



Appendix F: Additional Supporting Documents

Key Facts (Crib Sheet)

135-149 Shaftesbury Avenue, Covent Garden

15 January 2025

Issue	Owner for changes	Confirmed Description for Planning Application
Site Address	M.E	135-149 Shaftesbury Ave, London WC2H 8AH
Site Name	M.E	Former Saville Theatre
Site description	M.E	<p>The former Saville Theatre at 135-149 Shaftesbury Avenue is a grade II listed building. It was built in 1930-1931 as a three-level theatre and opened in 1931. The building was designed by architect T.P Bennett & Son. The building was damaged during the blitz in 1941 but later restored.</p> <p>In the 1960's, the Theatre was bought by Brian Epstein and opened as a music venue in 1966, hosting artists such as The Who, Jimmi Hendrix and Elton John. After Brian Epstein's death in 1967, The Saville hosted shows created by Cameron Mackintosh.</p> <p>In 1970, the Building opened as a two-screen ABC Cinema. It was subsequently acquired by Cannon Cinemas as part of a takeover in 1986, which then folded into the MGM chain in 1992. The Site was taken over by Odeon in 2001 as a four-screen cinema, and the layout that is visible today.</p> <p>The Site is an island site, bordered by Shaftesbury Avenue to the south, St Giles Passage to the east, Stacey Street to the west, and New Compton Street to the south.</p> <p>The Site is not located within a Conservation Area but abuts the Denmark Street Conservation Area to the north, and the Seven Dials Conservation Area to the south.</p> <p>The Site has excellent connectivity with a Public Transport Accessibility Level ("PTAL") of 6b, which is the highest possible PTAL score and is defined as 'excellent'. Key transport facilities in the vicinity of the Site include Tottenham Court Road Underground Station, Covent Garden Station and many bus routes.</p> <p>The Applicant acquired the Site in October 2021. After commissioning a survey of its condition, it was discovered that the Building is currently in a poor state of repair, having suffered from corrosion-related damage (also known as 'Regent Street Disease').</p>
Name of applicant	M.E	YC Saville Theatre Limited
Name of Local Planning Authority	M.E	London Borough of Camden ("LBC")
Description of development	M.E	Part demolition, restoration and refurbishment of the existing Grade II listed building, roof extension, and excavation of basement space, to provide a theatre (Sui Generis) at lower levels; restaurant / bar and office space (Class E(b) / Class E(g) / Sui Generis) at ground floor level; and hotel (Class C1) at upper levels; provision of ancillary cycle parking, servicing and rooftop plant, and other associated works.
Development Summary	M.E	<p>The Proposed Development seeks to re-introduce a live performance venue to this Site and introduce a new hotel use on upper floors. The Proposed Development includes a 6-storey extension, plus plant, on top of the existing Building.</p> <p>The Proposed Development would include part-demolition, part-retention and stabilisation and refurbishment of the existing grade II listed building. New basement levels will be excavated to accommodate the theatre, with the introduction of retail and theatre lobby, box office and front of house facilities at ground floor level.</p>

The Proposed Development would become the first UK-based permanent home of Cirque du Soleil. At upper levels, the affordable luxury boutique hotel would be operated by citizenM.

Site area SPP Total red line site area (inc. site pavement and vaults): 1,273m²

Existing Building areas (GIA) SPP
Cinema – 3353m²
Ancillary – 228m²
Total – 3,581m²

LEVEL	Cinema		ANCILLARY / PLANT		TOTAL GIA	
	GIA sqm	GIA sqft	GIA sqm	GIA sqft	GIA sqm	GIA sqft
Roof	9	97	22	237	31	334
Level 05	67	721	13	140	80	861
Level 04	162	1,744	182	1,959	344	3,703
Level 03	241	2,594	0	0	241	2,594
Level 02	471	5,070	0	0	471	5,070
Level 01	552	5,942	0	0	552	5,942
Ground Floor	492	5,296	11	118	503	5,414
Basement 01	610	6,566	0	0	610	6,566
Basement 02	749	8,062	0	0	749	8,062
TOTAL	3,353	36,091	228	2,454	3,581	38,546

Planning Policy Context M.E The Development Plan for the Site comprises the following:

- The London Plan 2021 (the “London Plan”); and
- Camden Local Plan (2017) (the “Local Plan”).

