

5 Edis Street

Application for Planning Permission - **Proposed** Drawing Set

- General Notes
- All dimensions to be verified on site
 - Based on measured survey information provided by Origin Surveys Ltd
 - Drainage Survey information provided by Drain 365 Ltd
 - To be read in conjunction with all relevant documents
 - In the event of discrepancy notify the Architect immediately
 - For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
 - This document is copyright of Hugh Cullum Architects Ltd


- Issue Status
- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

Latest Revisions


REV	NOTE	DATE	DRAWN
-----	------	------	-------

LEGEND

Elevations
200 Series

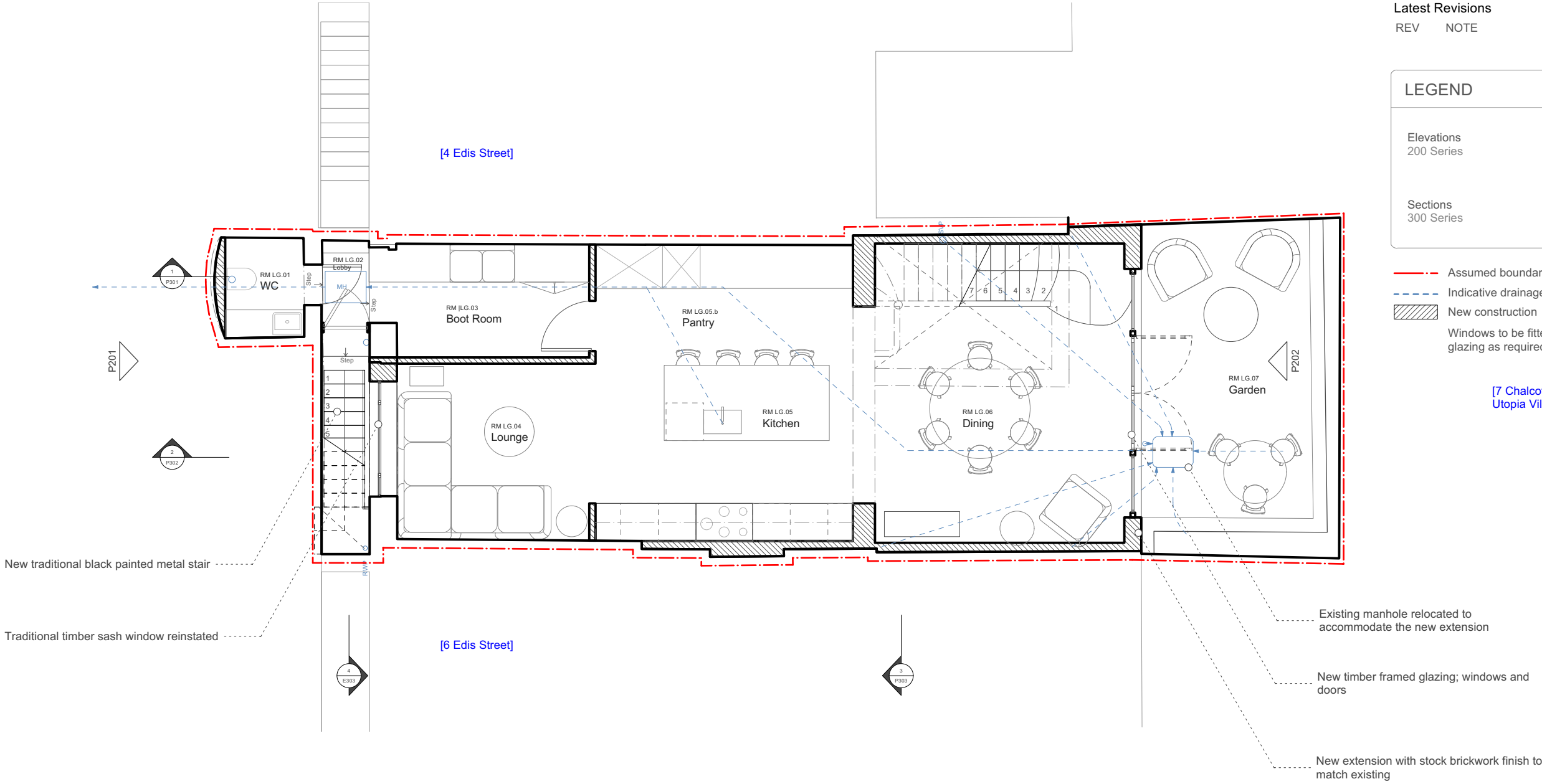

P100

Sections
300 Series


P100

- - - Assumed boundary line
- - - Indicative drainage - subject to contractors' design
- - - New construction
- - - Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -
Utopia Village]



- General Notes
- All dimensions to be verified on site
 - Based on measured survey information provided by Origin Surveys Ltd
 - Drainage Survey information provided by Drain 365 Ltd
 - To be read in conjunction with all relevant documents
 - In the event of discrepancy notify the Architect immediately
 - For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
 - This document is copyright of Hugh Cullum Architects Ltd

