

DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors - All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to be removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

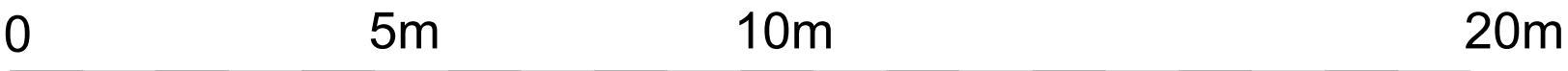
SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 099	
01	01.099.01 - Allow for masonry wall to be removed
02	01.099.02 - Allow for load bearing masonry pier to be demolished and replaced with new steel column to match existing in accordance with structural engineers specification
03	01.099.03 - Allow for existing partition and door to be removed completely
04	01.099.04 - Allow for existing lobby to be removed
05	01.099.05 - Allow for existing plant room to be demolished completely
06	01.099.06 - Allow for existing nibs to be removed
07	01.099.07 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
08	01.099.08 - Existing stair to be removed throughout
09	01.099.09 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
10	01.099.10 - Existing cladding to lift shaft and existing lift cars + running gear to be removed completely. Existing primary structure to be retained and survey after removal.
11	01.099.11 - Existing load bearing masonry walls to be removed as indicated, allow for temporary propping and new steel support structure to be developed in accordance with structural engineers specification
12	01.099.12 - Existing non original timber stair to be removed between lower ground and ground floor levels
13	01.099.13 - Existing stair between lower ground and service yard levels to be retained
14	01.099.14 - Existing lift car and shaft to be demolished throughout
15	01.099.15 - Existing slab to be excavated to allow for new lift pit creation
16	01.099.16 - Extended metal stair to be removed
17	01.099.17 - External chiller plant to be removed
18	01.099.18 - Existing internal plant to be removed completely



1 Basement Demolition Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings. Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions. This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information. All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details. Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.			
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Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022	Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY	Title Basement Demolition Plan
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 099	Rev. PL-2
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com			

DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.

Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.

Light Fittings and CCTV - All existing light fittings to be removed.

All existing CCTV cameras to be removed.

Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.

Floors

All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.

Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's

All existing sanitaryware, vanity units and associated pipework to be removed.

All existing cistern housings / IPS access panels to be removed.

All existing cubicle doors and separating walls to be stripped out.

All ceilings, lighting, wall finishes to be stripped out back to bare structure.

All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.

21 SOUTHAMPTON ROW STAIRS & LOBBY

Stairs

Existing stair to be removed entirely inline with Structural Engineers information.

Lobby

All existing floor finishes, and screed to lobby area to be stripped out back to slab level.

Allow for the slab to be removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY

Stairs

Existing terrazzo finishes to main stair to be retained and protected throughout construction.

Existing handrails to be removed entirely throughout the staircase.

Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.

Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.

Lobby

All existing floor finishes, and screed to lobby area to be stripped out back to slab level.

All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)

Fire Alarms

All existing fire alarms to be disconnected and removed.

Office areas

All existing radiators and wall mounted heating to be removed

All existing heating/cooling units to be removed

All ductwork and cabling to be removed

All above ceiling services, ductwork and cabling to be removed

Risers and riser doors to be removed as indicated.

WC's and Lobby areas

All existing radiators and wall mounted heating to be removed

Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas

Indicates non original non structural partitions to be removed

Indicates non structural elements that need to be removed / demolished

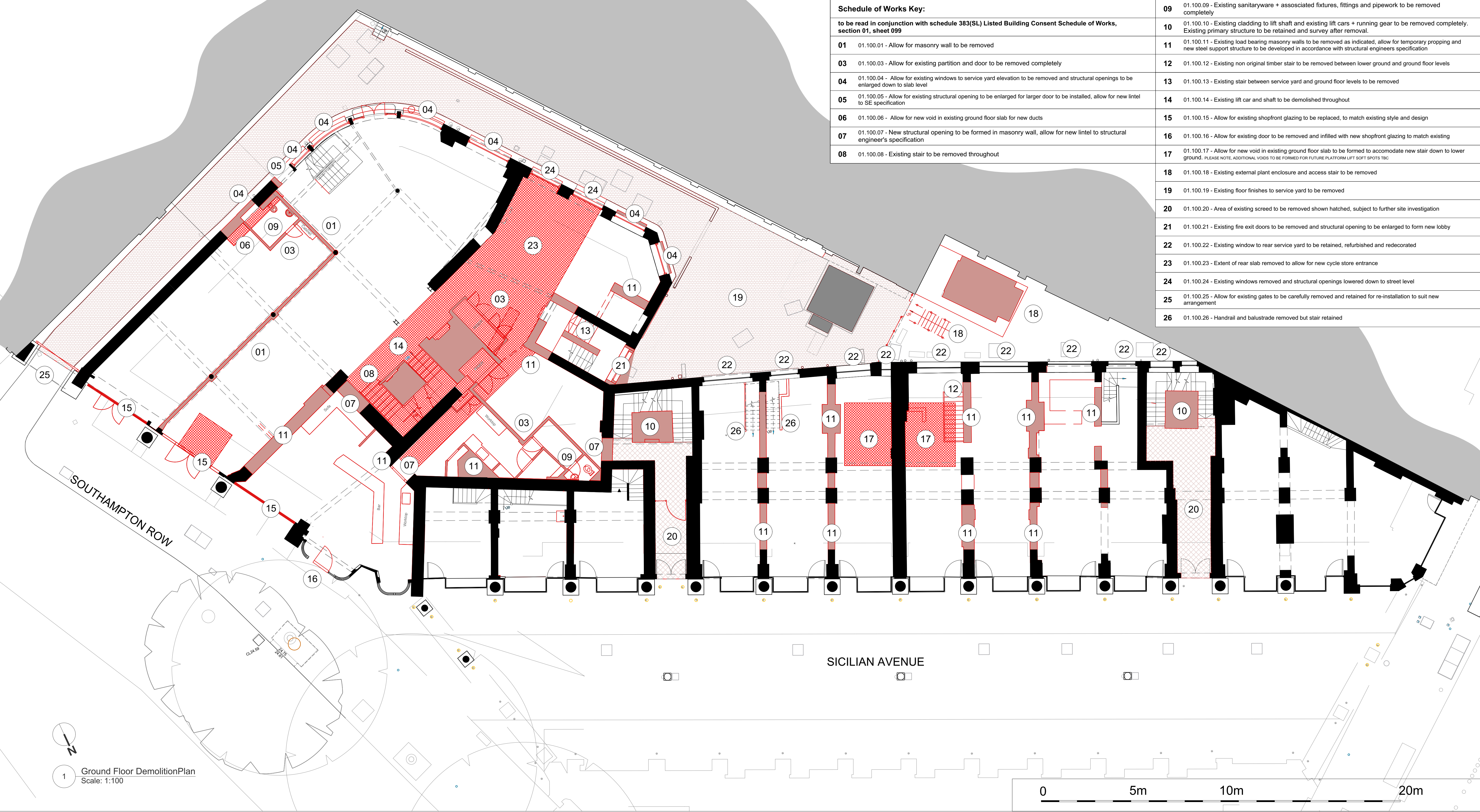
Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements

Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements

Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements

Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 099	
01	01.100.01 - Allow for masonry wall to be removed
03	01.100.03 - Allow for existing partition and door to be removed completely
04	01.100.04 - Allow for existing windows to service yard elevation to be removed and structural openings to be enlarged down to slab level
05	01.100.05 - Allow for existing structural opening to be enlarged for larger door to be installed, allow for new lintel to SE specification
06	01.100.06 - Allow for new void in existing ground floor slab for new ducts
07	01.100.07 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
08	01.100.08 - Existing stair to be removed throughout
09	01.100.09 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
10	01.100.10 - Existing cladding to lift shaft and existing lift cars + running gear to be removed completely. Existing primary structure to be retained and survey after removal.
11	01.100.11 - Existing load bearing masonry walls to be removed as indicated, allow for temporary propping and new steel support structure to be developed in accordance with structural engineers specification
12	01.100.12 - Existing non original timber stair to be removed between lower ground and ground floor levels
13	01.100.13 - Existing stair between service yard and ground floor levels to be removed
14	01.100.14 - Existing lift car and shaft to be demolished throughout
15	01.100.15 - Allow for existing shopfront glazing to be replaced, to match existing style and design
16	01.100.16 - Allow for existing door to be removed and infilled with new shopfront glazing to match existing
17	01.100.17 - Allow for new void in existing ground floor slab to be formed to accommodate new stair down to lower ground. PLEASE NOTE, ADDITIONAL VOIDS TO BE FORMED FOR FUTURE PLATFORM LIFT SOFT SPOTS TBC
18	01.100.18 - Existing external plant enclosure and access stair to be removed
19	01.100.19 - Existing floor finishes to service yard to be removed
20	01.100.20 - Area of existing screed to be removed shown hatched, subject to further site investigation
21	01.100.21 - Existing fire exit doors to be removed and structural opening to be enlarged to form new lobby
22	01.100.22 - Existing window to rear service yard to be retained, refurbished and redecorated
23	01.100.23 - Extent of rear slab removed to allow for new cycle store entrance
24	01.100.24 - Existing windows removed and structural openings lowered down to street level
25	01.100.25 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement
26	01.100.26 - Handrail and balustrade removed but stair retained



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GENERAL

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OFFICES

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Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.

Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.

Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.

Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.

Floors - All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.

Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's
All existing sanitaryware, vanity units and associated pipework to be removed.

All existing cistern housings / IPS access panels to be removed.

All existing cubicle doors and separating walls to be stripped out.

All ceilings, lighting, wall finishes to be stripped out back to bare structure.

All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.

Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.

Allow for the slab to be removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.

Existing handrails to be removed entirely throughout the staircase.

Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.

Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.

Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.

All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.

Office areas
All existing radiators and wall mounted heating to be removed

All existing heating/cooling units to be removed
All ductwork and cabling to be removed

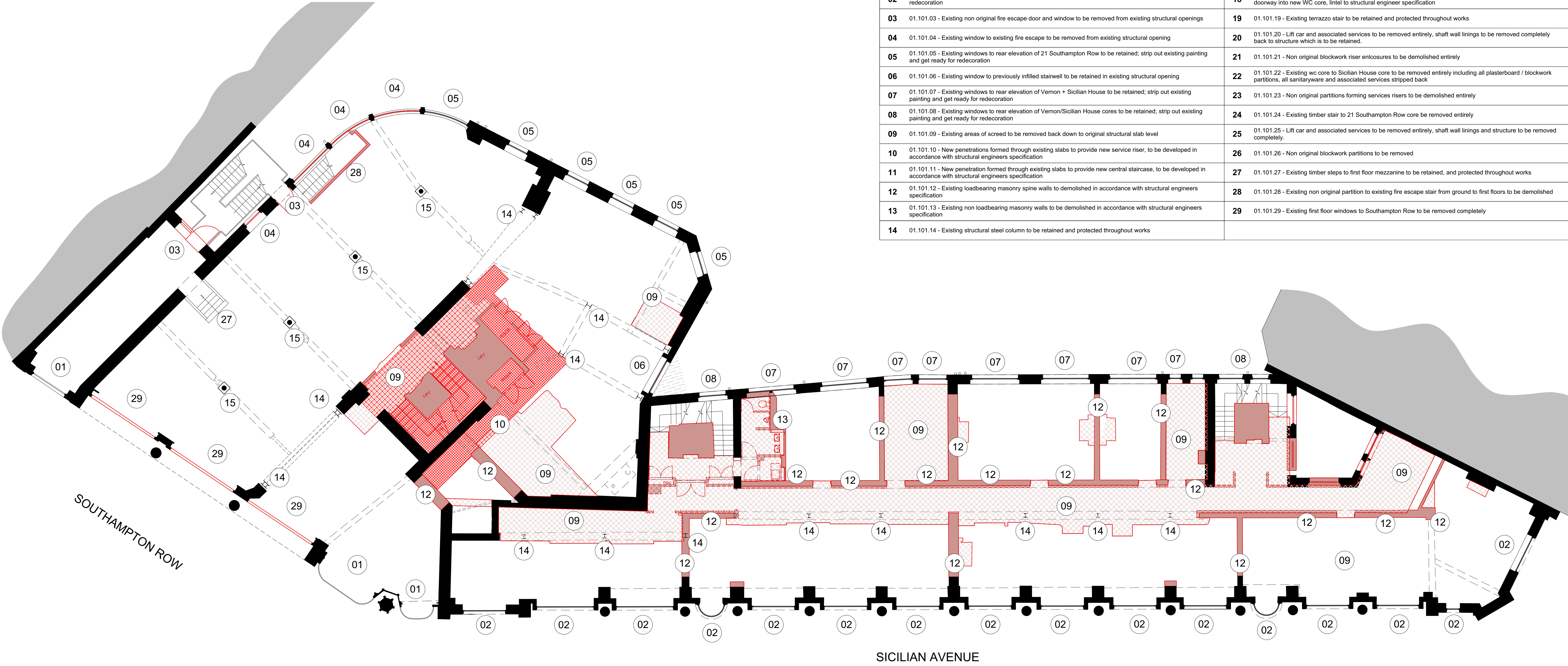
All above ceiling services, ductwork and cabling to be removed

Risers and riser doors to be removed as indicated.

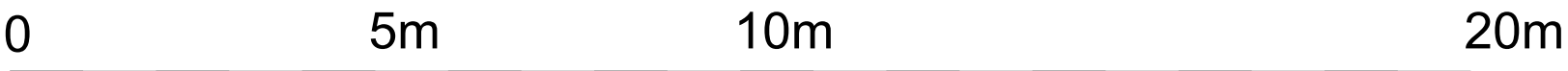
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
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- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 101	
01	01.101.01 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration
02	01.101.02 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration
03	01.101.03 - Existing non original fire escape door and window to be removed from existing structural openings
04	01.101.04 - Existing window to existing fire escape to be removed from existing structural opening
05	01.101.05 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration
06	01.101.06 - Existing window to previously infilled stairwell to be retained in existing structural opening
07	01.101.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained; strip out existing painting and get ready for redecoration
08	01.101.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained; strip out existing painting and get ready for redecoration
09	01.101.09 - Existing areas of screed to be removed back down to original structural slab level
10	01.101.10 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification
11	01.101.11 - New penetration formed through existing slabs to provide new central staircase, to be developed in accordance with structural engineers specification
12	01.101.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
13	01.101.13 - Existing non loadbearing masonry walls to be demolished in accordance with structural engineers specification
14	01.101.14 - Existing structural steel column to be retained and protected throughout works
15	01.101.15 - Existing feature round steel columns to be retained and protected throughout works
16	01.101.16 - Existing windows to Vernon/Sicilian House Core lightwell to be removed from existing structural openings
17	01.101.17 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new service riser with double doors and new penetrations formed through wall at high level for new ductwork routes
18	01.101.18 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new doorway into new WC core, lintel to structural engineer specification
19	01.101.19 - Existing terrazzo stair to be retained and protected throughout works
20	01.101.20 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained.
21	01.101.21 - Non original blockwork riser enclosures to be demolished entirely
22	01.101.22 - Existing wc core to Sicilian House core to be removed entirely including all plasterboard / blockwork partitions, all sanitaryware and associated services stripped back
23	01.101.23 - Non original partitions forming services risers to be demolished entirely
24	01.101.24 - Existing timber stair to 21 Southampton Row core to be removed entirely
25	01.101.25 - Lift car and associated services to be removed entirely, shaft wall linings and structure to be removed completely.
26	01.101.26 - Non original blockwork partitions to be removed
27	01.101.27 - Existing timber steps to first floor mezzanine to be retained, and protected throughout works
28	01.101.28 - Existing non original partition to existing fire escape stair from ground to first floors to be demolished
29	01.101.29 - Existing first floor windows to Southampton Row to be removed completely



1 First Floor Demolition Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022			Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY	Title First Floor Demolition Plan		
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 101	Rev. PL-2		
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP					
T: 020 3735 7442		E: mail@halebrown.com		W: www.halebrown.com	

DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors - All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to be removed to allow for construction of new stair core

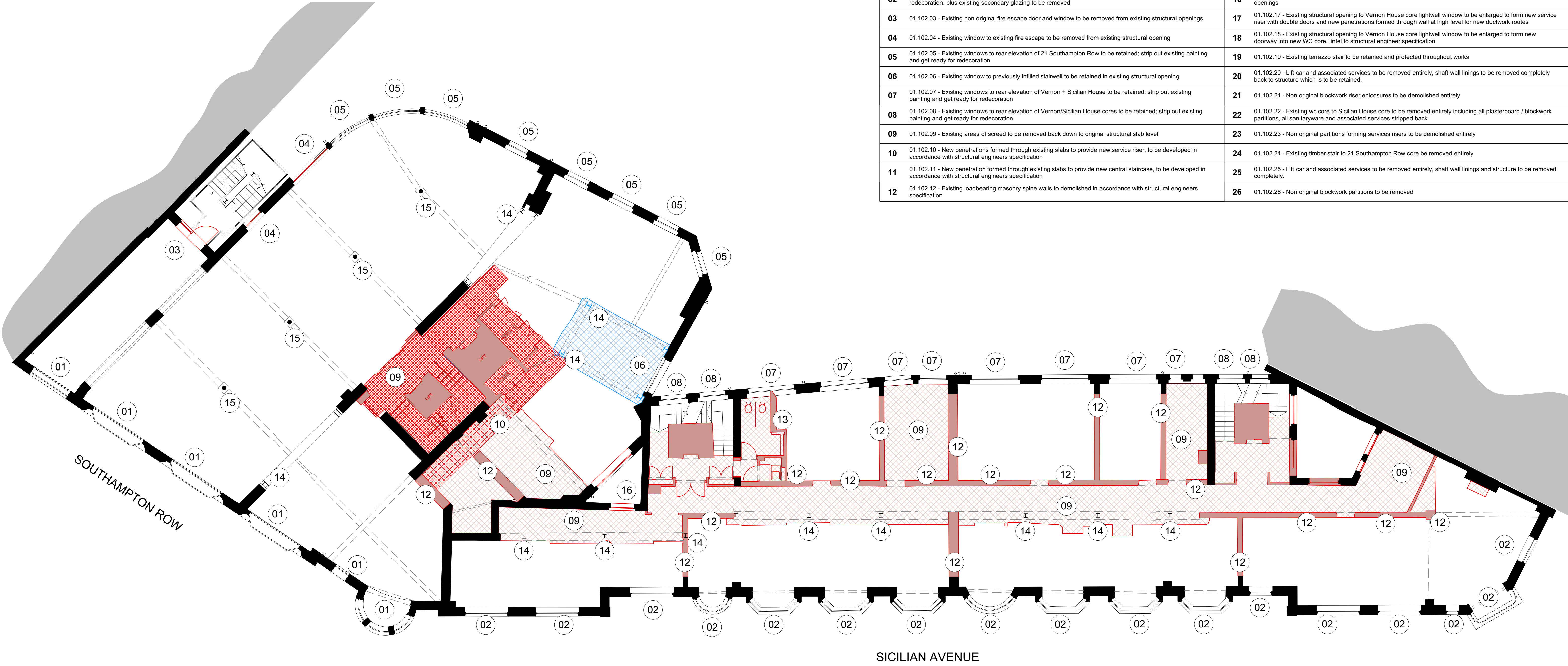
VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

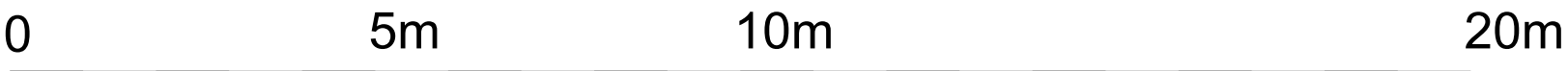
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished

Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statementsIndicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statementsIndicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statementsIndicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 102	
01	01.102.01 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
02	01.102.02 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
03	01.102.03 - Existing non original fire escape door and window to be removed from existing structural openings
04	01.102.04 - Existing window to existing fire escape to be removed from existing structural opening
05	01.102.05 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration
06	01.102.06 - Existing window to previously infilled stairwell to be retained in existing structural opening
07	01.102.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained; strip out existing painting and get ready for redecoration
08	01.102.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained; strip out existing painting and get ready for redecoration
09	01.102.09 - Existing areas of screed to be removed back down to original structural slab level
10	01.102.10 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification
11	01.102.11 - New penetration formed through existing slabs to provide new central staircase, to be developed in accordance with structural engineers specification
12	01.102.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
13	01.102.13 - Existing non loadbearing masonry walls to be demolished in accordance with structural engineers specification
14	01.102.14 - Existing structural steel column to be retained and protected throughout works
15	01.102.15 - Existing feature round steel columns to be retained and protected throughout works
16	01.102.16 - Existing windows to Vernon/Sicilian House Core lightwell to be removed from existing structural openings
17	01.102.17 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new service riser with double doors and new penetrations formed through wall at high level for new ductwork routes
18	01.102.18 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new doorway into new WC core, lintel to structural engineer specification
19	01.102.19 - Existing terrazzo stair to be retained and protected throughout works
20	01.102.20 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained.
21	01.102.21 - Non original blockwork riser enclosures to be demolished entirely
22	01.102.22 - Existing wc core to Sicilian House core to be removed entirely including all plasterboard / blockwork partitions, all sanitaryware and associated services stripped back
23	01.102.23 - Non original partitions forming services risers to be demolished entirely
24	01.102.24 - Existing timber stair to 21 Southampton Row core be removed entirely
25	01.102.25 - Lift car and associated services to be removed entirely, shaft wall linings and structure to be removed completely.
26	01.102.26 - Non original blockwork partitions to be removed



1 Second Floor Demolition Plan
Scale: 1:100



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Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 102
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442	E: mail@halebrown.com	W: www.halebrown.com

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Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to be removed to allow for construction of new stair core

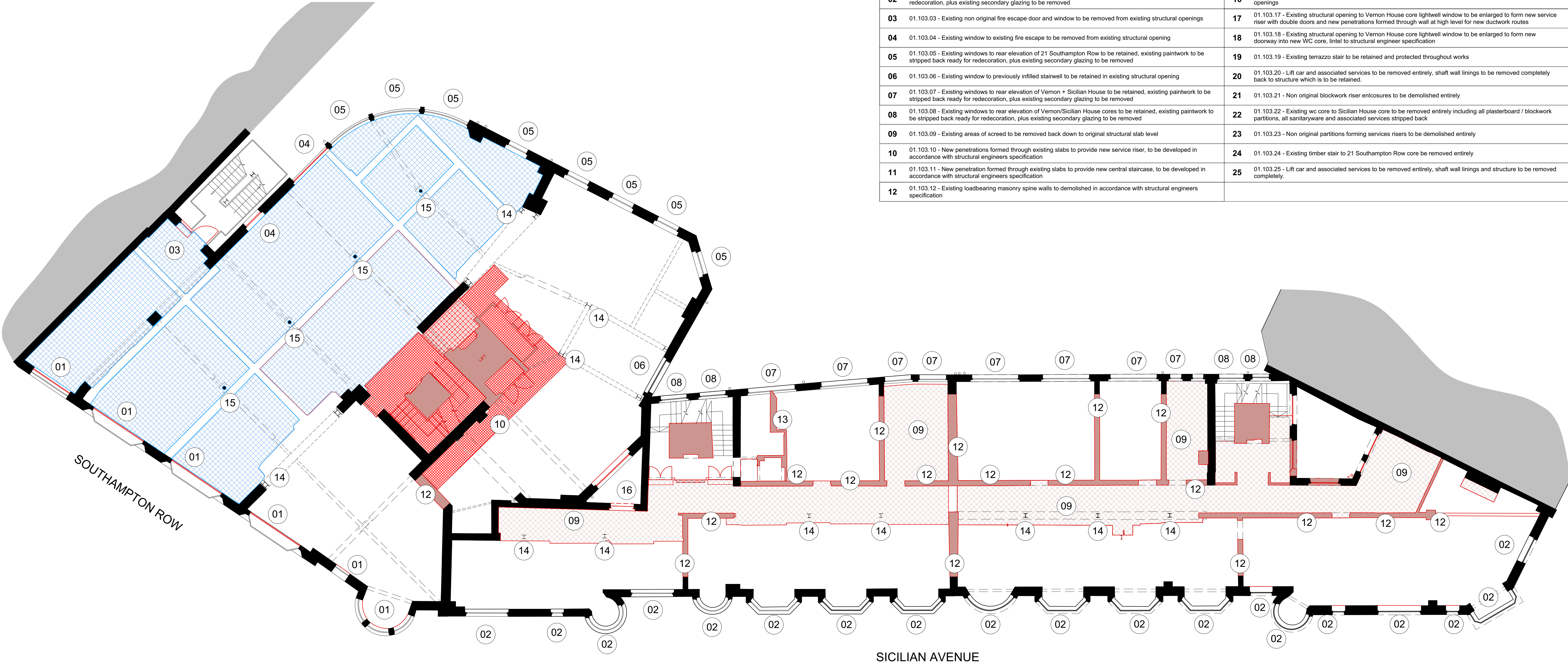
VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished

Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statementsIndicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statementsIndicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statementsIndicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 103	
01 01.103.01 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	13 01.103.13 - Existing non loadbearing masonry walls to be demolished in accordance with structural engineers specification
02 01.103.02 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	14 01.103.14 - Existing structural steel column to be retained and protected throughout works
03 01.103.03 - Existing non original fire escape door and window to be removed from existing structural openings	15 01.103.15 - Existing feature round steel columns to be retained and protected throughout works
04 01.103.04 - Existing window to existing fire escape to be removed from existing structural opening	16 01.103.16 - Existing windows to Vernon/Sicilian House Core lightwell to be removed from existing structural openings
05 01.103.05 - Existing windows to rear elevation of 21 Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	17 01.103.17 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new service riser with double doors and new penetrations formed through wall at high level for new ductwork routes
06 01.103.06 - Existing window to previously infilled stairwell to be retained in existing structural opening	18 01.103.18 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new doorway into new WC core, lintel to structural engineer specification
07 01.103.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	19 01.103.19 - Existing terrazzo stair to be retained and protected throughout works
08 01.103.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	20 01.103.20 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained.
09 01.103.09 - Existing areas of screed to be removed back down to original structural slab level	21 01.103.21 - Non original blockwork riser enclosures to be demolished entirely
10 01.103.10 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification	22 01.103.22 - Existing wc core to Sicilian House core to be removed entirely including all plasterboard / blockwork partitions, all sanitaryware and associated services stripped back
11 01.103.11 - New penetration formed through existing slabs to provide new central staircase, to be developed in accordance with structural engineers specification	23 01.103.23 - Non original partitions forming services risers to be demolished entirely
12 01.103.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification	24 01.103.24 - Existing timber stair to 21 Southampton Row core be removed entirely
	25 01.103.25 - Lift car and associated services to be removed entirely, shaft wall linings and structure to be removed completely.



DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors - All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

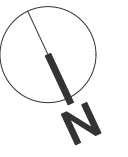
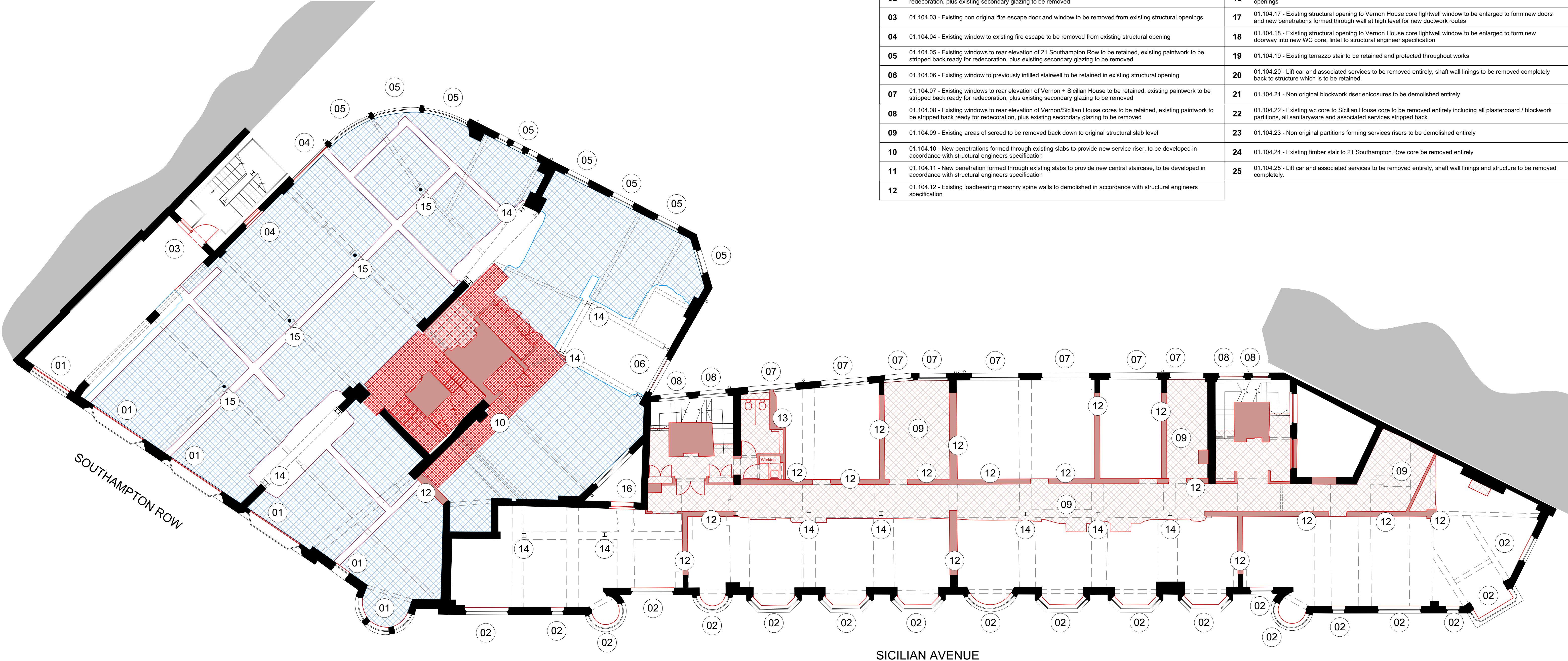
WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to be removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

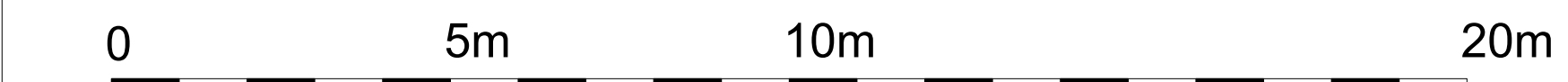
SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 104	
01	01.104.01 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
02	01.104.02 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
03	01.104.03 - Existing non original fire escape door and window to be removed from existing structural openings
04	01.104.04 - Existing window to existing fire escape to be removed from existing structural opening
05	01.104.05 - Existing windows to rear elevation of 21 Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
06	01.104.06 - Existing window to previously infilled stairwell to be retained in existing structural opening
07	01.104.07 - Existing windows to rear elevation of Vernon + Sicilian House to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
08	01.104.08 - Existing windows to rear elevation of Vernon/Sicilian House cores to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
09	01.104.09 - Existing areas of screed to be removed back down to original structural slab level
10	01.104.10 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification
11	01.104.11 - New penetration formed through existing slabs to provide new central staircase, to be developed in accordance with structural engineers specification
12	01.104.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
13	01.104.13 - Existing non loadbearing masonry walls to be demolished in accordance with structural engineers specification
14	01.104.14 - Existing structural steel column to be retained and protected throughout works
15	01.104.15 - Existing feature round steel columns to be retained and protected throughout works
16	01.104.16 - Existing windows to Vernon/Sicilian House Core lightwell to be removed from existing structural openings
17	01.104.17 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new doors and new penetrations formed through wall at high level for new ductwork routes
18	01.104.18 - Existing structural opening to Vernon House core lightwell window to be enlarged to form new doorway into new WC core, lintel to structural engineer specification
19	01.104.19 - Existing terrazzo stair to be retained and protected throughout works
20	01.104.20 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained.
21	01.104.21 - Non original blockwork riser enclosures to be demolished entirely
22	01.104.22 - Existing wc core to Sicilian House core to be removed entirely including all plasterboard / blockwork partitions, all sanitaryware and associated services stripped back
23	01.104.23 - Non original partitions forming services risers to be demolished entirely
24	01.104.24 - Existing timber stair to 21 Southampton Row core to be removed entirely
25	01.104.25 - Lift car and associated services to be removed entirely, shaft wall linings and structure to be removed completely.