The Site is subject to the following designations under the adopted Development Plan:

- Grade II listed building;
- Central Activities Zone; and
- Archaeological Priority Area.

Proposed areas (GIA) SPP
Gross Internal Areas (GIA)
Theatre – 3,688 m²
Hotel – 6,097m²
Ancillary / Plant – 1,291m²
Total – 11,076 m² GIA

LEVEL	THEATRE		HOTEL		ANCILLARY / PLANT		TOTAL GIA	
	GIA sqm	GIA sqft	GIA sqm	GIA sqft	GIA sqm	GIA sqft	GIA sqm	GIA sqft
Level 10			44	474	10	108	54	581
Level 09			711	7653	15	161	726	7815
Level 08			785	8450	15	161	800	8611
Level 07			785	8450	15	161	800	8611
Level 06			757	8148	15	161	772	8310
Level 05			651	7007	15	161	666	7169
Level 04			577	6211	160	1722	737	7933
Level 03			524	5640	160	1722	684	7363
Level 02			524	5640	160	1722	684	7363
Level 01	118	1,270	538	5,791	30	323	686	7,384
Ground Floor	501	5,393	201	2,164	42	452	744	8,008
B1 Mezzanine	476	5,124			294	3,165	770	8,288
Auditorium Technical	201	2,164			14	151	215	2,314
Basement 01	581	6,254			12	129	593	6,383
Basement 02	593	6,383			12	129	605	6,512
Basement 03	758	8,189			12	129	770	8,288
Basement 04	460	4,951			310	3,337	770	8,288
TOTAL	3,688	39,697	6,097	65,627	1,291	13,896	11,076	119,221

PTAL Rating ME 6b

Cycle Parking SPP/MTM Cycle Parking would be provided in line with the requirements of Camden Planning Guidance: Transport (2021) and would exceed the requirements of the London Plan (2021) as LBC requires a 20% increase in cycle parking provision when compared to the London Plan (2021).

Note:

- The cycle parking numbers use the London Plan plus a 20% uplift as per Camden guidelines – this same uplift was used in the original submission.
- The Theatre’s long stay spaces are calculated using the staff numbers, assumed as **120 staff members** for the smaller capacity theatre (consistent with previous application), and

has been left blank for the larger capacity theatre as **we need to confirm how many staff members would be required for that scenario.**

- Cycle parking spaces are not provided for the restaurant, as those trips would be linked with the theatre, the same justification was provided in the TA.
- Waste is calculated as a single scenario because the area schedule remains the same across both scenarios. If this changes in the future, we can update the waste requirements accordingly.
- Delivery and Servicing trips, as they were in the original submission, are provided by the future occupants of the different land uses, and remain unchanged. As per the waste, this can be amended with further discussion and clarification.

Below Table presents the long stay and cycle parking requirements of the Proposed Development.

Cycle Parking Requirements

Land Use	Requirement		Proposed Provision	
	Long Stay	Short Stay	Short Stay	Long Stay
C1 Hotel	One long stay space per 20 bedrooms	One short stay space per 50 bedrooms	6	14
D2 Theatre	One long stay space per eight FTE staff	One short stay space per 30 seats	26	18
Total			32	32

Car and other private Vehicle Parking SPP/MTM

Car and other private Vehicle Parking

The Existing Cinema does not offer any off-street parking. Some on-street parking is available on Shaftesbury Avenue to the east of the Site, though this is restricted to stays of two hours between the hours of 08:30 and 18:30 and users are required to pay to park.