- Issue Status
- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

Latest Revisions

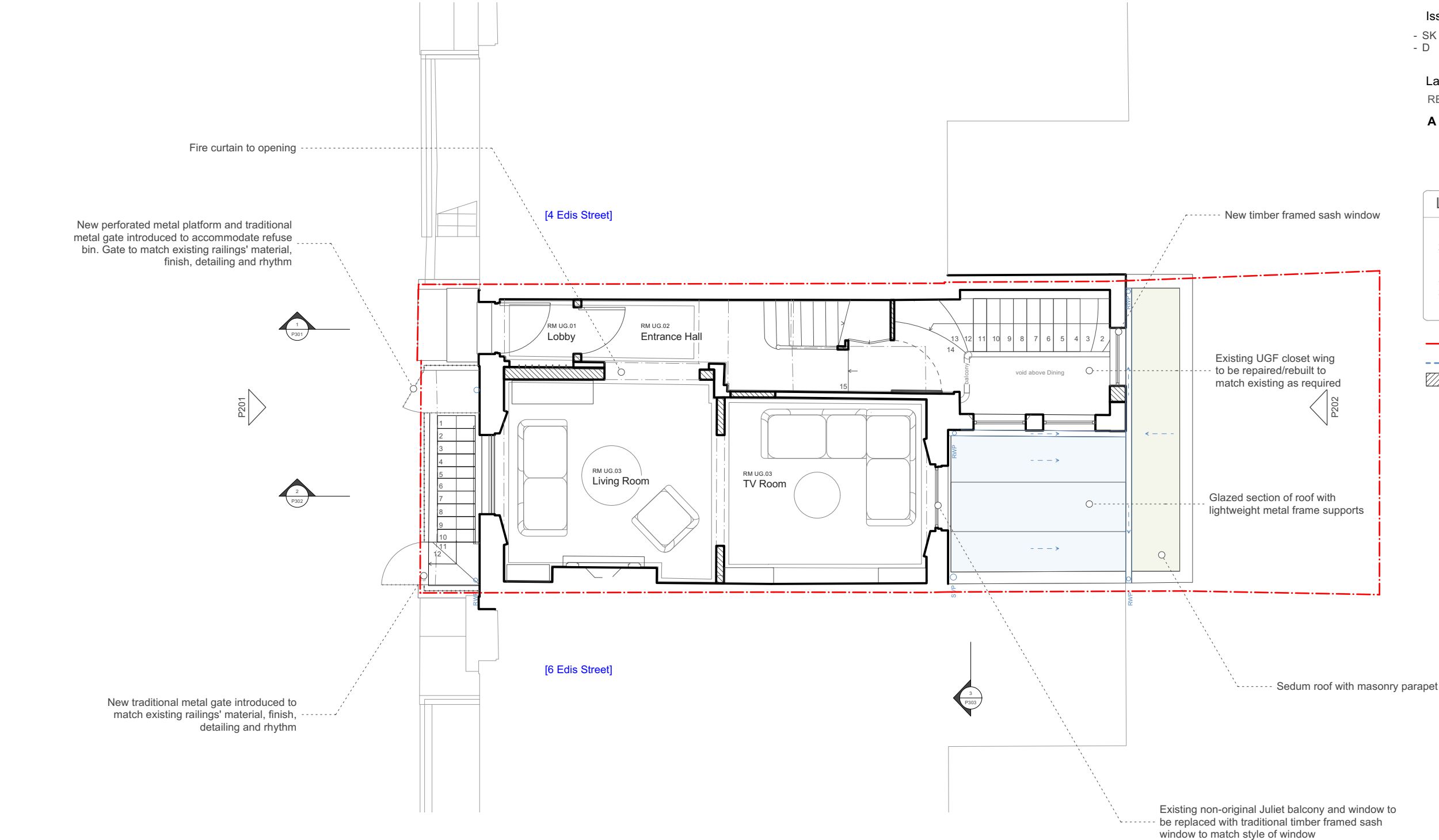
REV	NOTE	DATE	DRAWN
A	GF rear window on the closet wing amended from two to one to align with the window at First Floor level	02/04/2025	

LEGEND

Elevations
200 Series

Sections
300 Series

- Assumed boundary line
- Indicative drainage - subject to contractors' design
- New construction
- Windows to be fitted with slimline double glazing as required
- [7 Chalcot Road - Utopia Village]



General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365 Ltd
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