1 Fourth Floor Demolition Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022	Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY	Title Fourth Floor Demolition Plan
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 104	Rev. PL-2
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com			

DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

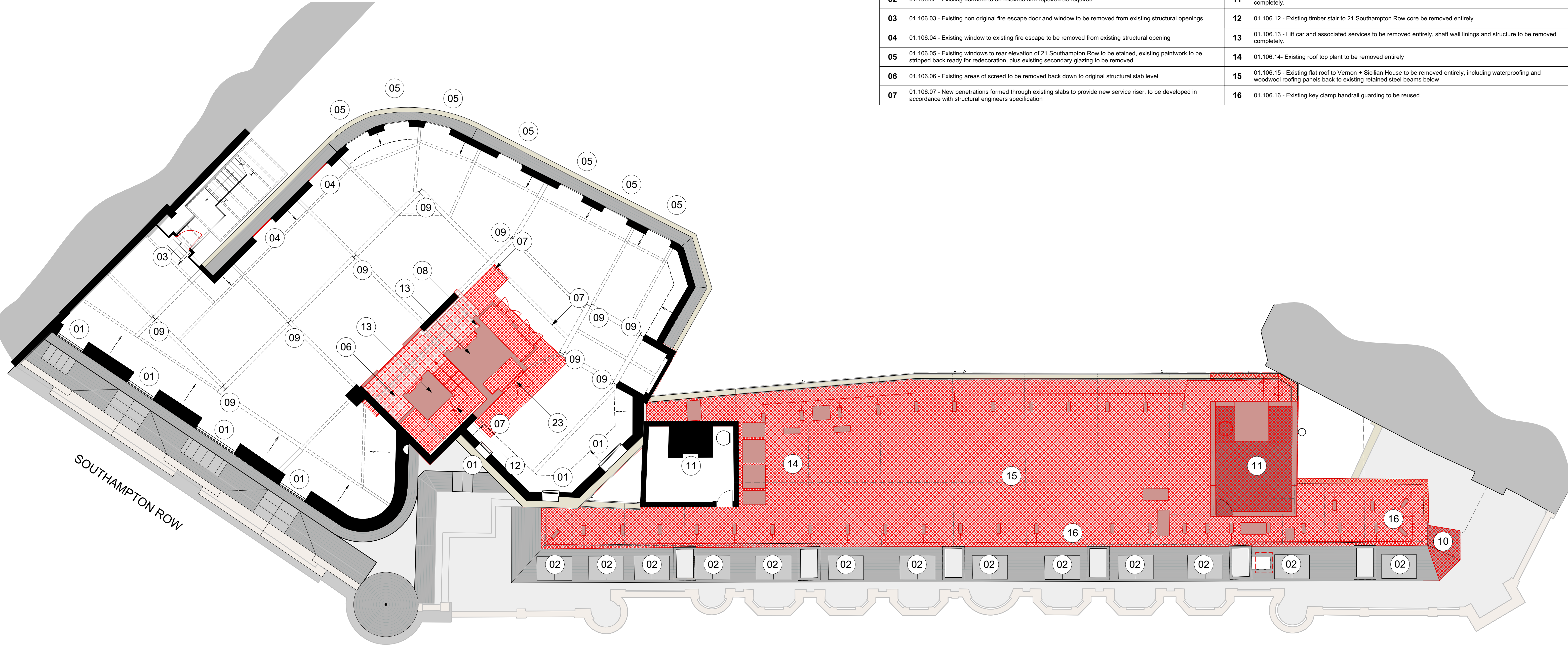
WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to be removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to be removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:		08	01.106.08 - New penetration formed through existing slabs to provide new central staircase, to be developed in accordance with structural engineers specification
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 106		09	01.106.09 - Existing structural steel column to be retained and protected throughout works
01	01.106.01 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	10	01.106.10 - 5th floor mansard roof demolished to allow for new rooftop extension
02	01.106.02 - Existing dormers to be retained and repaired as required	11	01.106.11 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.
03	01.106.03 - Existing non original fire escape door and window to be removed from existing structural openings	12	01.106.12 - Existing timber stair to 21 Southampton Row core be removed entirely
04	01.106.04 - Existing window to existing fire escape to be removed from existing structural opening	13	01.106.13 - Lift car and associated services to be removed entirely, shaft wall linings and structure to be removed completely.
05	01.106.05 - Existing windows to rear elevation of 21 Southampton Row to be etained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	14	01.106.14- Existing roof top plant to be removed entirely
06	01.106.06 - Existing areas of screed to be removed back down to original structural slab level	15	01.106.15 - Existing flat roof to Vernon + Sicilian House to be removed entirely, including waterproofing and woodwool roofing panels back to existing retained steel beams below
07	01.106.07 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification	16	01.106.16 - Existing key clamp handrail guarding to be reused



1 Sixth Floor Demolition Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022			Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY	Title Sixth Floor Demolition Plan		
Status PLANNING	Client Ref EDR		Drwg. no. 383 (DE) 106	Rev. PL-2	
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com					

DEMOLITION NOTES:

GENERAL

To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES

Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

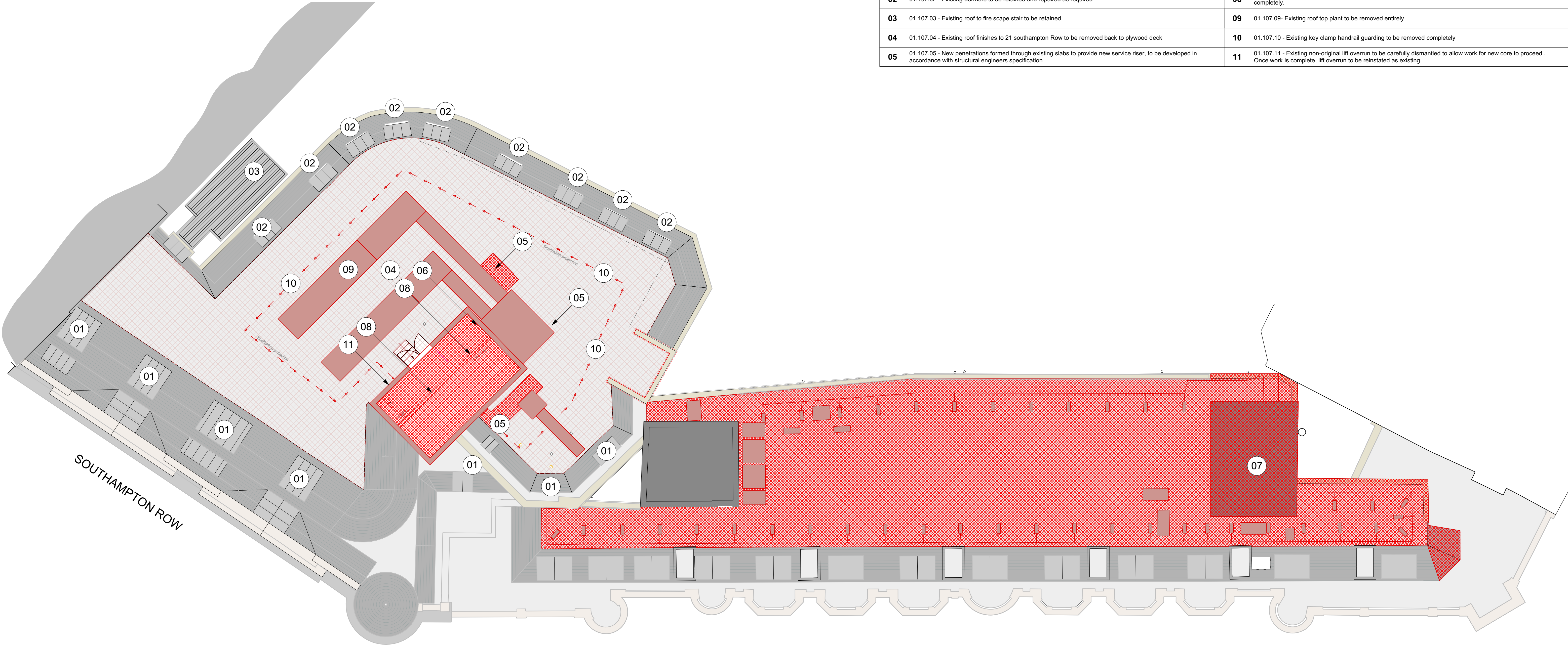
WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

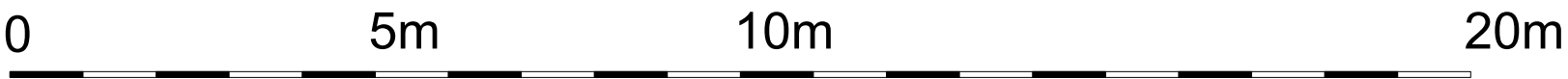
SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

Schedule of Works Key:			
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 107			
01	01.107.01 - Existing dormers to be retained and repaired as required	07	01.107.07 - Existing roof to core enclosures to be removed completely
02	01.107.02 - Existing dormers to be retained and repaired as required	08	01.107.08 - Lift car and associated services to be removed entirely, and lift overrun structure to be removed completely.
03	01.107.03 - Existing roof to fire scape stair to be retained	09	01.107.09- Existing roof top plant to be removed entirely
04	01.107.04 - Existing roof finishes to 21 southampton Row to be removed back to plywood deck	10	01.107.10 - Existing key clamp handrail guarding to be removed completely
05	01.107.05 - New penetrations formed through existing slabs to provide new service riser, to be developed in accordance with structural engineers specification	11	01.107.11 - Existing non-original lift overrun to be carefully dismantled to allow work for new core to proceed . Once work is complete, lift overrun to be reinstated as existing.



1 Seventh Floor Demolition Plan
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultant's information.
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date May 2022		Project Vernon, Sicilian Hse/21 Southampton Row		Job Ref. 383
Scale 1:100 @A1	Drawn MW	Check AY	Title Seventh Floor Demolition Plan	
Status PLANNING		Client Ref EDR	Drwg. no. 383 (DE) 107	Rev. PL-2
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com				

DEMOLITION NOTES:

GENERAL
To be read in conjunction with Structural Engineer and M&E Engineers specification and drawings. Removal of any structural, mechanical or electrical items should only be carried out following investigation as outlined by SE / M&E specifications and following direct instruction by the project manager.

OFFICES
Internal Walls - All secondary tenant partitions and screens indicated in red to be stripped out.
Walls indicated with red dashed lines to be removed.
Skirting boards to all walls to be carefully removed
Windows - All existing blinds to be removed, secondary glazing to be removed

Columns - Existing boxing out and finishes to columns to be stripped back to bare structure, existing ornate capitals to metal columns to be retained and protected.
Ceilings - All MF ceiling, ceiling tiles, suspended ceiling framework, associated fixings and light fittings to be stripped out back to historic fabric.
Light Fittings and CCTV - All existing light fittings to be removed.
All existing CCTV cameras to be removed.
Furniture - All remaining tenant furniture, seating, tea points, storage and desks to be stripped out.
Floors
All existing floor finishes, raised floor tiles and pedestals to be stripped out back to slab level.
Allow for existing screed to be removed to all office floors, subject to further structural investigation

WC's
All existing sanitaryware, vanity units and associated pipework to be removed.
All existing cistern housings / IPS access panels to be removed.
All existing cubicle doors and separating walls to be stripped out.
All ceilings, lighting, wall finishes to be stripped out back to bare structure.
All existing floor finishes, raised floors and screed to be stripped out back to structural slab level.

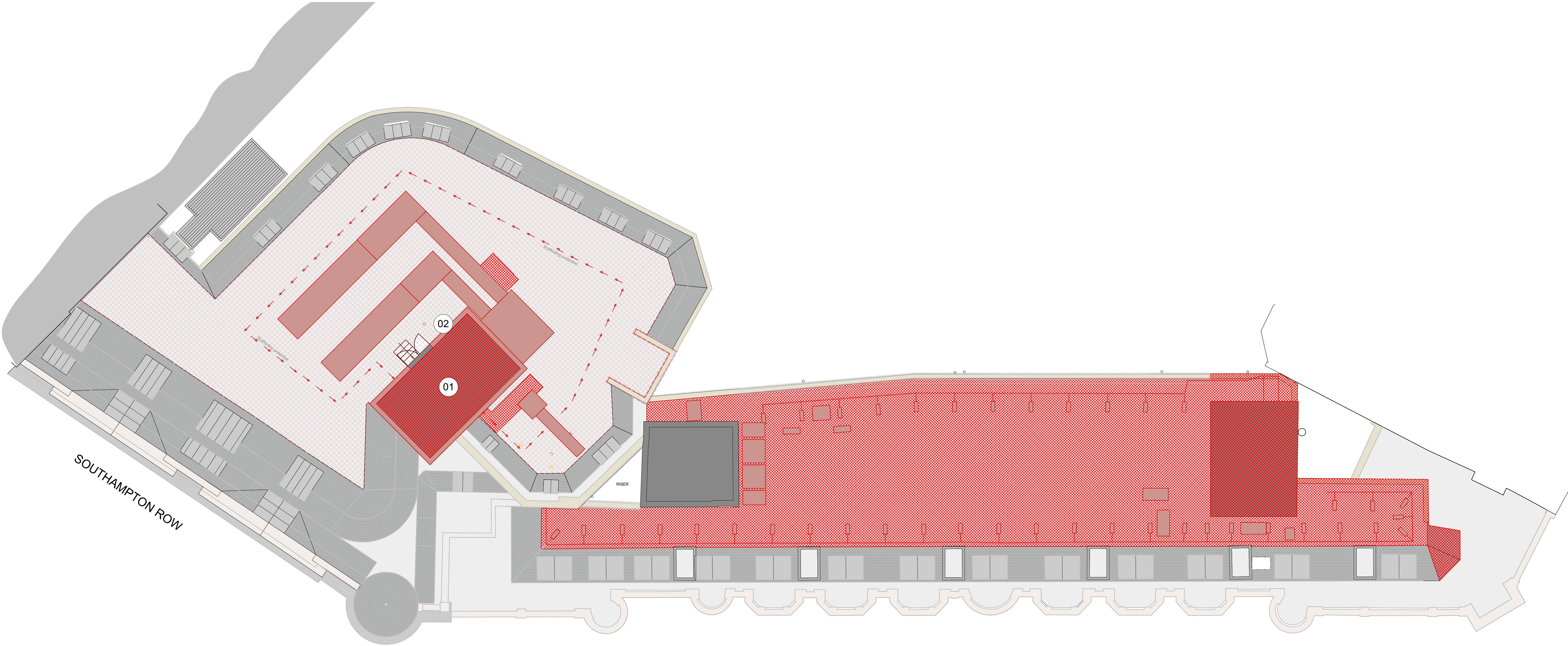
21 SOUTHAMPTON ROW STAIRS & LOBBY
Stairs
Existing stair to be removed entirely inline with Structural Engineers information.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
Allow for the slab to removed to allow for construction of new stair core

VERNON & SICILIAN HOUSE STAIRS & LOBBY
Stairs
Existing terrazzo finishes to main stair to be retained and protected throughout construction.
Existing handrails to be removed entirely throughout the staircase.
Existing cladding to be removed from the lift enclosure and existing lift cars / running gear to be removed. PLEASE NOTE THAT ASBESTOS HAS BEEN CONFIRMED WITHIN THESE LIFT ENCLOSURES.
Allow for the existing concrete stair from 4th to 5th floors to be retained and repaired as required.
Lobby
All existing floor finishes, and screed to lobby area to be stripped out back to slab level.
All existing doors and frames stripped out.