The NCP Covent Garden multi-storey car park is located off Drury Lane and can be accessed from the Site on foot within ten minutes.

Motorcycle parking is in place on New Compton Street to the rear of the Site and also on the section immediately east St Giles Passage.

Around the Site there is a mixture of resident-only parking bays and paid-for parking bays. The majority of the bays around the Site are resident-only bays and cannot be used by visitors to the Site.

Along New Compton Street there are 11 paid-for parking spaces.

Car travel to the Site is very limited, again due to its position in central London. This is not an issue for the majority of users due to the excellent accessibility to the Site via various methods of public transport.

Taxi

There are no formal taxi drop-off areas adjacent to the site on Shaftesbury Avenue or in the streets adjacent to the site.

A TfL appointed taxi rank is located adjacent to Dominion Theatre on Tottenham Court Road and can be accessed on foot in five minutes.

Construction Timetable YC/KIER

Construction start month & year: October 2025
Construction Finish month & year: January 2029

Flood Zone Elliott Wood

The mapping shows the site to be wholly within Flood Zone 1 (Low Probability), which is defined in the NPPF as land having a less than 0.1% annual probability of river or sea flooding.

Refuse Strategy	SPPARC / MTM	<p>Waste would be stored as follows across two separate waste stores:</p> <ul style="list-style-type: none"> • Hotel waste: <ul style="list-style-type: none"> ○ 2 x 1100 Eurobin for general waste ○ 0 x 660L Eurobin for paper and cardboard ○ 1 x 360L wheeled bin for glass waste ○ 10 x 140L wheeled bins for food waste • Theatre & Restaurant waste: <ul style="list-style-type: none"> ○ 1 x 1100L wheeled bin for general waste ○ 1 x 660L Eurobin for paper and cardboard ○ 1 x 360L wheeled bin for glass waste ○ 2 x 140L wheeled bins for food waste
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Servicing Strategy	SPP / MTM	The number of delivery and servicing vehicle trips attracted to the Site has been established based on future occupier requirements. These requirements are summarised below:
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Servicing Requirements

Cirque Du Soleil (Theatre)	Incipio (Restaurant)	Citizen M (Theatre)
Seven consumable deliveries per week	Seven beverage deliveries per week.	Seven catering deliveries per week.
Set related / costume deliveries as and when required.	26 food deliveries per week	Twelve beverage deliveries per week – four vehicles per day, three days per week.
	One consumable delivery per week	One hotel supply delivery per week.
	Eleven waste collections per week	Three waste collections per week
		Seven linen deliveries per week.

Based on the forecast deliveries set out in the Table, 79 delivery / servicing trips per week would be forecast if no consolidation strategy were in place.

Without the implementation of a booking strategy, 22 deliveries would be forecast on the busiest day. These would be split as follows:

- 18 cars/vans
- 3 MGVs
- 1 HGVs

Sustainability	HOARE LEA	<p>Energy Strategy:</p> <p>The Assessment Report demonstrates a betterment over Part L of the Building Regulations, will be achieved for the proposed development.</p> <p>This assessment report demonstrates a betterment over Part L of the Building Regulations, will be achieved for the Proposed Development. The Be Lean scenario shows a reduction of 5.3% over the Baseline building, designed to Part L standards. This fails to meet the London Plan 2022 Guidance 15% reduction policy using energy efficiency alone, however it still demonstrates a reduction in carbon emissions over the GLA baseline.</p> <p>The Be Green scenario proposed achieves a 11.9% reduction in annual regulated carbon emissions when compared to the Part L 2021 baseline. Although this fails to meet the London Plan 2021 Guidance demanding a 35% reduction over Part L 2021 using low or zero carbon technologies and renewables, it still shows a reduction in carbon emissions over the GLA baseline.</p>
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Please note the above data will be validated once the updated Energy strategy is completed by HL based on the revised scheme.