Latest Revisions

REV	NOTE	DATE	DRAWN
-----	------	------	-------

LEGEND

Elevations
200 Series

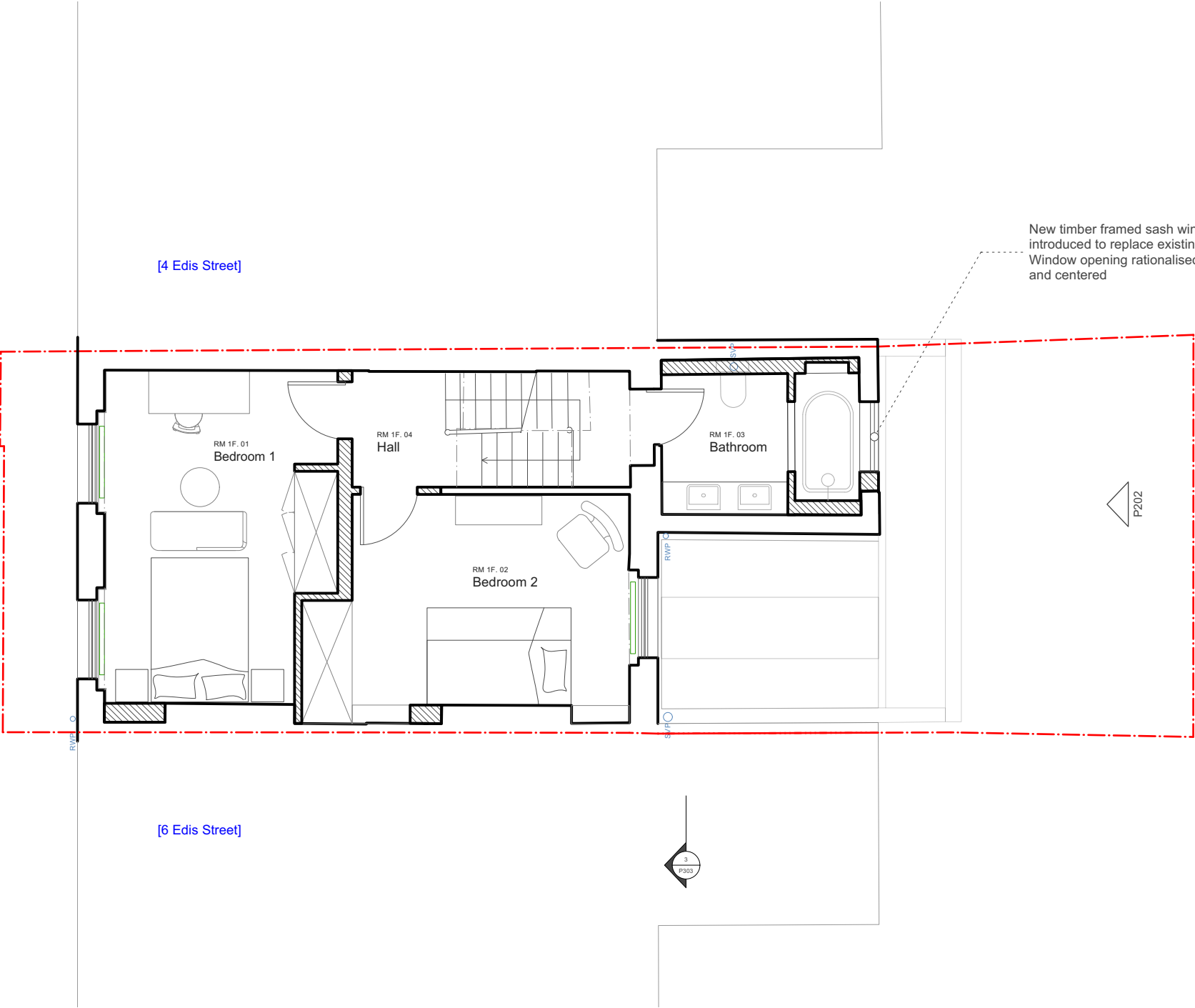


Sections
300 Series



- Assumed boundary line
- Indicative drainage - subject to contractors' design
- New construction
- Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -
Utopia Village]



Scale 1:75@A3



General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365 Ltd
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