SERVICES - (Works to be undertaken in accordance with M&E requirements)
Fire Alarms
All existing fire alarms to be disconnected and removed.
Office areas
All existing radiators and wall mounted heating to be removed
All existing heating/cooling units to be removed
All ductwork and cabling to be removed
All above ceiling services, ductwork and cabling to be removed
Risers and riser doors to be removed as indicated.
WC's and Lobby areas
All existing radiators and wall mounted heating to removed

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor

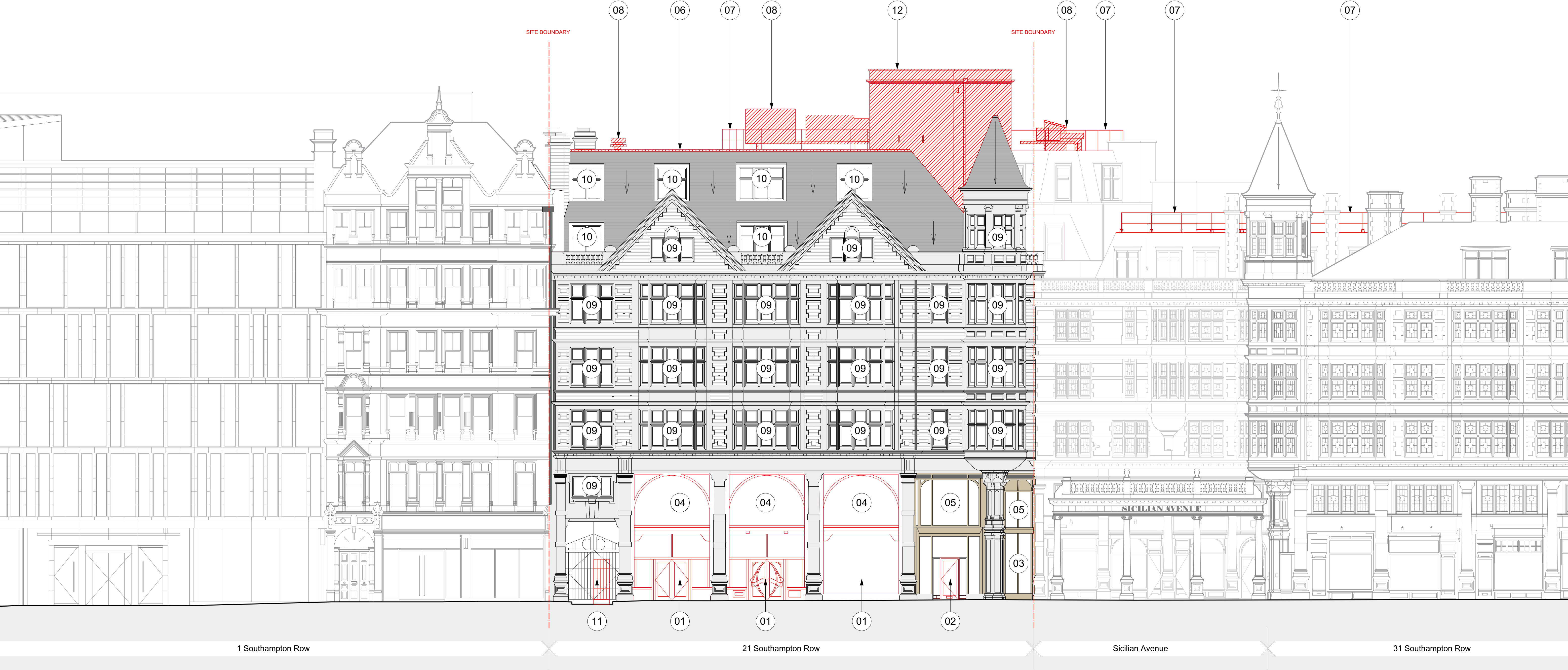
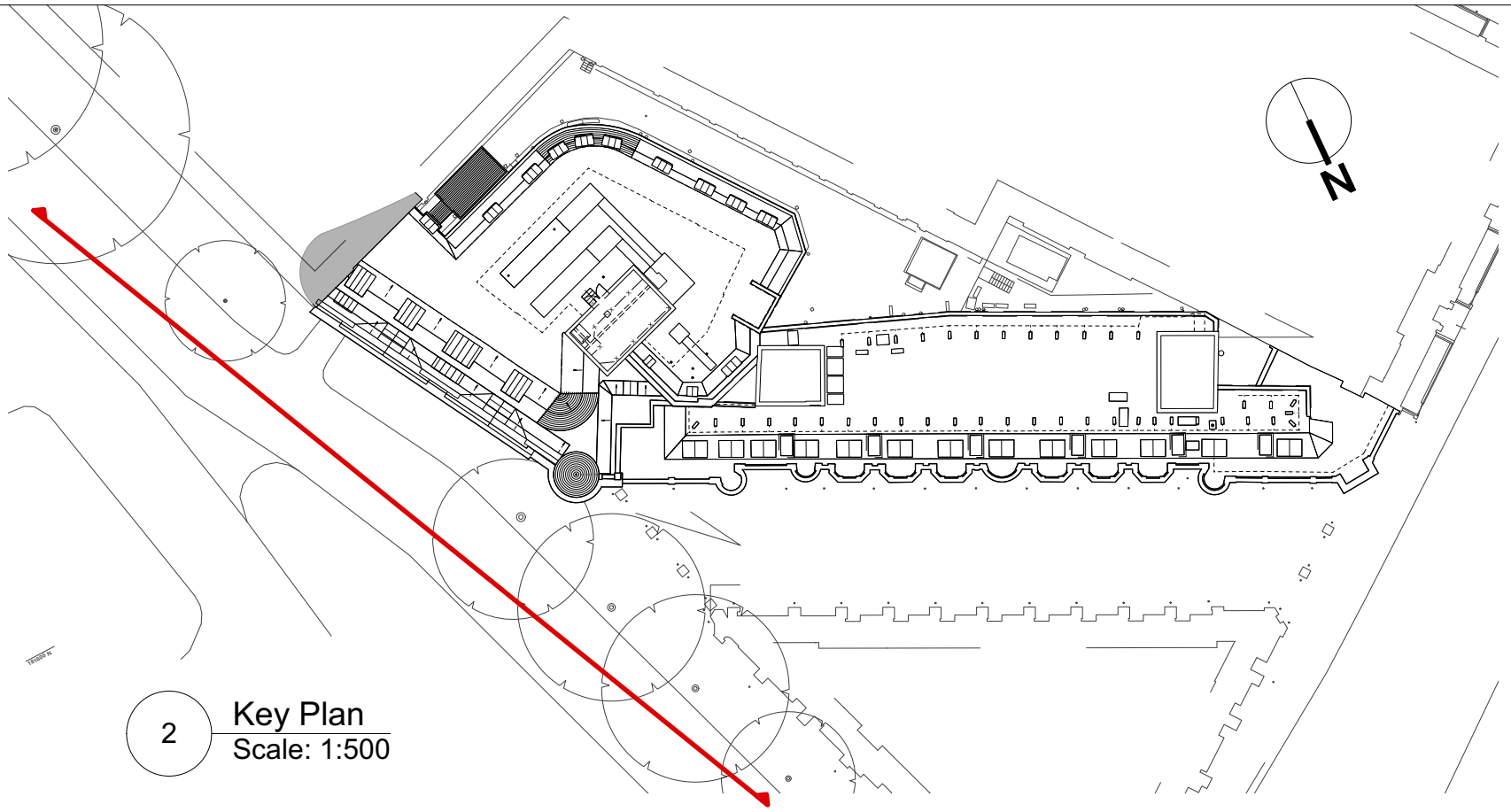
Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 108	
01	01.108.01 - Existing roof to lift motor rooms to be removed completely
02	01.108.02 - Existing non-original lift overrun to be carefully dismantled to allow work for new core to proceed . Once work is complete, lift overrun to be reinstated as existing.



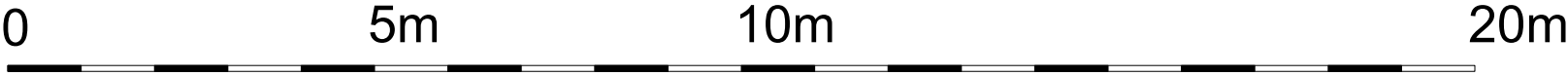
1 Roof Demolition Plan
Scale: 1:100



Schedule of Works Key:		06 01.210.06 - Existing roof finishes to 21 southampton Row to be removed back to plywood deck	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 210		07 01.210.07 - Existing key clamp handrail guarding to be removed and store for reuse	
01	01.210.01 - Existing shopfront glazing to be removed at ground floor level	08	01.210.08 - Existing rooftop plant to be removed completely
02	01.210.02 - Existing door to be replaced from curved shopfront glazing	09	01.210.09 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoretion, plus existing secondary glazing to be removed
03	01.210.03 - Paintwork to retained ground floor curved shopfront glazing to be stripped back ready for redecoration	10	01.210.10 - Existing dormers and windows to be retained and repaired as required
04	01.210.04 - Existing first floor windows to Southampton Row to be removed completely	11	01.210.11 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
05	01.210.05 - Paintwork to retained first floor curved shopfront glazing to be stripped back ready for redecoration	12	01.210.12 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing



1 21SR Demolition East Context Elevation
Scale: 1:100



Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 211	
01	01.211.01 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to new slab for Cycle entrance
02	01.211.02 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level
03	01.211.03 - Existing windows and door of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level
04	01.211.04 - Existing windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation to be removed and structural openings to be enlarged down to slab level
05	01.211.05 - Existing blocked windows of 21 Southampton Row to service corridor elevation to be replaced
06	01.211.06 - Existing windows to existing fire escape to be removed
07	01.211.07 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoretion, plus existing secondary glazing to be removed
08	01.211.08 - Existing non original fire escape door and window to be removed from existing structural openings
09	01.211.09 - Existing windows to rear elevation of 21 Southampton Row to be retained strip out existing painting and get ready for redecoration
10	01.211.10 - Existing windows to rear elevation of Vernon & Sicilian House to be retained strip out existing painting and get ready for redecoration
11	01.211.11 - Existing dormers and windows to be retained and repaired as required
12	01.211.12 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.
13	01.211.13 - Existing key clamp handrail guarding to be removed and stored for reuse
14	01.211.14 - Existing rooftop plant to be removed completely
15	01.211.15 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
16	01.211.16 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing

2 Key Plan
Scale: 1:500

12 13 15 13 14 14 16 14

SITE BOUNDARY

07 07 07 07 07 07

01 02 03 02 04 05

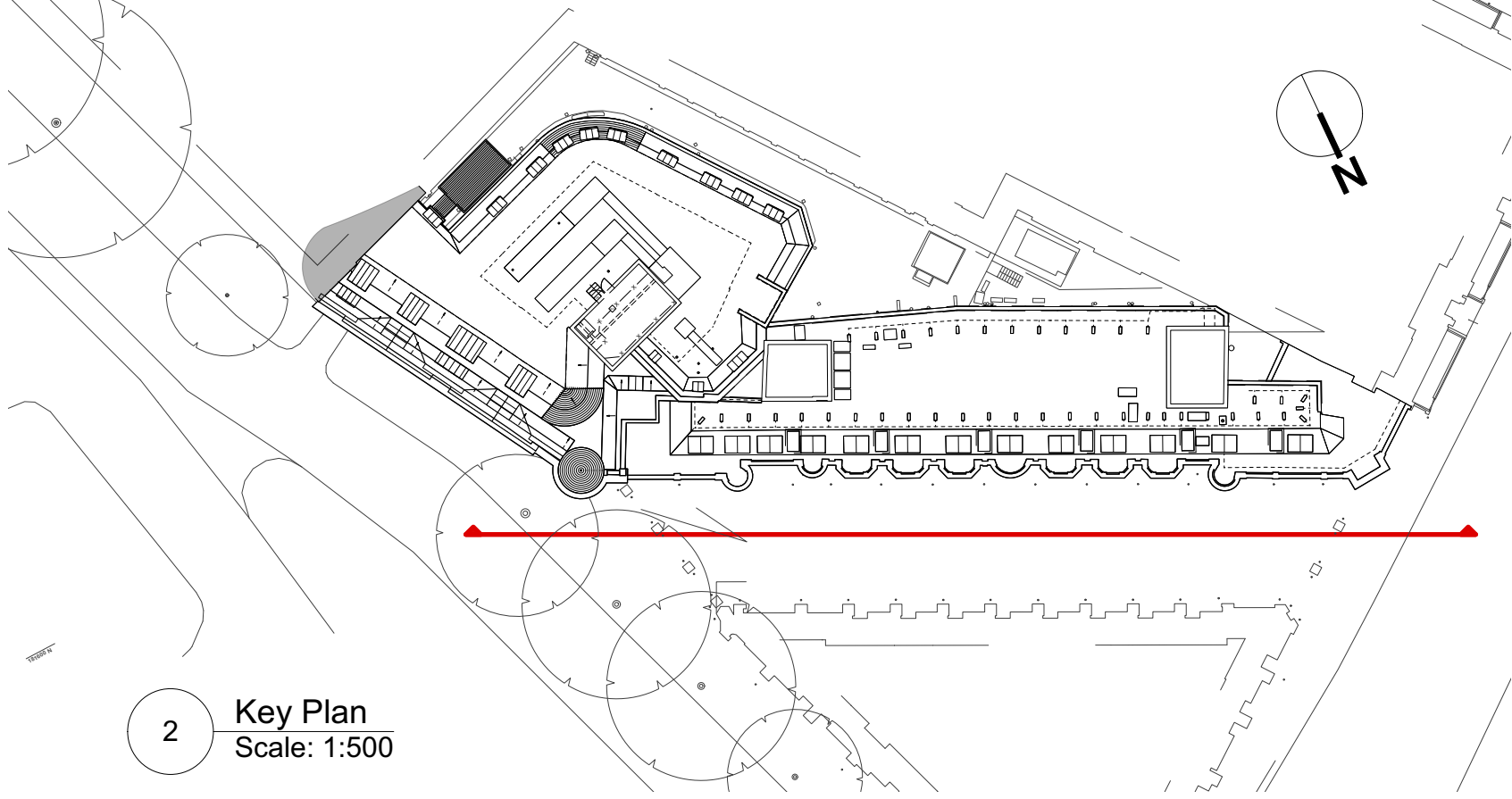
45 Bloomsbury Way Vernon & Sicilian House 21 Southampton Row Southampton Row

1 21SR Demolition South Context Elevation
Scale: 1:100

0 5m 10m 20m

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.				Date Jan 2021				Project Vernon, Sicilian Hse/21 Southampton Row				Job Ref. 383			
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.				Revision PL-1		Date 22/07/2022		Amendment Issued for Planning				<div>halebrown architects</div>			
This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information.				Revision PL-2		Date 01/03/2023		Revisions as per agreed amendments							
All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturer's/Suppliers recommended details.															
Any discrepancies between information shown on this drawing and any other contract information or manufacturer's/suppliers recommendations is to be brought to the attention of the Architect.															
												</			

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 260	
01	01.260.01 - Paintwork to retained ground floor curved shopfront glazing to be stripped back ready for redecoration
02	01.260.02 - Paintwork to retained first floor curved shopfront glazing to be stripped back ready for redecoration
03	01.260.03 - Existing roof finishes to 21 southampton Row to be removed back to plywood deck
04	01.260.04 - Existing key clamp handrail guarding to be removed and store for reuse
05	01.260.05 - Existing rooftop plant to be removed completely
06	01.260.06 - Non original GRP chimneys to be retained and redecorated to match existing brickwork better
07	01.260.07 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.
08	01.260.08 - Existing flat roof to Vernon + Sicilian House to be removed entirely, including waterproofing and woodwool roofing panels back to existing retained steel beams below
09	01.260.09 - Non original velux rooflight to be removed
10	01.260.10 - 5th floor mansard roof of Vernon & Sicilian House to be demolished to allow for new rooftop extension
11	01.260.11 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
12	01.260.12 - Existing dormers and windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
13	01.260.13 - Existing doors to Vernon/Sicilian House to be retained, redecorated and fixed back in open position
14	01.260.14 - Existing shop front glazing and doors to be retained and protected throughout works, to be redecorated
15	01.260.15 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing



1 Vernon & Sicilian House Demolition North East Context Elevation
Scale: 1:100

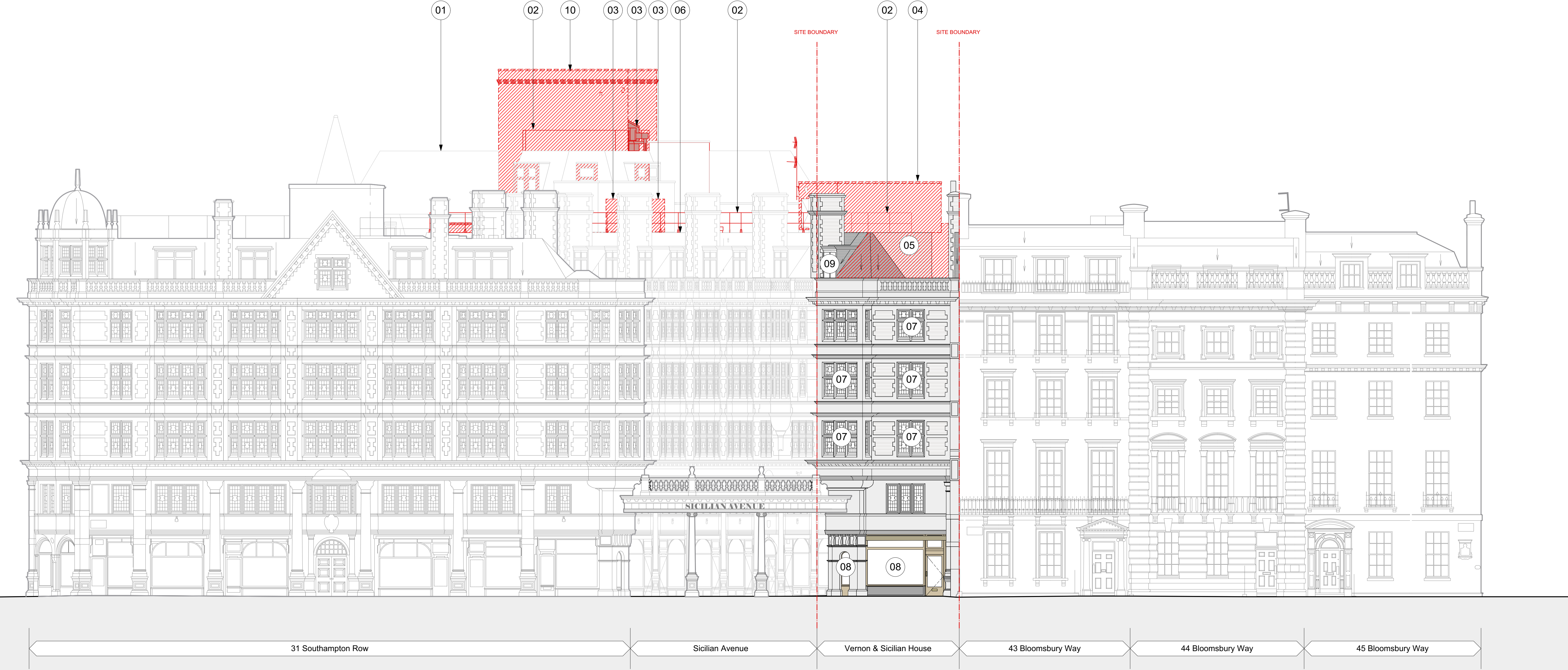
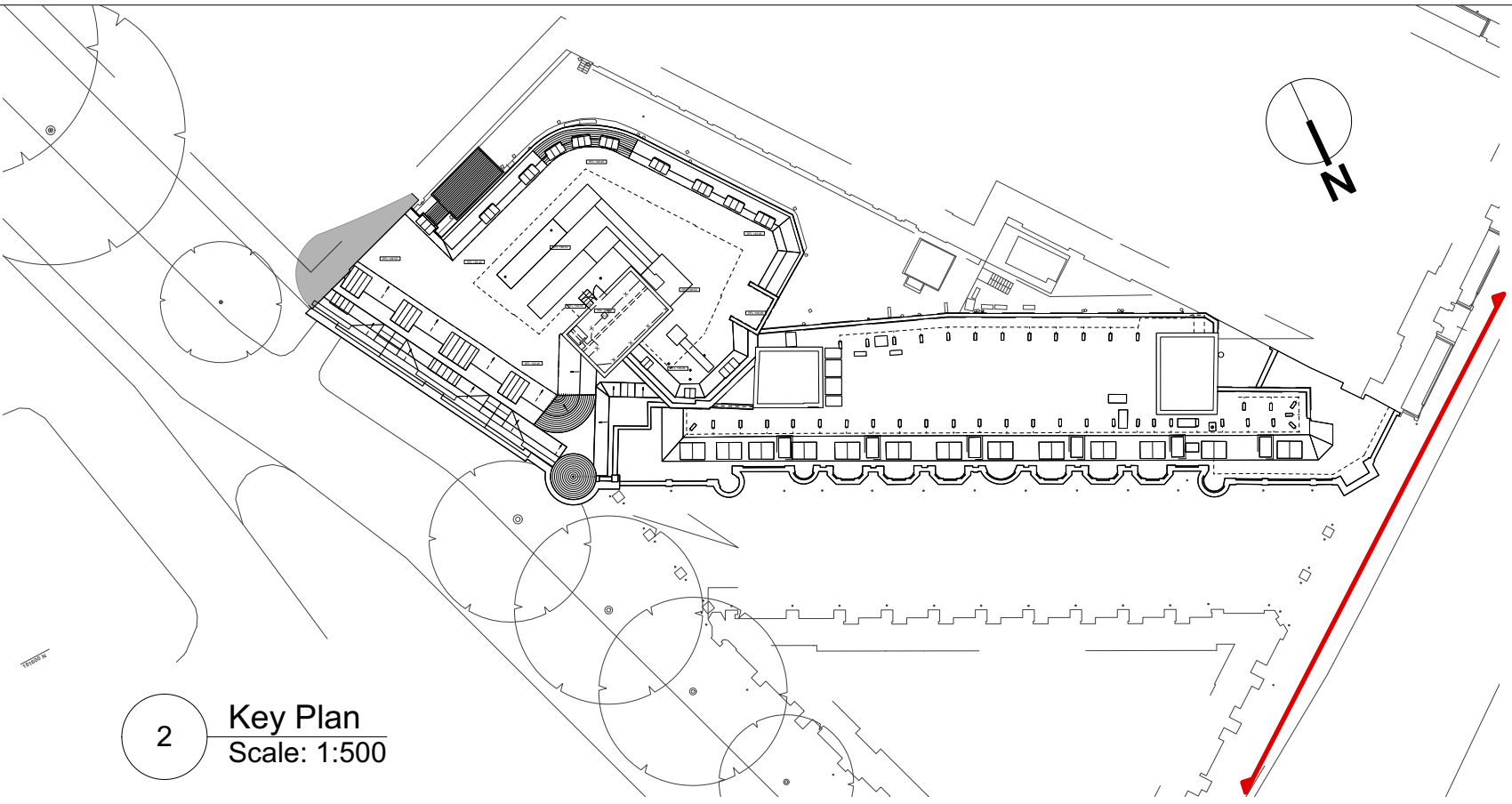


All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions.
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Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date Jan 2021	Drawn KP	Check DT	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100 @A1			Title Vernon & Sicilian House Demolition NE Context Elevation	
Status PLANNING		Client Ref EDR	Drwg. no. 383 (DE) 260	Rev. PL-2
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com				

Schedule of Works Key:		
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 261		
01	01.261.01 - Existing roof finishes to 21 southampton Row to be removed back to plywood deck	0501.261.05 - 5th floor mansard roof demolished to allow for new rooftop extension
02	01.261.02 - Existing key clamp handrail guarding to be removed and store for reuse	0601.261.06 - Existing flat roof to Vernon + Sicilian House to be removed entirely, including waterproofing and woodwool roofing panels back to existing retained steel beams below
03	01.261.03 - Existing rooftop plant to be removed completely	0701.261.07 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoretion, plus existing secondary glazing to be removed
04	01.261.04 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.	0801.261.08 - Existing shop front glazing and doors to be retained and protected throughout works, to be redecorated
		0901.261.09 - Existing dormers and windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoretion, plus existing secondary glazing to be removed
		1001.261.10 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing.



1 Vernon & Sicilian House Demolition North West Context Elevation
Scale: 1:100

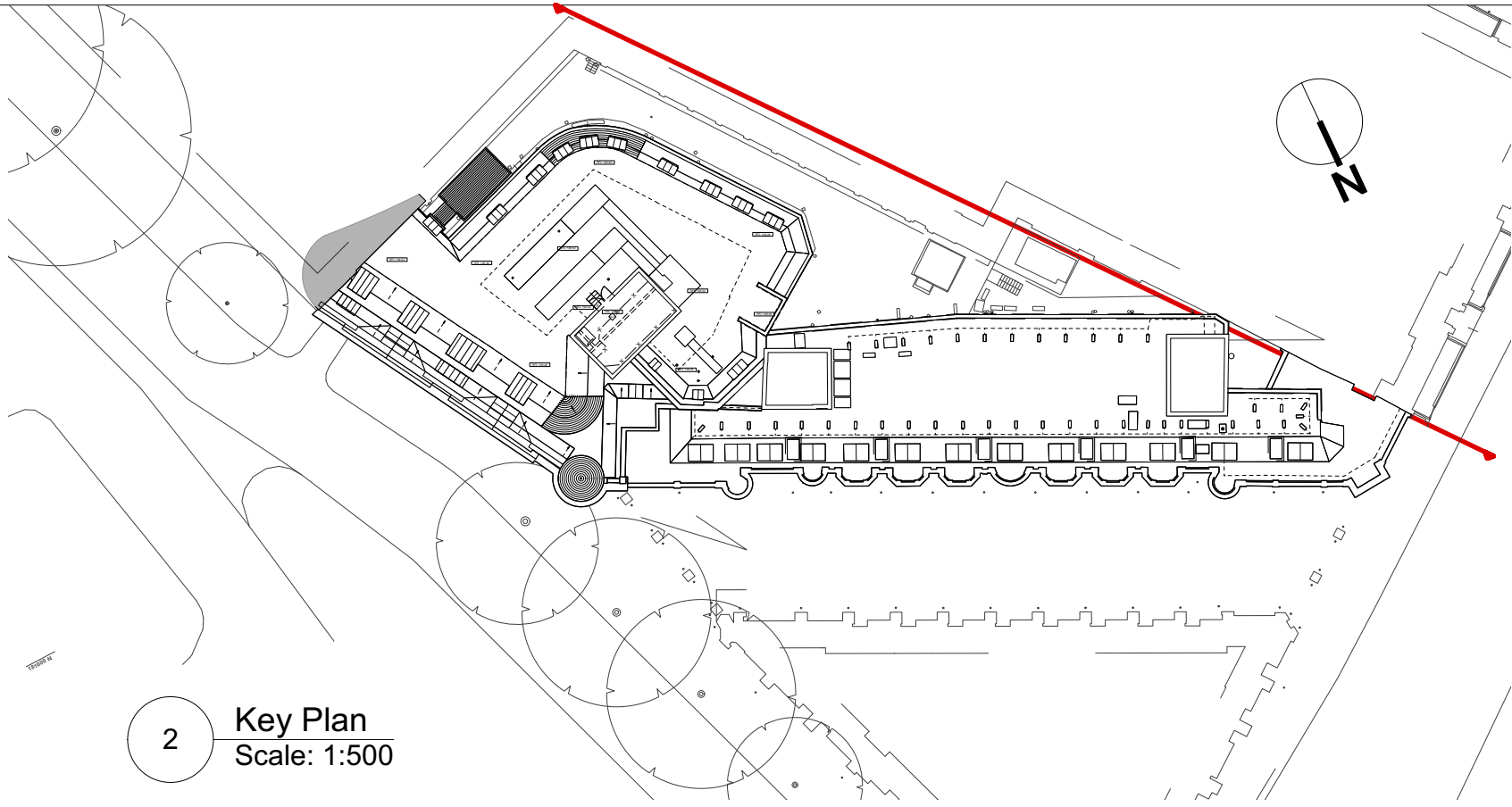
0 5m 10m 20m

All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
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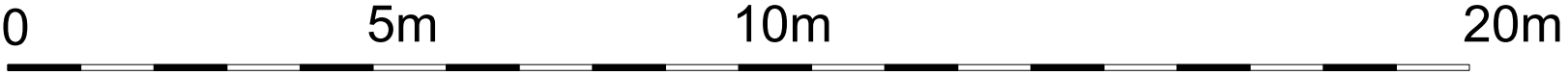
Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

Date Jan 2021	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100 @A1	Drawn KP	Check DT
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 261
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP		
T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com		

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 262	
01	01.262.01 - Existing doors and windows to service yard of Vernon & Sicilian House LG retail units to be removed
02	01.262.02 - Existing windows of 21 Southampton Row to service yard elevation to be removed
03	01.262.03 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to new slab for Cycle entrance
04	01.262.04 - Existing windows of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level
05	01.262.05 - Existing windows and door of 21 Southampton Row to service yard elevation to be removed and structural openings to be enlarged down to slab level
06	01.262.06 - Existing windows to rear elevation of 21 Southampton Row to be retained strip out existing painting and get ready for redecoration
07	01.262.07 - Existing windows to rear elevation of Vernon & Sicilian House to be retained strip out existing painting and get ready for redecoration
08	01.262.08 - Lift car and associated services to be removed entirely, and rooftop lift motor room to be demolished completely.
09	01.262.09 - Existing key clamp handrail guarding to be removed and stored for reuse
10	01.262.10 - Existing rooftop plant to be removed completely
11	01.262.11 - Existing dormers and windows to be retained and repaired as required
12	01.262.12 - Allow for entire existing roof coverings and structure to be removed back to primary steel beams, ready for installation of new timber joisted flat roof to SE specification
13	01.262.13 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
14	01.262.14 - Existing external SVPs to be removed completely
15	01.262.15 - Existing external low level ductwork to be removed completely
16	01.262.16 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing.
17	01.262.17 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.



1 Vernon & Sicilian House Demolition South West Context Elevation
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.
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All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.
Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.