BREEAM Targets – BREEAM Excellent for Hotel & Theatre for New Built

Drainage Strategy	Elliott Wood	Sustainable Drainage Report demonstrate that an appropriate surface water drainage strategy has been developed for the site based on sustainable drainage principles in line with the relevant local and national policy and standards.
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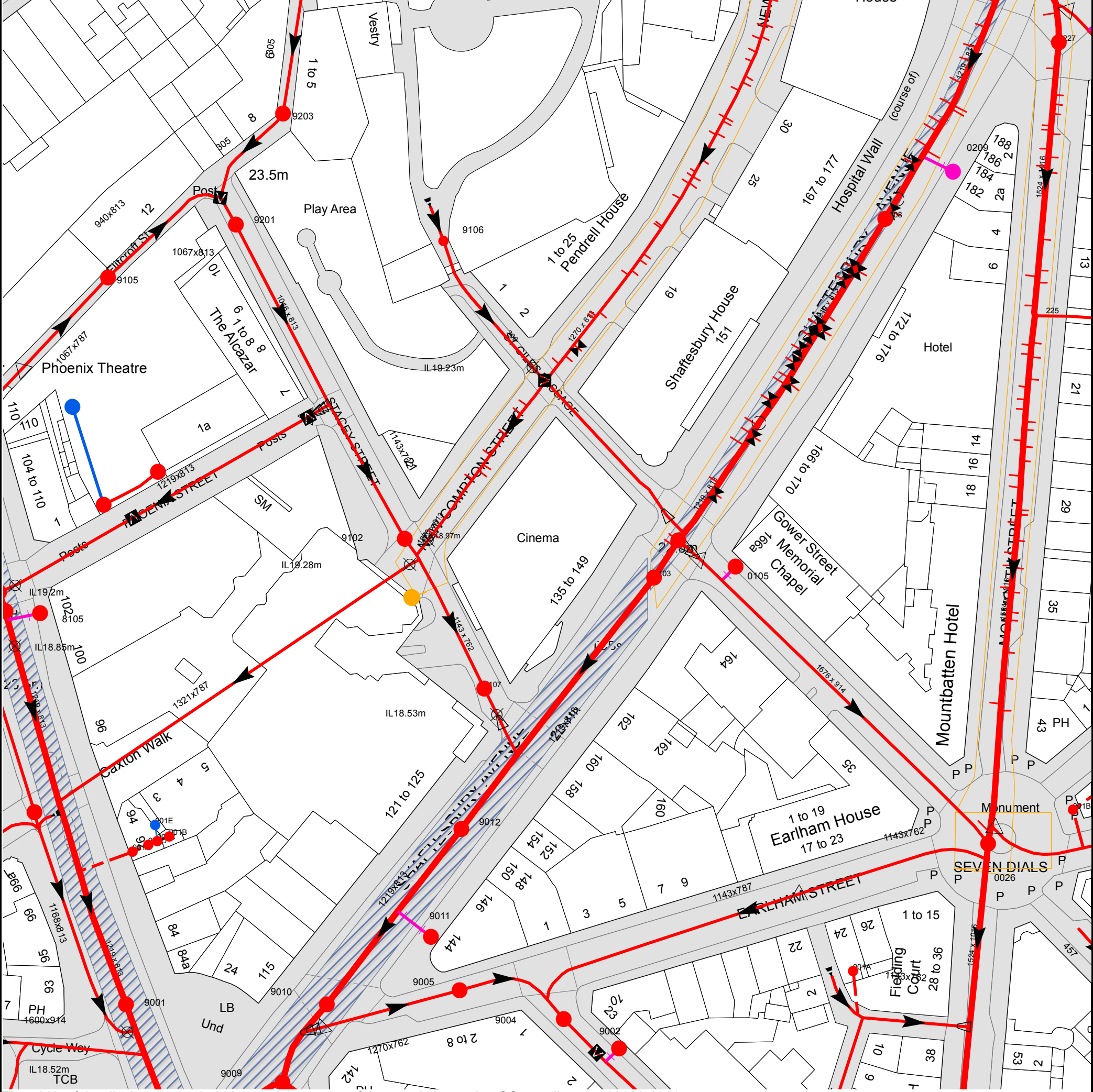
Sustainable Drainage Report is intended to support an outline planning application and as such the level of detail included is commensurate with the nature of the proposals. **Below table** provides a summary of key Information