Latest Revisions

REV	NOTE	DATE	DRAWN
-----	------	------	-------

LEGEND

Elevations
200 Series

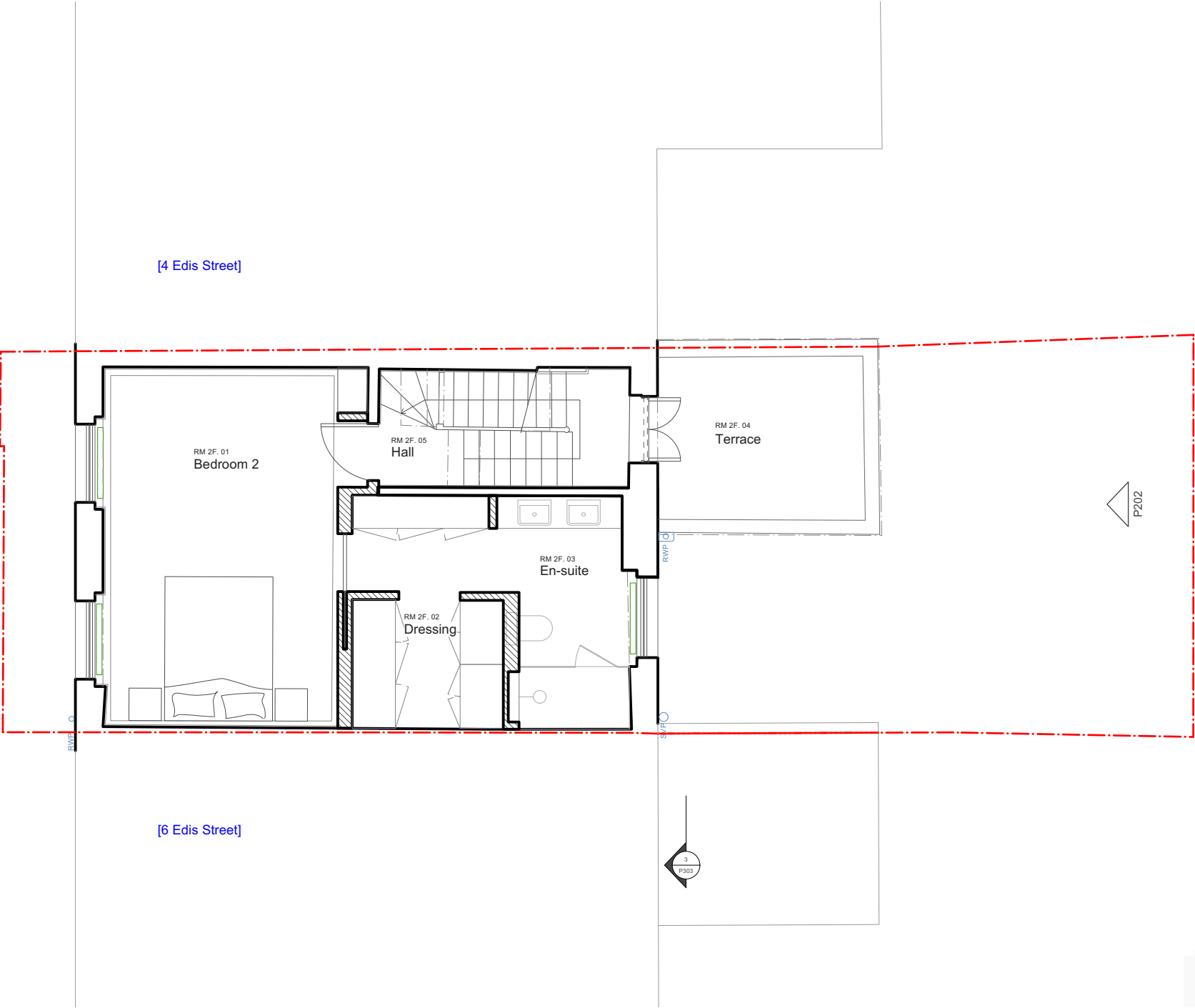


Sections
300 Series



- Assumed boundary line
- Indicative drainage - subject to contractors' design
- New construction
- Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -
Utopia Village]



Scale 1:75@A3



- General Notes
- All dimensions to be verified on site
 - Based on measured survey information provided by Origin Surveys Ltd
 - Drainage Survey information provided by Drain 365 Ltd
 - To be read in conjunction with all relevant documents
 - In the event of discrepancy notify the Architect immediately
 - For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
 - This document is copyright of Hugh Cullum Architects Ltd


