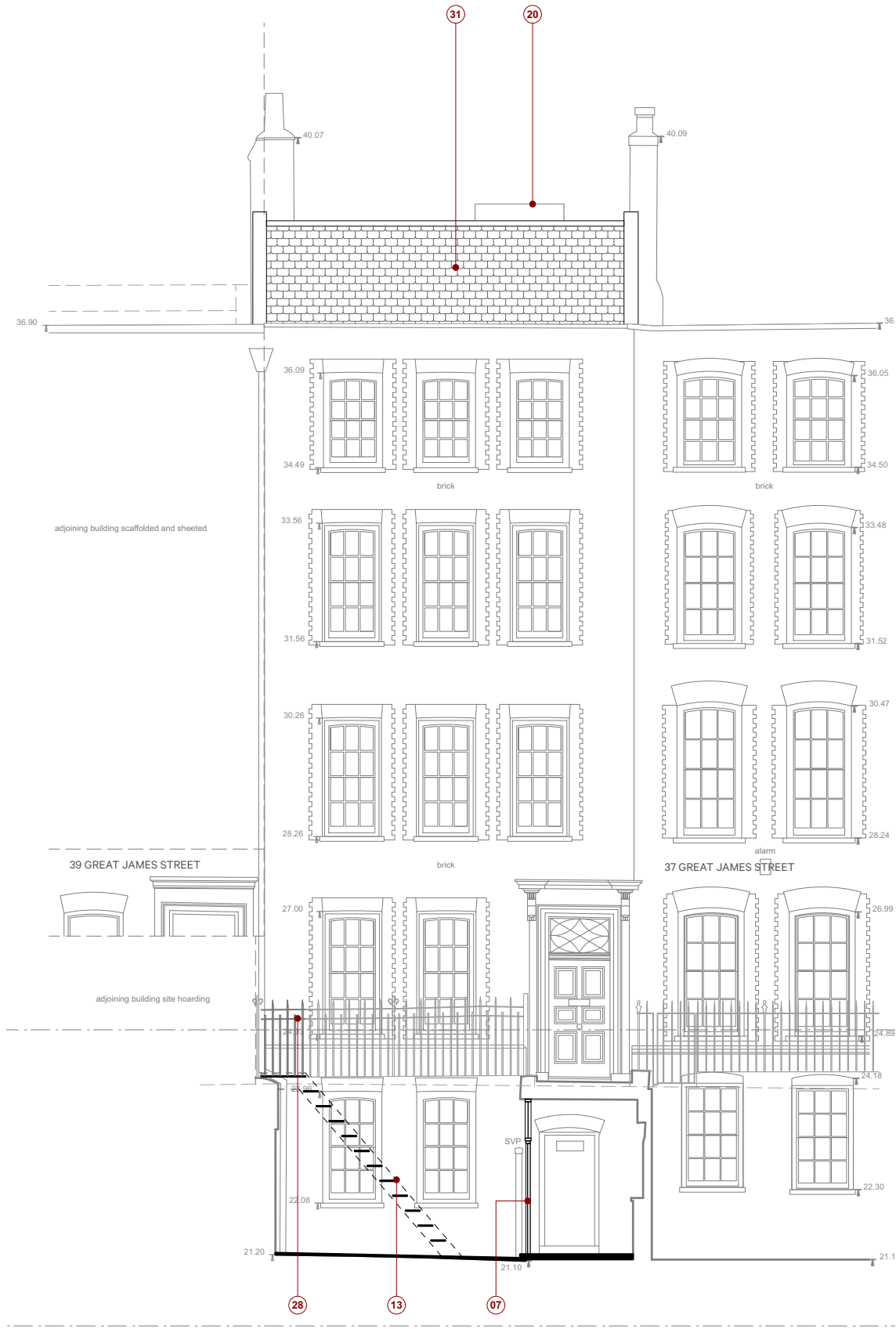


Omission of fireplace proposals;
Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
Introduction of sloped roof to 4th floor terrace;

rev	A	note	Introduction of sloped roof to 4th floor terrace;	date	25.04.04	by	VV	
dwg	title	Proposed Section D-D	project no.	2407	dwg no.	03-303	rev.	A
project	38 Great James Street	status	Planning	client	Cooper			
scale	1:100@A3 / 1:50@A1	date	January 2025	drawn	VV	check	VV	

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Proposed Elevations

key

annotations

- 01 New structurally glazed rear extension
- 02 Glazed partitions to vaults
- 03 New insulated drylining to existing walls
- 04 New internal partitions
- 05 New built in joinery
- 06 omitted
- 07 New door
- 08 Replacement glazing to windows
- 09 New timber sash window
- 10 omitted
- 11 Walk-on glass rooftop
- 12 omitted
- 13 External metal stairs
- 14 Structural glass balustrade
- 15 Mild steel balustrade
- 16 Timber privacy screen 1.7m above terrace FFL

- 17 Infill existing window in matching brickwork
- 18 New internal panelling matching surrounding panelling
- 19 New traditional style timber staircase and balustrade
- 20 New part glazed part solid stair enclosure
- 21 omitted
- 22 omitted
- 23 omitted
- 24 omitted

- 25 Make good existing cement render as necessary
- 26 omitted
- 27 omitted
- 28 Insert painted metal gate to match existing railing
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note

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scale bar



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Omission of LGF and 3rd floor layout proposals;
Omission of changes to 2nd floor bathroom;
Omission of heat pump proposals;
Omission of ground floor opening proposals;
rev A note Introduction of sloped roof to 4th floor terrace; date 25.04.04 by VV

dwg title Demolition Elevations project no. 2407 dwg no. 04-200 rev. A

project 38 Great James Street status Planning client Cooper
scale 1:100@A3 / 1:50@A1 date January 2025 drawn VV check VV

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