Below information is as per previous submission. To be validated once Elliott Wood Reports are completed

Table 5-1 Summary of Key Information

Topic	Existing Site		Proposed Development
Site Area (m ²)	800		800
Impermeable Area (m ²)	800		800
Number of Sub-Catchments	1		1
Outfall Location(s)	Combined Sewer Network		Combined Sewer Network
Peak Runoff Rate (l/s)	1 in 2-year	16.8	As Existing
	1 in 30-year	43.9	
	1 in 100-year	81.3	
Proposed Storage Volume (m ³)	-		-
SuDS Features	-		Rainwater harvesting systems
Maintenance Responsibilities	Landowner		Landowner Operators

Title Numbers	YC	Title Number 256404
UGF score	RPS	Target of 0.3
Green Roofs	SPPARC / RPS	Roof Areas: Level 09 – 74 Sqm (external area, not publicly accessible – Green Roof) Level 10 – 630 Sqm (predominantly covered by Plant and MEP – Blue Roof) Level 11 – 67 Sqm (top of the Core – Green Roof) Total of 771 Sqm



The width of the displayed area is 200 m and the centre of the map is located at OS coordinates 529982,181144

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

Based on the Ordnance Survey Map with the Sanction of the controller of H.M. Stationery Office, License no. 100019345 Crown Copyright Reserved.

NB. Levels quoted in metres Ordnance Newlyn Datum. The value -9999.00 indicates that no survey information is available

Manhole Reference	Manhole Cover Level	Manhole Invert Level
9010	23.09	18.14
9011	n/a	n/a
9005	23.1	18.52
9012	22.85	18.2
9004	23.18	18.33
9002	n/a	n/a
001A	n/a	n/a
0026	23.79	18.17
8104	n/a	n/a
8001	23.65	18.79
8105	n/a	n/a
81AD	n/a	n/a
81AC	n/a	n/a
9105	23.84	19.67
91BI	n/a	n/a
9201	23.54	19.41
9203	23.81	19.67
9102	23.34	18.98
9106	24.64	23.3
9107	n/a	n/a
9103	22.76	n/a
AUTO	n/a	n/a
0105	n/a	n/a
0208	n/a	18.37
0209	n/a	n/a
0227	22.93	18.89
001B	n/a	n/a
9001	n/a	18.58
901A	n/a	n/a
901D	n/a	n/a
901E	n/a	n/a
901C	n/a	n/a
901B	n/a	n/a
9009	23.22	18.1

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ALS Sewer Map Key

Public Sewer Types (Operated & Maintained by Thames Water)

	Foul: A sewer designed to convey waste water from domestic and industrial sources to a treatment works.
	Surface Water: A sewer designed to convey surface water (e.g. rain water from roofs, yards and car parks) to rivers or watercourses.
	Combined: A sewer designed to convey both waste water and surface water from domestic and industrial sources to a treatment works.
	Trunk Surface Water
	Trunk Foul
	Storm Relief
	Trunk Combined
	Bio-solids (Sludge)
	Proposed Thames Water Foul Sewer
	Foul Rising Main
	Combined Rising Main
	Proposed Thames Water Rising Main

Notes:

- 1) All levels associated with the plans are to Ordnance Datum Newlyn.
- 2) All measurements on the plans are metric.
- 3) Arrows (on gravity fed sewers) or flecks (on rising mains) indicate direction of flow.
- 4) Most private pipes are not shown on our plans, as in the past, this information has not been recorded.
- 5) 'na' or 'D' on a manhole level indicates that data is unavailable.