- Issue Status
- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

Latest Revisions


REV	NOTE	DATE	DRAWN
-----	------	------	-------


LEGEND


Elevations
200 Series



P100

Sections
300 Series


P100

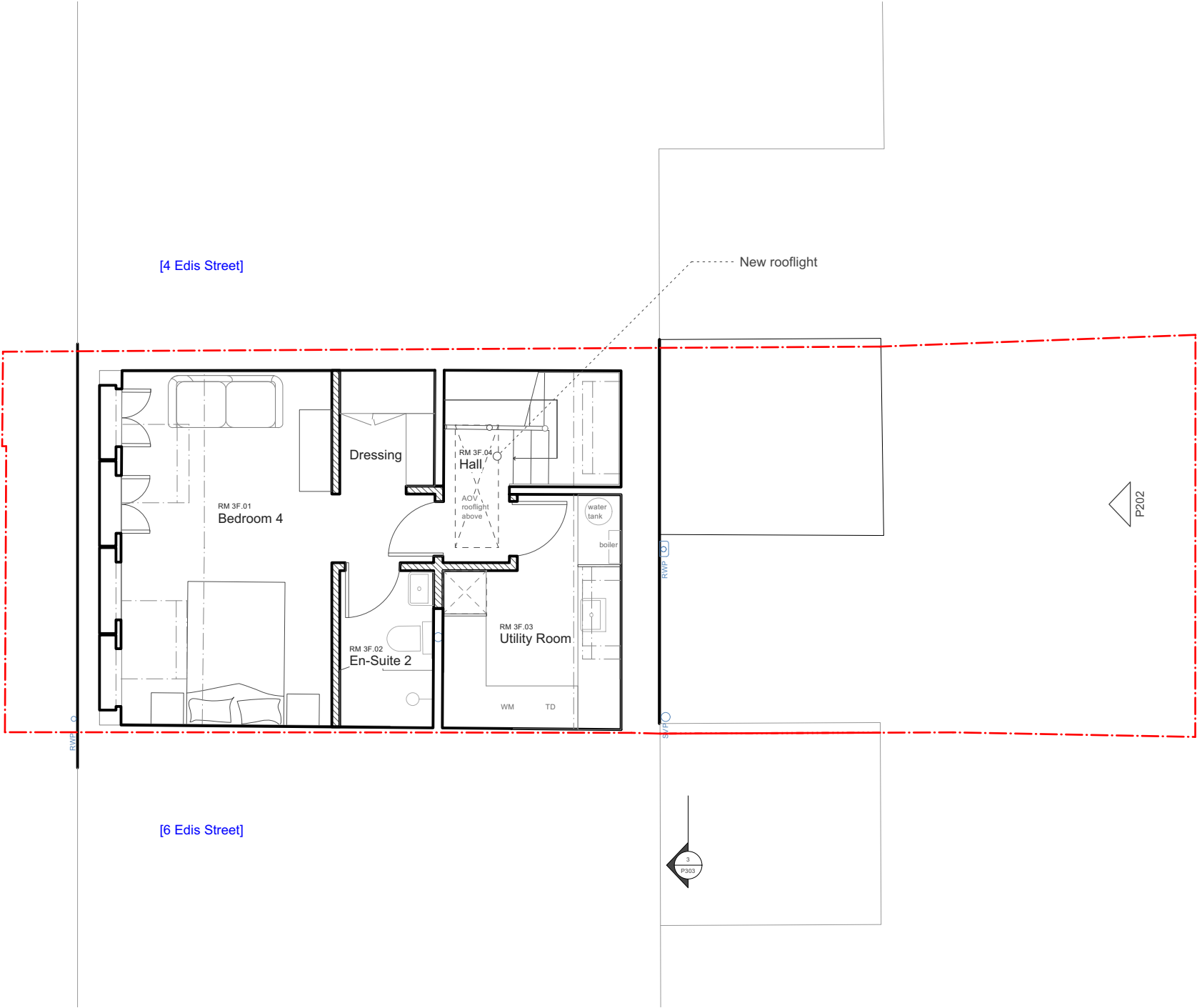
 Assumed boundary line

 Indicative drainage - subject to contractors' design

 New construction

Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -
Utopia Village]





New perforated metal platform and traditional metal gate introduced to accommodate refuse bin. Gate to match existing railings' material, finish, detailing and rhythm

New traditional metal gate introduced to match existing railings' material, finish, detailing and rhythm

General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365 Ltd
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

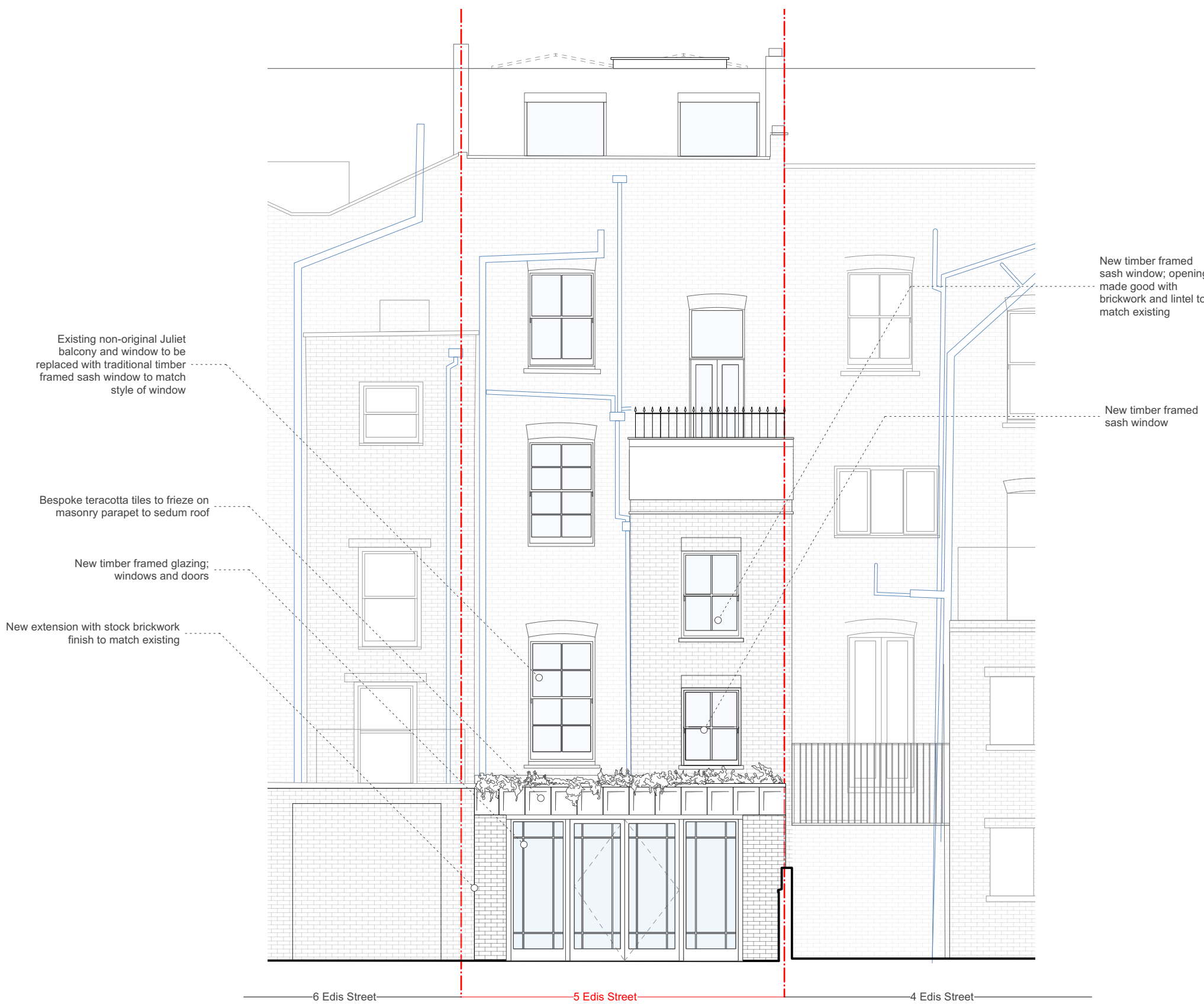
Issue Status

- SK Sketch - T Tender - P Permissions
- D Demolition - E Existing Condition - C Contract

Latest Revisions

REV	NOTE	DATE	DRAWN
-----	------	------	-------

- - - - - Assumed boundary line
- - - - - Windows to be fitted with slimline double glazing as required