Revision	Date	Amendment
PL-1	22/07/2022	Issued for Planning
PL-2	01/03/2023	Revisions as per agreed amendments

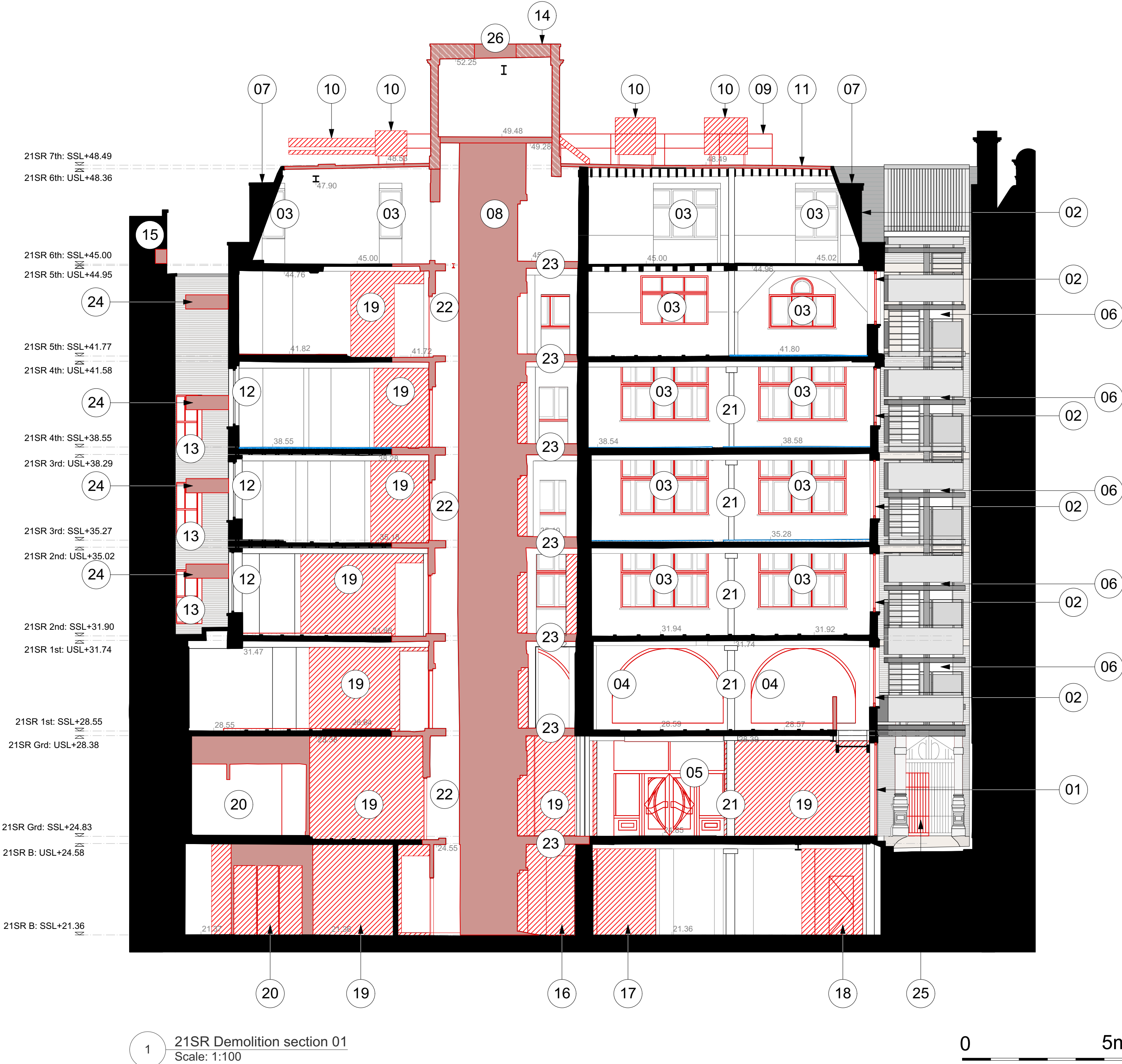
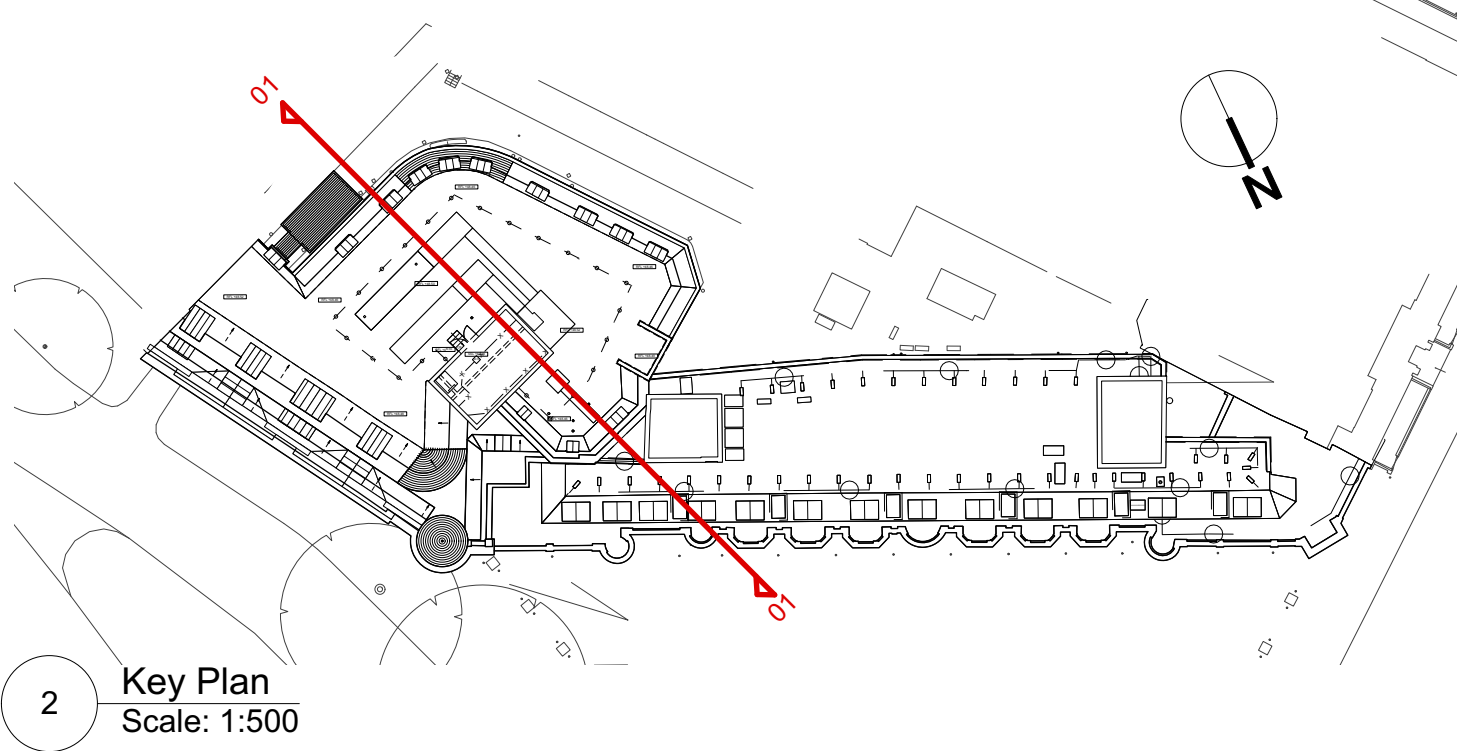
Date Jan 2021	Project Vernon, Sicilian Hse/21 Southampton Row	Job Ref. 383
Scale 1:100	Drawn KP	Check DT
Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 262
Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442	E: mail@halebrown.com	Rev. PL-2 W: www.halebrown.com

PLANNING

- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:	
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 300	
01	01.300.01 - Existing windows and door of 21 Southampton Row's fire escape stairs to service corridor elevation to be removed and structural openings to be enlarged down to slab level
02	01.300.02 - Existing windows to existing fire escape to be removed
03	01.300.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed
04	01.300.04 - Existing first floor windows to Southampton Row to be removed completely
05	01.300.05 - Existing shopfront glazing to be removed at ground floor level
06	01.300.06 - Existing non original fire escape door and window to be removed from existing structural openings
07	01.300.07 - Existing dormers to be retained and repaired as required
08	01.300.08 - Lift car, associated services and shaft to be removed entirely, but rooftop lift motor room to be retained.
09	01.300.09 - Existing key clamp handrail guarding to be removed and stored for reuse
10	01.300.10 - Existing rooftop plant to be removed completely
11	01.300.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
12	01.300.12 - Existing windows to 21 Southampton Row lightwell to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed

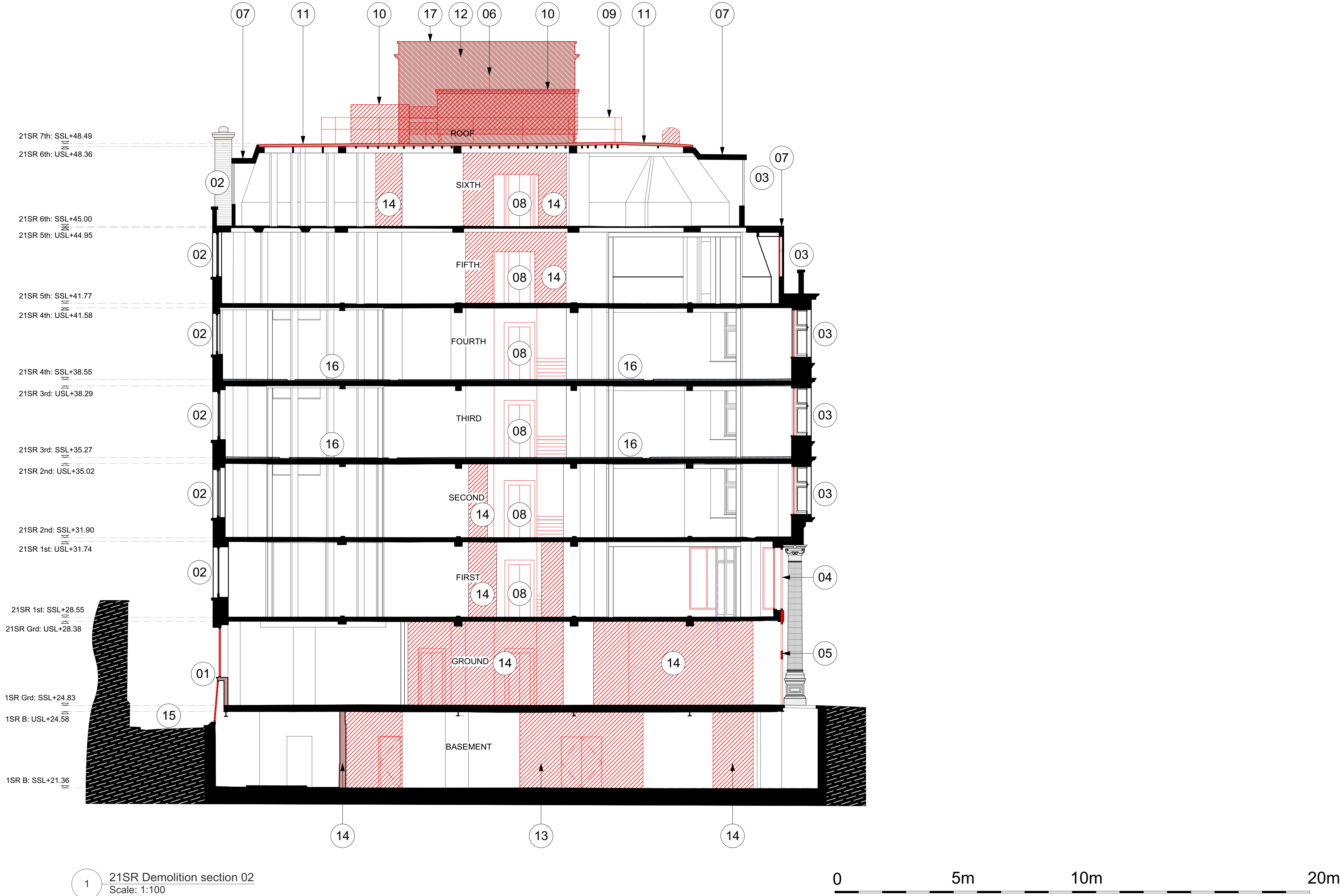
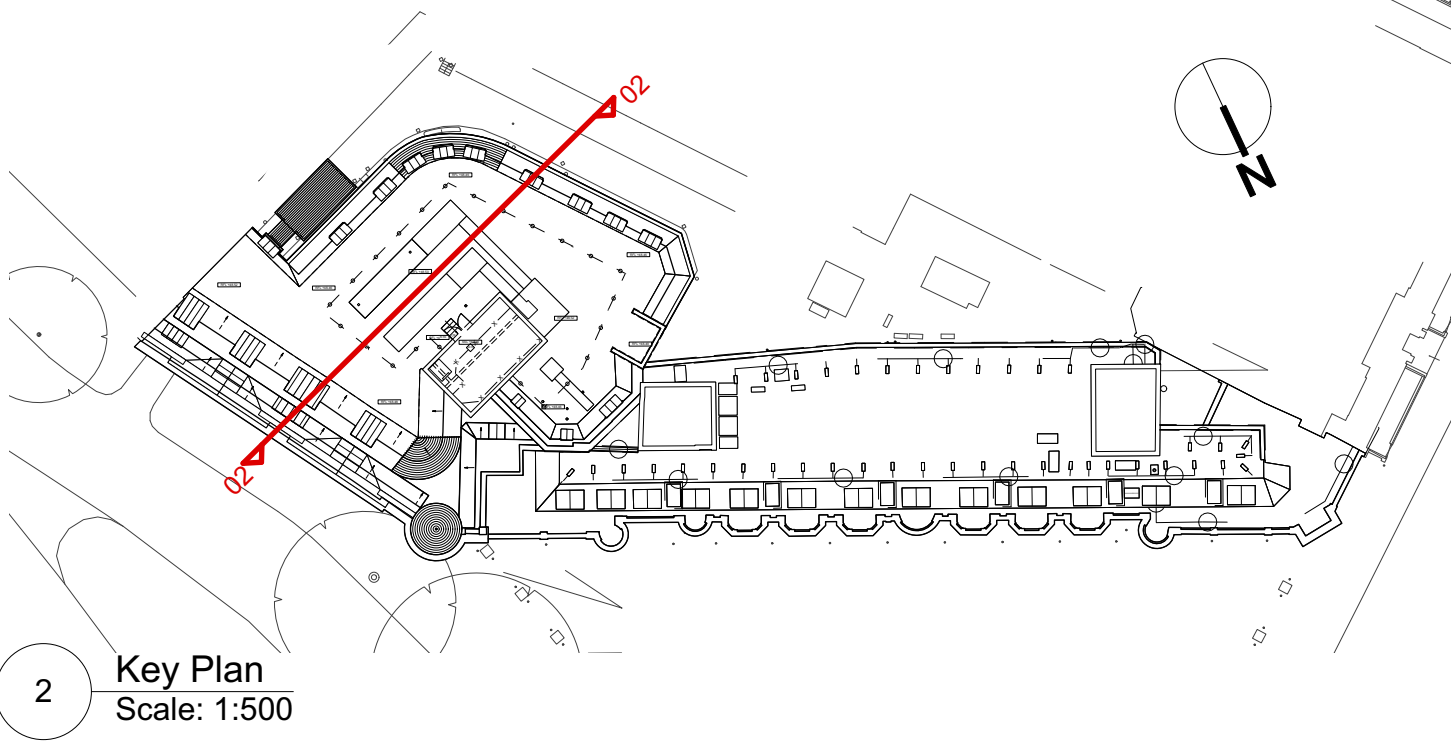
13	01.300.13 - Existing windows to Sicilian House lightwell to be removed and blocked up
14	01.300.14 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
15	01.300.15 - New structural opening to be formed in existing lit motor room wall for new ductwork route
16	01.300.16 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification
17	01.300.17 - Allow for existing lobby to be removed
18	01.300.18 - Existing internal plant to be removed completely
19	01.300.19 - Allow for masonry wall to be removed
20	01.300.20 - Existing sanitaryware + associated fixtures, fittings and pipework to be removed completely
21	01.300.21 - Existing feature round steel columns to be retained and protected throughout works
22	01.300.22 - Non original partitions forming services risers to be demolished entirely
23	01.300.23 - Existing concrete slabs to be removed within stair core
24	01.300.24 - New structural opening to be formed in masonry wall, allow for new lintel to structural engineer's specification to provide new ventilation route
25	01.300.25 - Allow for existing gates to be carefully removed and retained for re-installation to suit new arrangement with addition of pass gate.
26	01.300.26 - New opening to be cut into lift motor room roof for new AOV installation