Sewer Fittings

A feature in a sewer that does not affect the flow in the pipe. Example: a vent is a fitting as the function of a vent is to release excess gas.

	Air Valve
	Dam Chase
	Fitting
	Meter
	Vent Column

Operational Controls

A feature in a sewer that changes or diverts the flow in the sewer. Example: A hydrobrake limits the flow passing downstream.

	Control Valve
	Drop Pipe
	Ancillary
	Weir

End Items

End symbols appear at the start or end of a sewer pipe. Examples: an Undefined End at the start of a sewer indicates that Thames Water has no knowledge of the position of the sewer upstream of that symbol, Outfall on a surface water sewer indicates that the pipe discharges into a stream or river.

	Outfall
	Undefined End
	Inlet

Other Symbols

Symbols used on maps which do not fall under other general categories

	Public/Private Pumping Station
	Change of characteristic indicator (C.O.C.I.)
	Invert Level
	Summit

Areas

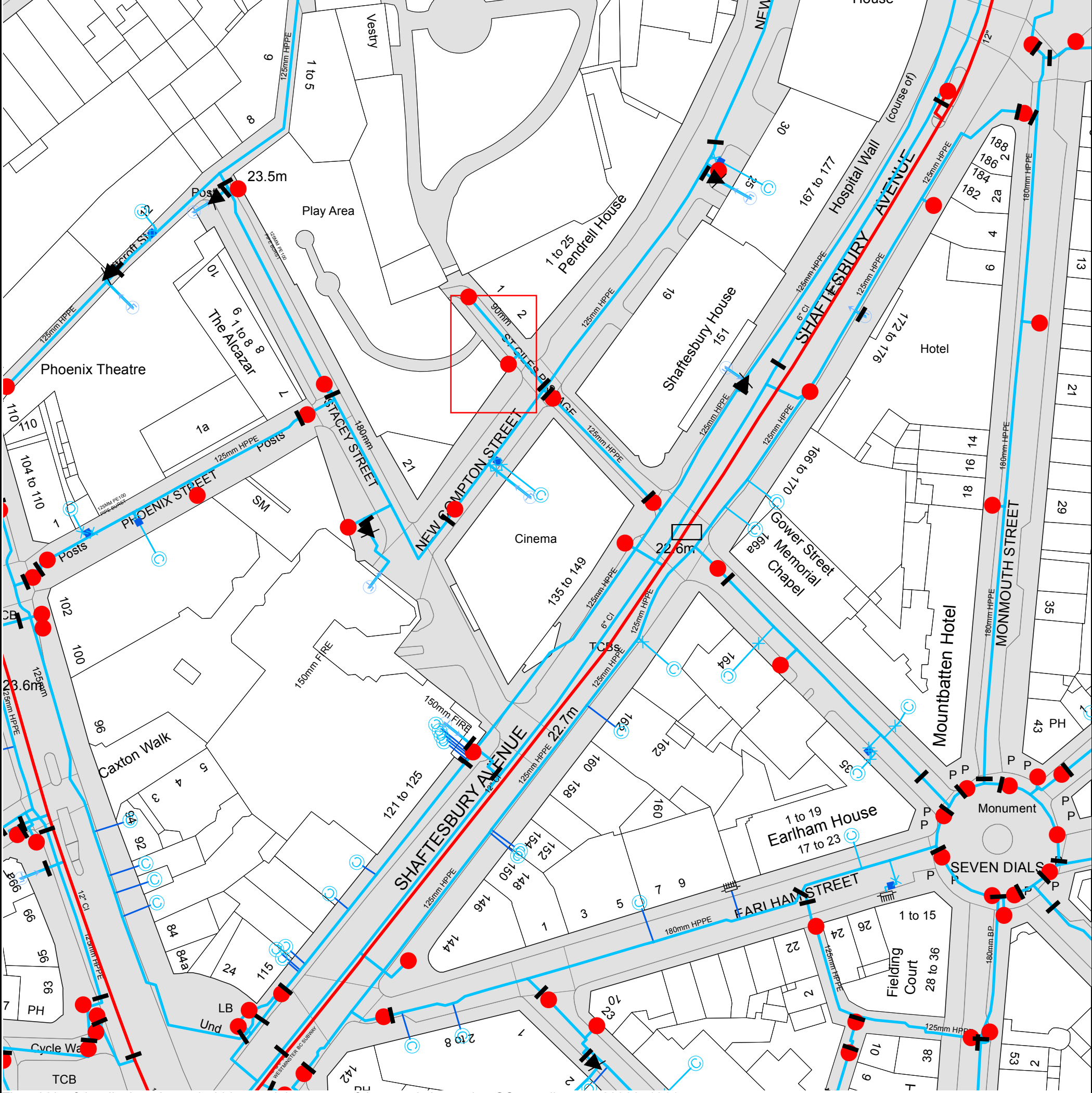
Lines denoting areas of underground surveys, etc.