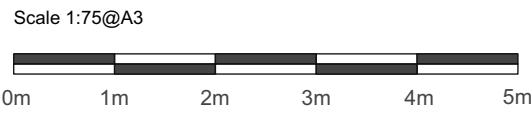
- General Notes
- All dimensions to be verified on site
 - Based on measured survey information provided by Origin Surveys Ltd
 - Drainage Survey information provided by Drain 365 Ltd
 - To be read in conjunction with all relevant documents
 - In the event of discrepancy notify the Architect immediately
 - For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
 - This document is copyright of Hugh Cullum Architects Ltd
- Issue Status
- | | | | | | |
|------|------------|-----|--------------------|-----|-------------|
| - SK | Sketch | - T | Tender | - P | Permissions |
| - D | Demolition | - E | Existing Condition | - C | Contract |

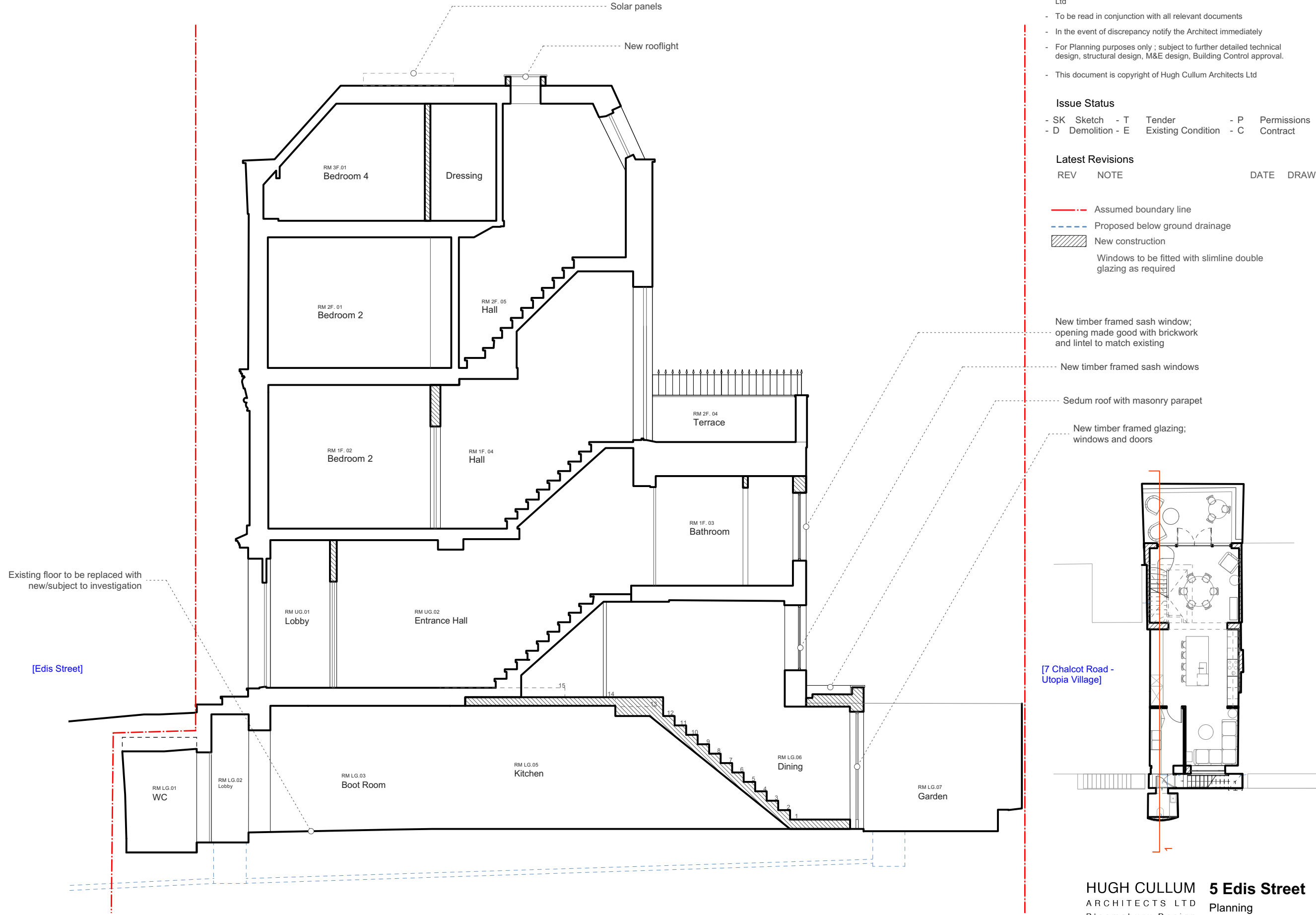
Latest Revisions

REV	NOTE	DATE	DRAWN
A	GF rear window on the closet wing amended from two to one to align with the window at First Floor level	02/04/2025	

Assumed boundary line

Windows to be fitted with slimline double glazing as required





General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365 Ltd
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