PLANNING

- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessments and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:			
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 301			
01	01.301.01 - Allow for existing windows to service yard elevation to be removed and structural openings to be enlarged down to slab level	09	01.301.09 - Existing key clamp handrail guarding to be removed and stored for reuse
02	01.301.02 - Existing windows to rear elevation of 21 Southampton Row to be retained; strip out existing painting and get ready for redecoration	10	01.301.10 - Existing rooftop plant to be removed completely
03	01.301.03 - Existing windows to Southampton Row to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	11	01.301.11 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
04	01.301.04 - Existing first floor windows to Southampton Row to be removed completely	12	01.301.12 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
05	01.301.05 - Existing shopfront glazing to be removed at ground floor level	13	01.301.13 - Allow for existing lobby to be removed
06	01.301.06 - Existing doors to lift motor room to be removed and replaced	14	01.301.14 - Allow for masonry wall to be removed
07	01.301.07 - Existing dormers to be retained and repaired as required	15	01.301.15 - Existing tarmac surface to be removed
08	01.301.08 - Lift car, associated services and shaft to be removed entirely, but rooftop lift motor room to be retained.	16	01.301.16 - Existing screed to be removed
		17	01.301.17 - New opening to be cut into lift motor room roof for new AOV installation

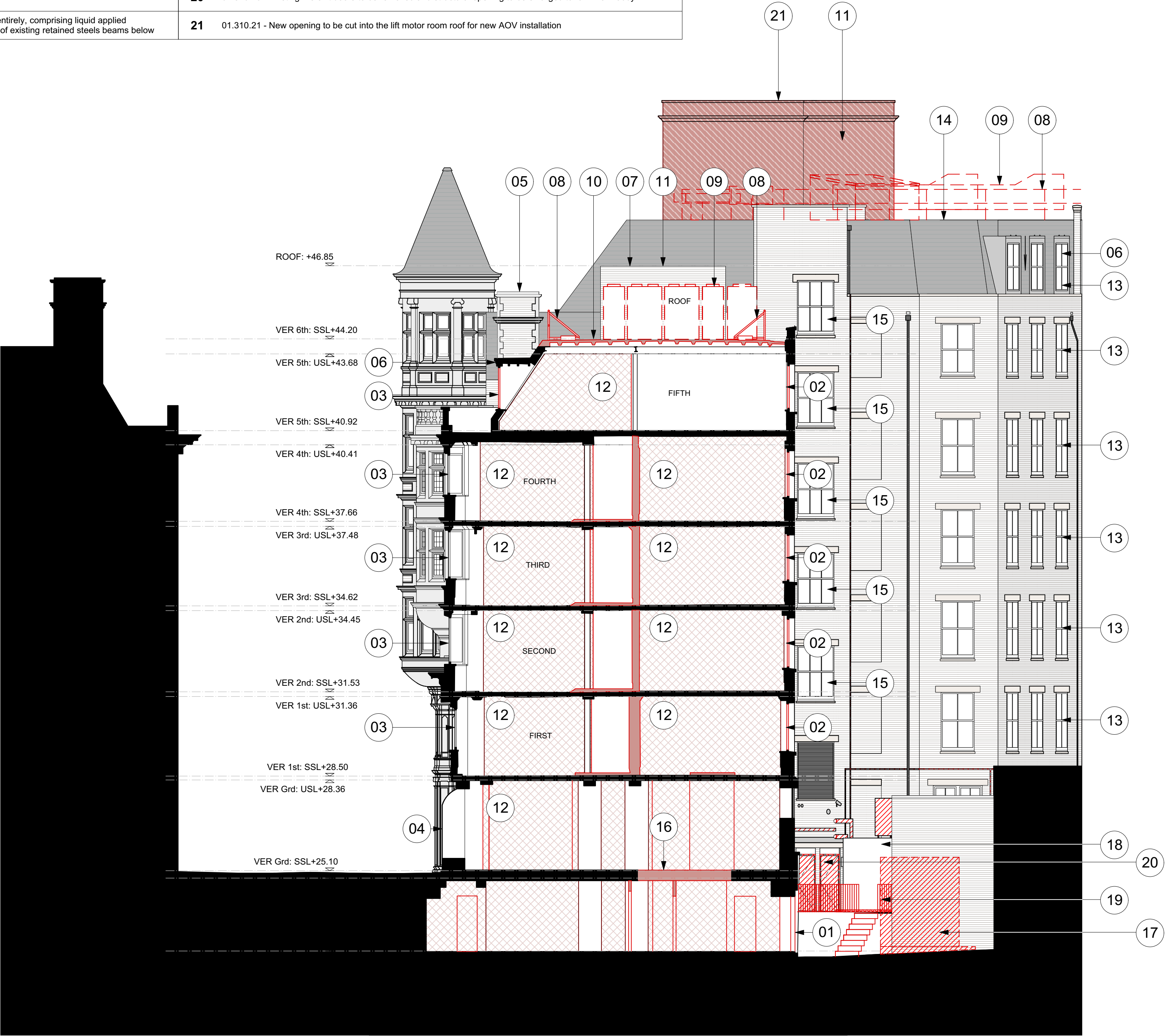
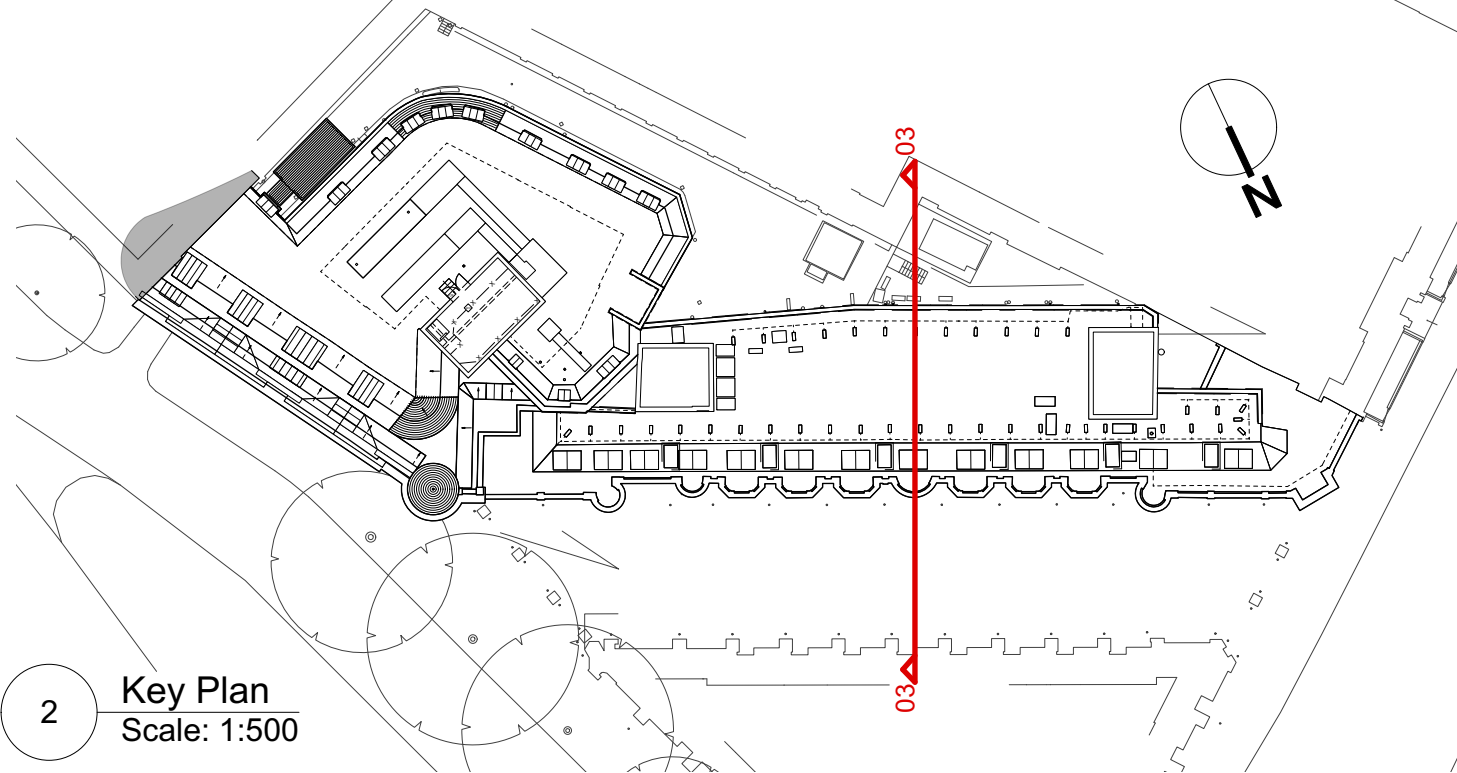


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	PL-1	22/07/2022	Issued for Planning	Jan 2021	Vernon House	383	
	PL-2	01/03/2023	Revisions as per agreed amendments	Scale 1:100 @A1	Drawn KP	Check DT	
				Status PLANNING	Client Ref EDR	Drwg. no. 383 (DE) 301	
				Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com			Rev. PL-2

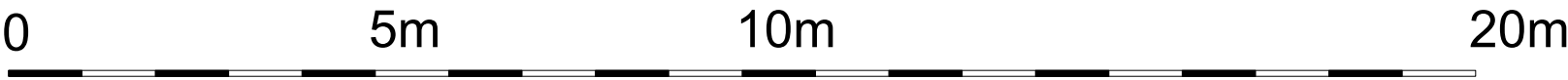
PLANNING

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:		
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 310		
		11 01.310.11 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
01	01.310.01 - Allow for existing doors to retail units to service yard elevation to be removed	12 01.310.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
02	01.310.02 - Existing windows to rear elevation of Vernon / Sicilian House to be retained; strip out existing painting and get ready for redecoration	13 01.310.13 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
03	01.310.03 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	14 01.310.14 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
04	01.310.04 - Retained existing shop front glazing and doors to be redecorated	15 01.310.15 - Existing window to previously infilled stairwell to be retained in existing structural opening
05	01.310.05 - Retained existing GRP chimneys to be painted to match existing brickwork better	16 01.310.16 - New structural opening to be formed in existing ground floor slab for new retail staircase installation
06	01.310.06 - Existing dormers to be retained and repaired as required	17 01.310.17 - Existing redundant external plant to be removed
07	01.310.07 - Lift car, associated services and shaft to be removed entirely, but rooftop lift motor room to be retained.	18 01.310.18 - Existing sub station to be retained
08	01.310.08 - Existing key clamp handrail guarding to be removed and stored for reuse	19 01.310.19 - Existing railing and metal stair to be removed
09	01.310.09 - Existing rooftop plant to be removed completely	20 01.310.20 - Existing fire exit doors to be removed and structural opening to be enlarged to form new lobby
10	01.310.10 - Existing flat roof to Vernon & Sicilian House to be replaced entirely, comprising liquid applied waterproofing, insulation, plywood deck, new timber joists, sitting on top of existing retained steels beams below	21 01.310.21 - New opening to be cut into the lift motor room roof for new AOV installation



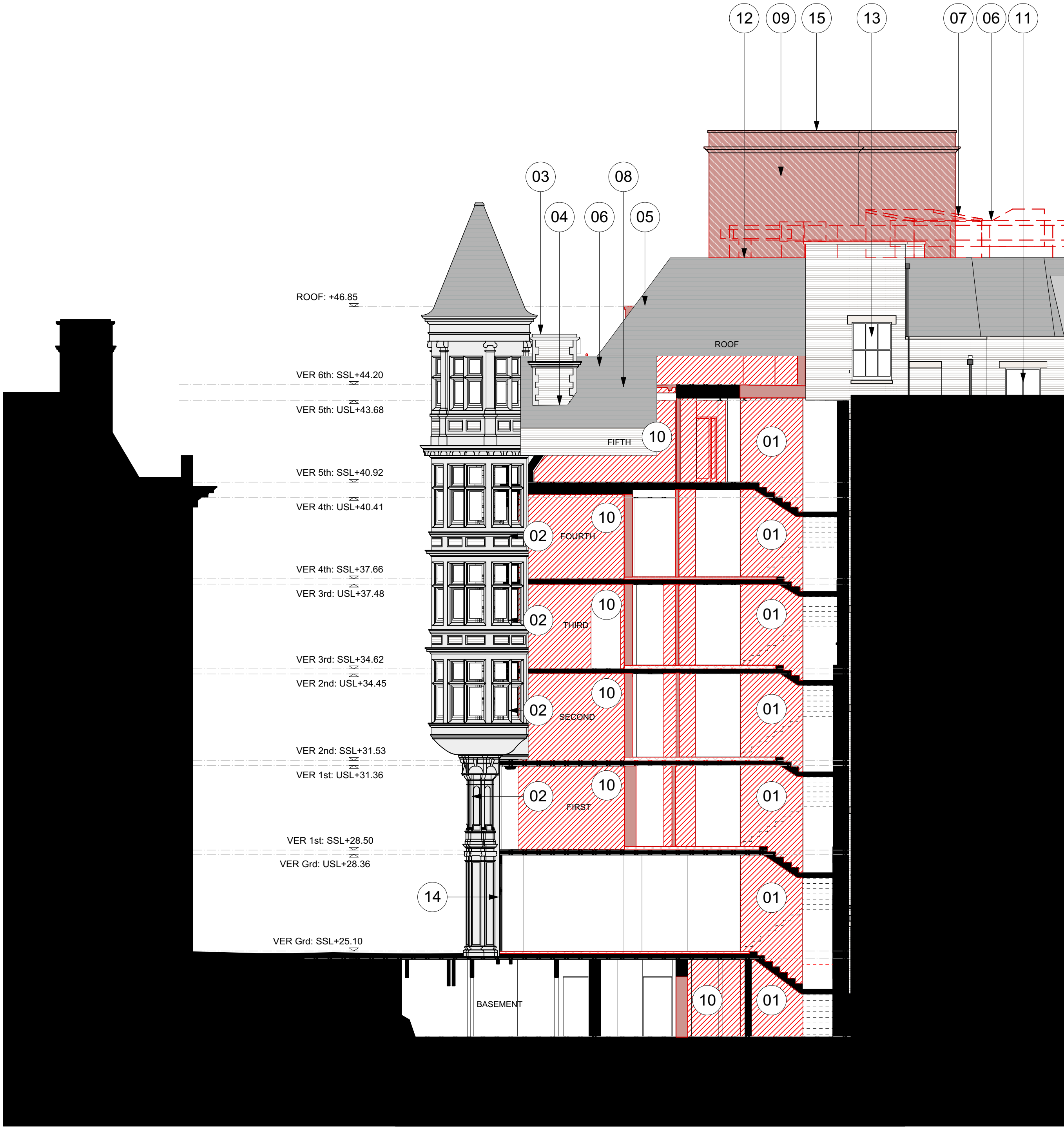
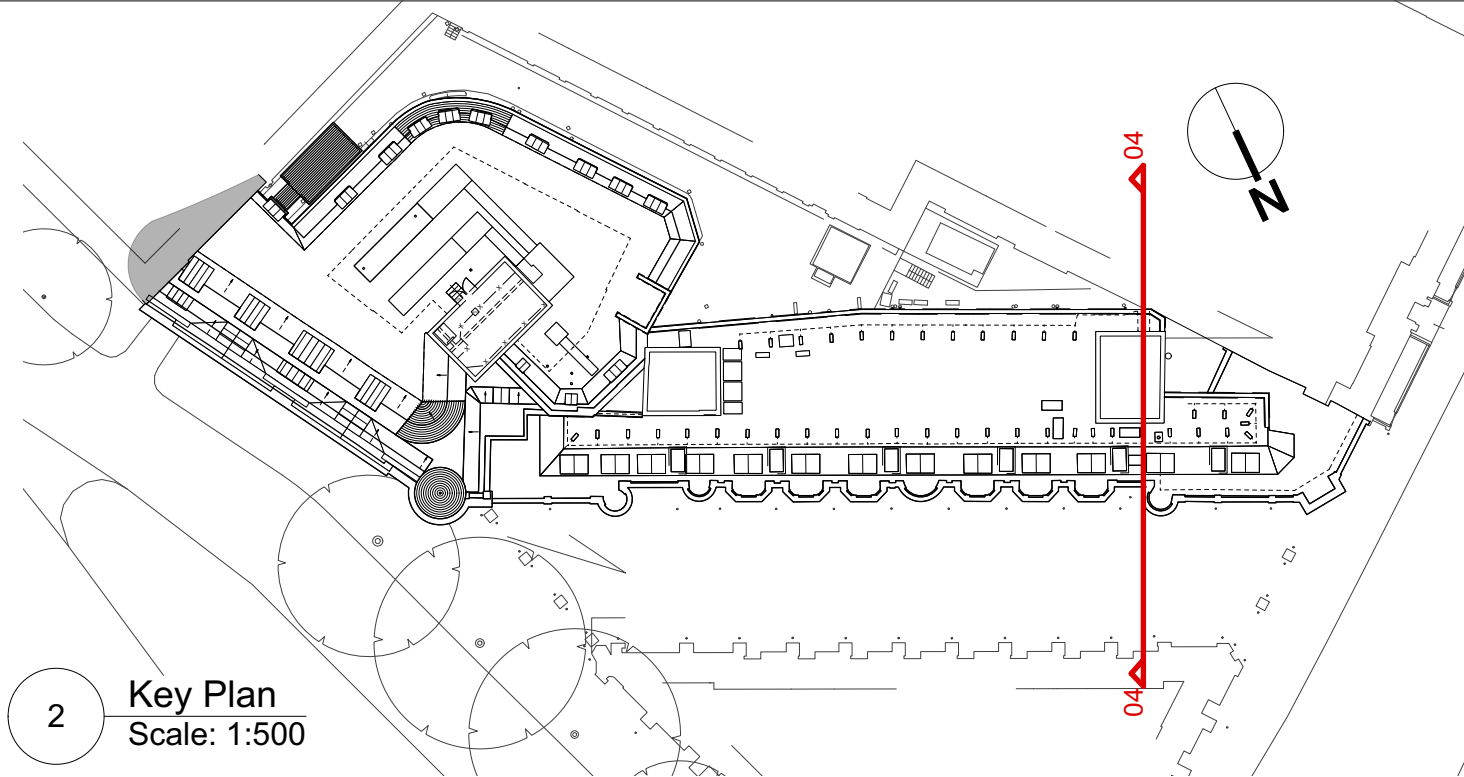
1 Vernon & Sicilian House Demolition Section 03 Scale: 1:100