	Agreement
	Operational Site
	Chamber
	Tunnel
	Conduit Bridge

Other Sewer Types (Not Operated or Maintained by Thames Water)

	Foul Sewer		Surface Water Sewer
	Combined Sewer		Gully
	Culverted Watercourse		Proposed
	Abandoned Sewer		

- 6) The text appearing alongside a sewer line indicates the internal diameter of the pipe in millimetres. Text next to a manhole indicates the manhole reference number and should not be taken as a measurement. If you are unsure about any text or symbology present on the plan, please contact a member of Property Searches on 0800 009 4540.



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ALS Water Map Key

Water Pipes (Operated & Maintained by Thames Water)

4"	Distribution Main: The most common pipe shown on water maps. With few exceptions, domestic connections are only made to distribution mains.
16"	Trunk Main: A main carrying water from a source of supply to a treatment plant or reservoir, or from one treatment plant or reservoir to another. Also a main transferring water in bulk to smaller water mains used for supplying individual customers.
3" SUPPLY	Supply Main: A supply main indicates that the water main is used as a supply for a single property or group of properties.
3" FIRE	Fire Main: Where a pipe is used as a fire supply, the word FIRE will be displayed along the pipe.
3" METERED	Metered Pipe: A metered main indicates that the pipe in question supplies water for a single property or group of properties and that quantity of water passing through the pipe is metered even though there may be no meter symbol shown.
	Transmission Tunnel: A very large diameter water pipe. Most tunnels are buried very deep underground. These pipes are not expected to affect the structural integrity of buildings shown on the map provided.
	Proposed Main: A main that is still in the planning stages or in the process of being laid. More details of the proposed main and its reference number are generally included near the main.

PIPE DIAMETER	DEPTH BELOW GROUND
Up to 300mm (12")	900mm (3')
300mm - 600mm (12" - 24")	1100mm (3' 8")
600mm and bigger (24" plus)	1200mm (4')

Valves

	General Purpose Valve
	Air Valve
	Pressure Control Valve
	Customer Valve

Hydrants

	Single Hydrant
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Meters

	Meter
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End Items

Symbol indicating what happens at the end of a water main.

	Blank Flange
	Capped End
	Emptying Pit
	Undefined End
	Manifold
	Customer Supply
	Fire Supply

Operational Sites

	Booster Station
	Other
	Other (Proposed)
	Pumping Station
	Service Reservoir
	Shaft Inspection
	Treatment Works
	Unknown
	Water Tower

Other Symbols

	Data Logger
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Other Water Pipes (Not Operated or Maintained by Thames Water)

	Other Water Company Main: Occasionally other water company water pipes may overlap the border of our clean water coverage area. These mains are denoted in purple and in most cases have the owner of the pipe displayed along them.
	Private Main: Indicates that the water main in question is not owned by Thames Water. These mains normally have text associated with them indicating the diameter and owner of the pipe.



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