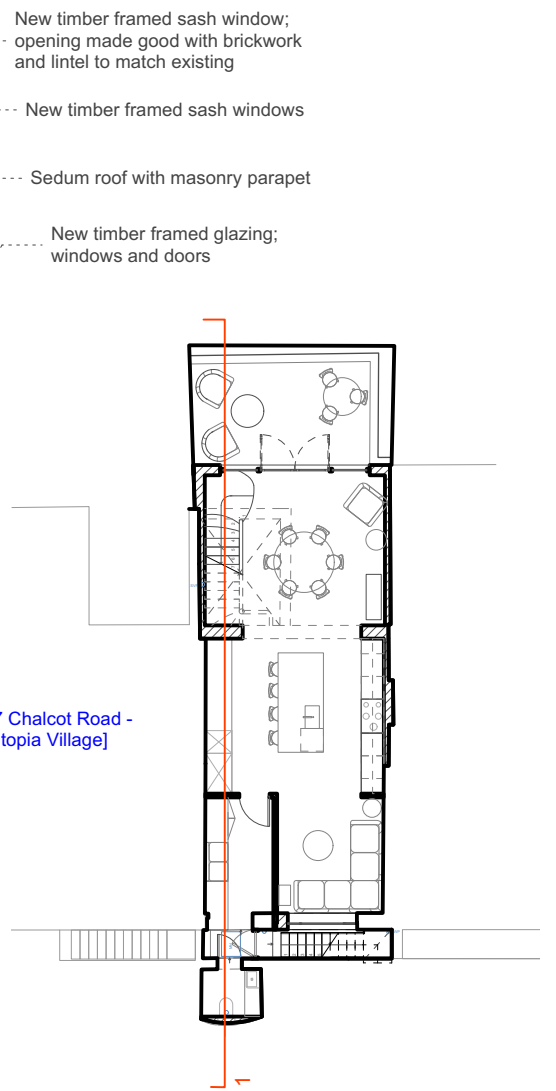
Issue Status

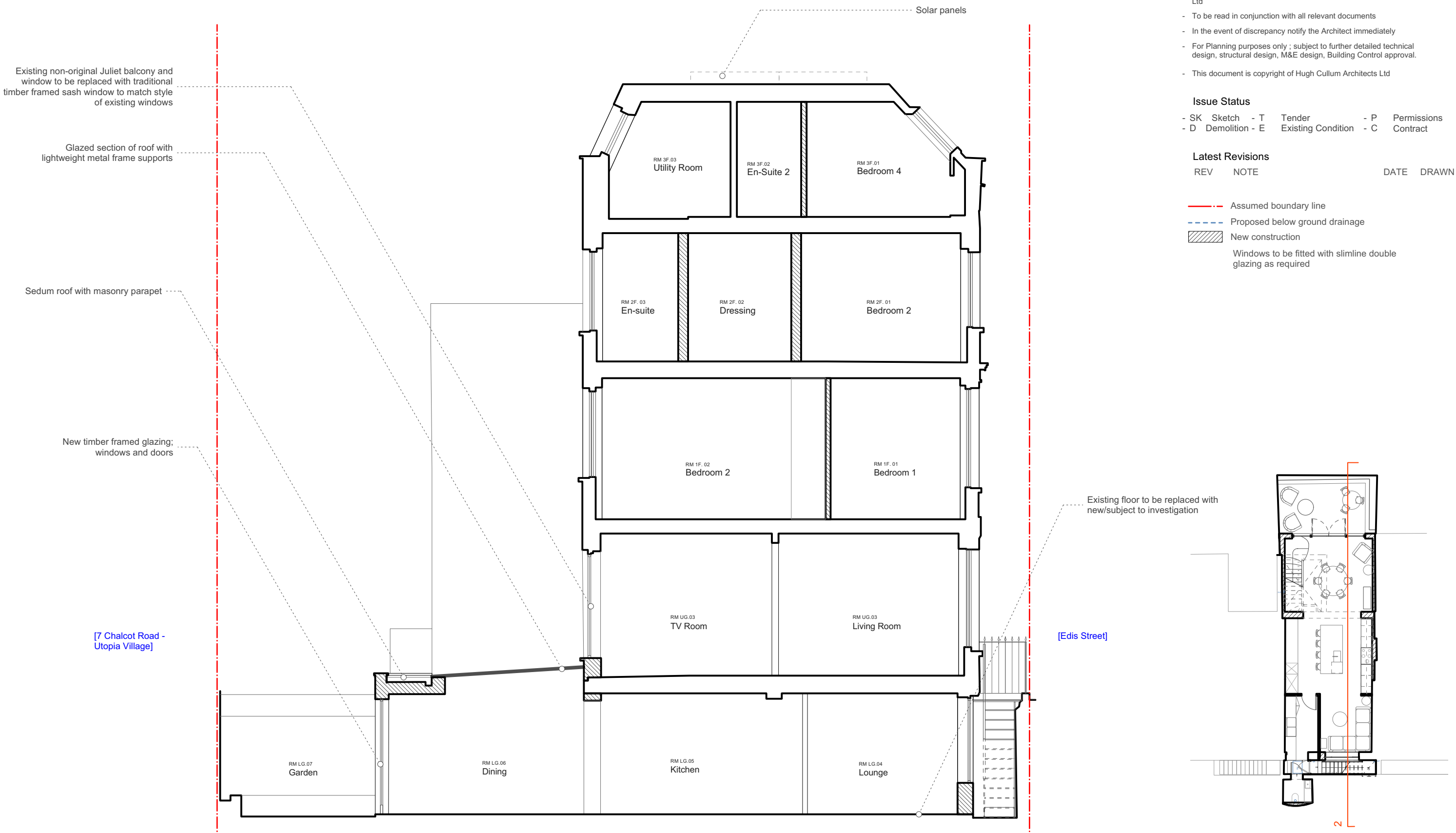
- SK	Sketch	- T	Tender	- P	Permissions
- D	Demolition	- E	Existing Condition	- C	Contract