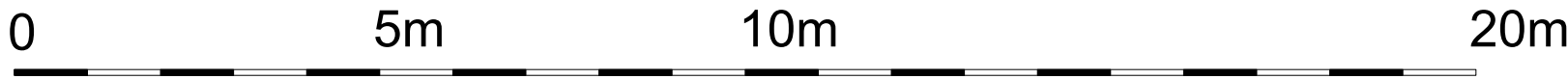
PLANNING

- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:			
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 311			
01	01.311.01 - Lift car and associated services to be removed entirely, shaft wall linings to be removed completely back to structure which is to be retained. (PLEASE NOTE ASBESTOS HAS BEEN IDENTIFIED IN LIFT SHAFT)	08	01.311.08 - Existing flat roof to Vernon & Sicilian House to be replaced entirely, comprising liquid applied waterproofing, insulation, plywood deck, new timber joists, sitting on top of existing retained steels beams below
02	01.311.02 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	09	01.311.09 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
03	01.311.03 - Retained existing GRP chimneys to be painted to match existing brickwork better	10	01.311.10 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
04	01.311.04 - Existing dormers to be retained and repaired as required	11	01.311.11 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
05	01.311.05 - Lift car, associated services and shaft to be removed entirely, and rooftop lift motor room to be demolished and rebuilt	12	01.311.12 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
06	01.311.06 - Existing key clamp handrail guarding to be removed and stored for reuse	13	01.311.13 - Existing window to previously infilled stairwell to be retained in existing structural opening
07	01.311.07 - Existing rooftop plant to be removed completely	14	01.311.14 - Existing doors to Vernon/Sicilian House to be retained, redecorated and fixed back in open position
		15	01.311.15 - New opening to be cut into lift motor room roof for new AOV installation



1 Vernon & Sicilian House Demolition Section 04 Scale: 1:100

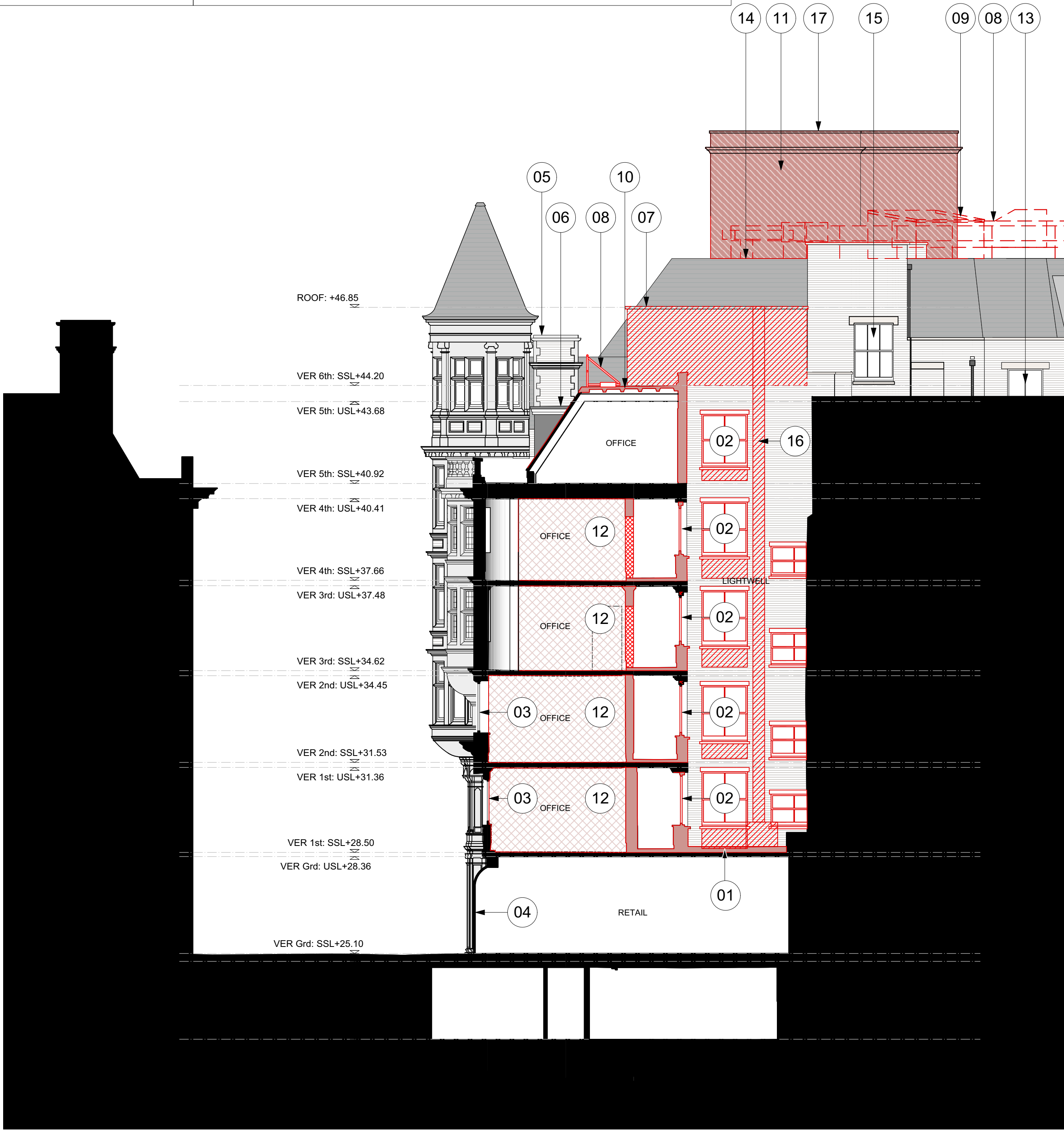
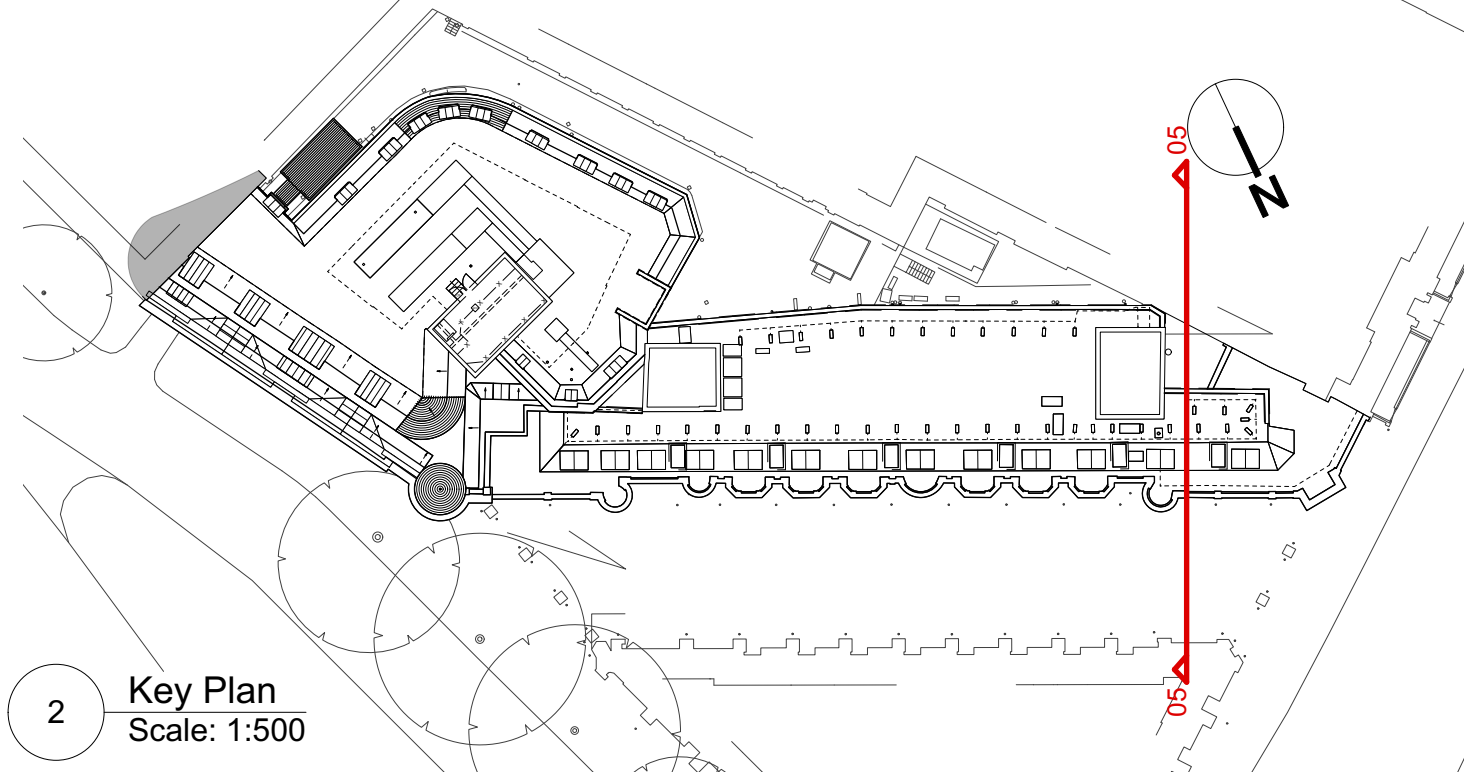


All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings. Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions. This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information. All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details. Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.	Revision	Date	Amendment	Date	Scale	Drawn	Check	Project	Job Ref.	halebrown architects
	PL-1	22/07/2022	Issued for Planning	April 2022	1:100 @A1	HT	AY	Vernon House	383	
	PL-2	01/03/2023	Revisions as per agreed amendments					Title Ver/ Sic - Demolition Section 04		
				Status				Client Ref		
				PLANNING				EDR		Rev.
								Drwg. no.		PL-2
								383 (DE) 311		
								Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP		
								T: 020 3735 7442		
								E: mail@halebrown.com		
								W: www.halebrown.com		

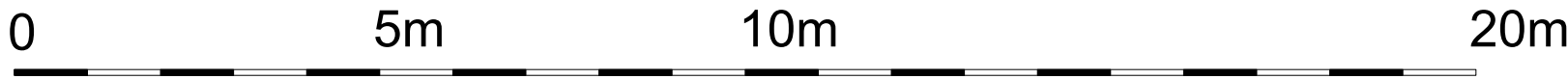
PLANNING

- KEY**
- Indicates original fabric to be demolished. Refer to structural engineers information for extent of structural alterations to indicated areas
- Indicates non original non structural partitions to be removed
- Indicates non structural elements that need to be removed / demolished
- Indicates areas of structural openings to be carefully created within existing slabs in line with approved risk assessment and approved method statements
- Indicates areas of internal screed / finishes to be stripped back to bare structure in line with approved risk assessment and approved method statements
- Indicates areas of external floor finishes to be stripped back in line with approved risk assessment and approved method statements
- Indicates areas where internal screed to be retained, areas will have reduced floor void with new raised access floor
- Indicates non original fabric to be carefully removed to allow for new core to be installed, then rebuilt as existing.

Schedule of Works Key:		
to be read in conjunction with schedule 383(SL) Listed Building Consent Schedule of Works, section 01, sheet 312		
01	01.312.01 - Existing roof finishes to light well roof to be removed	09 01.312.09 - Existing rooftop plant to be removed completely
02	01.312.02 - Existing windows to lightwell elevations of Vernon / Sicilian House to be removed; allow to demolish some brickwork to create new / enlarged structural openings	10 01.312.10 - Existing flat roof to Vernon & Sicilian House to be replaced entirely, comprising liquid applied waterproofing, insulation, plywood deck, new timber joists, sitting on top of existing retained steels beams below
03	01.312.03 - Existing windows to Sicilian Avenue to be retained, existing paintwork to be stripped back ready for redecoration, plus existing secondary glazing to be removed	11 01.312.11 - Existing non original lift overrun to be carefully taken down to allow new core to be installed, then rebuilt as existing
04	01.312.04 - Retained existing shop front glazing and doors to be redecorated	12 01.312.12 - Existing loadbearing masonry spine walls to demolished in accordance with structural engineers specification
05	01.312.05 - Retained existing GRP chimneys to be painted to match existing brickwork better	13 01.312.13 - Retained existing windows to rear elevation of 21 Southampton Row to be investigated, repaired and redecorated
06	01.312.06 - Existing dormers to be retained and repaired as required	14 01.312.14 - Existing roof finishes to 21 Southampton Row to be removed back to plywood deck
07	01.312.07 - Lift car, associated services and shaft to be removed entirely, and rooftop lift motor room to be demolished and rebuilt	15 01.312.15 - Existing window to previously infilled stairwell to be retained in existing structural opening
08	01.312.08 - Existing key clamp handrail guarding to be removed and stored for reuse	16 01.312.16 - Existing flue to be removed
		17 01.312.17 - New opening to be cut into lift motor room roof for new AOV installation



1 Vernon & Sicilian House Demolition Section 05
Scale: 1:100



All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings. Sizes of and dimensions to any structural or services elements are indicative only. See structural and service engineers drawings for actual sizes / dimensions. This drawing to be read in conjunction with all other Architect's drawings, specifications and other Consultants' information. All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details. Any discrepancies between information shown on this drawing and any other contract information or manufacturers/suppliers recommendations is to be brought to the attention of the Architect.	Revision	Date	Amendment	Date	Scale	Drawn	Check	Title	Project	Job Ref.
	PL-1	22/07/2022	Issued for Planning	April 2022	1:100 @A1	KP	DT	Vern/ Sic - Demolition Section 05	Vernon House	383
	PL-2	01/03/2023	Revisions as per agreed amendments	Scale						
				Status						
				PLANNING				Client Ref	Drwg. no.	Rev.
								EDR	383 (DE) 312	PL-2
				Hale Brown Architects Ltd. Unit 1.04, Edinburgh House, 170 Kennington Lane, London, SE11 5DP						
				T: 020 3735 7442 E: mail@halebrown.com W: www.halebrown.com						

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