Latest Revisions

REV	NOTE	DATE	DRAWN
-----	------	------	-------

- Assumed boundary line
- Proposed below ground drainage
- ▨ New construction
- Windows to be fitted with slimline double glazing as required





General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365 Ltd
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK	Sketch	- T	Tender	- P	Permissions
- D	Demolition	- E	Existing Condition	- C	Contract

Latest Revisions

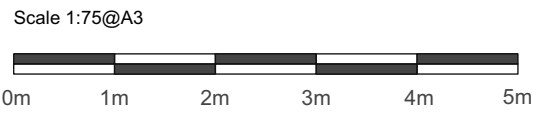
REV	NOTE	DATE	DRAWN

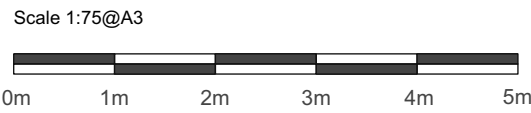
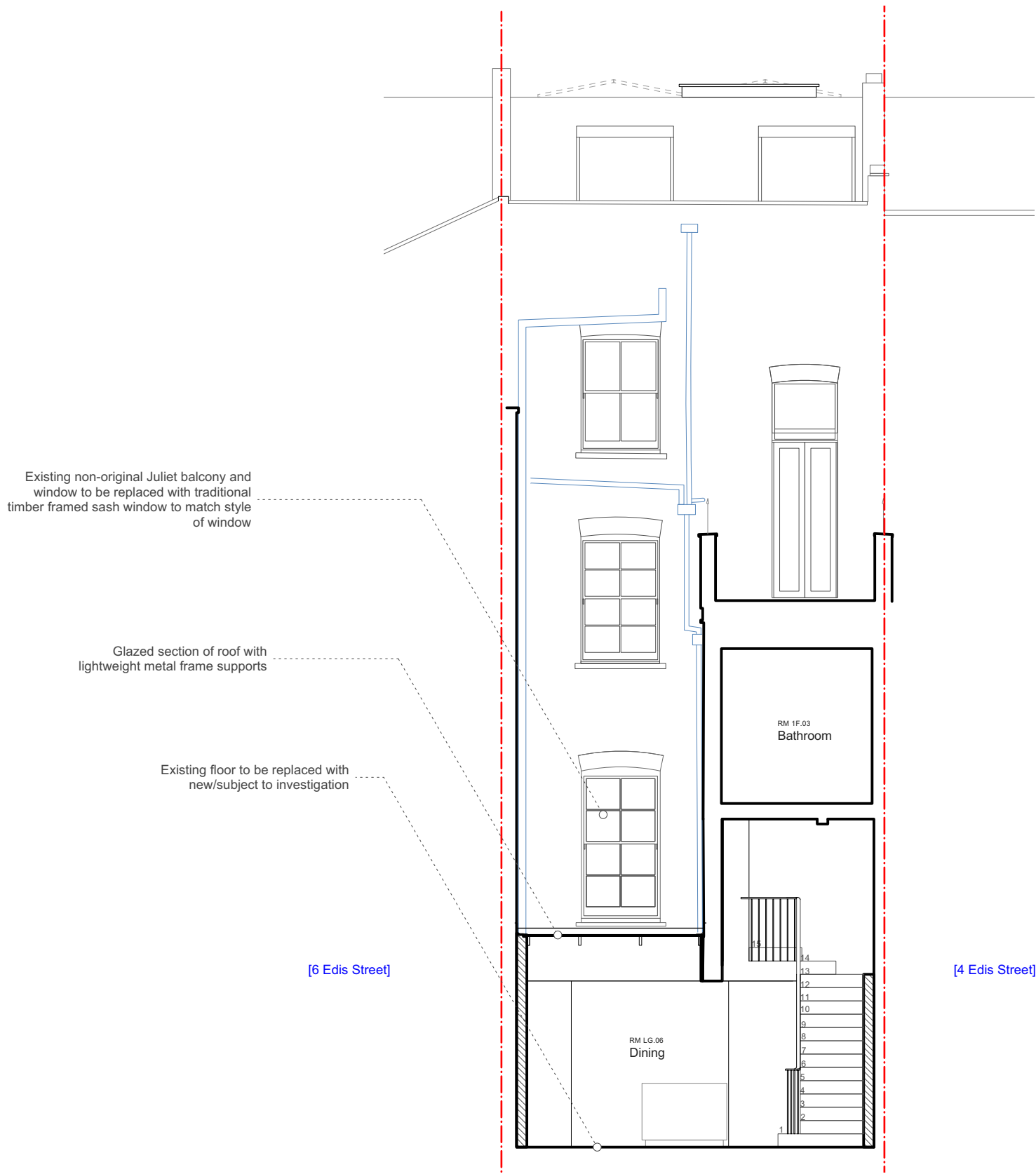
— — — Assumed boundary line

— — — Proposed below ground drainage

▨ New construction

Windows to be fitted with slimline double glazing as required



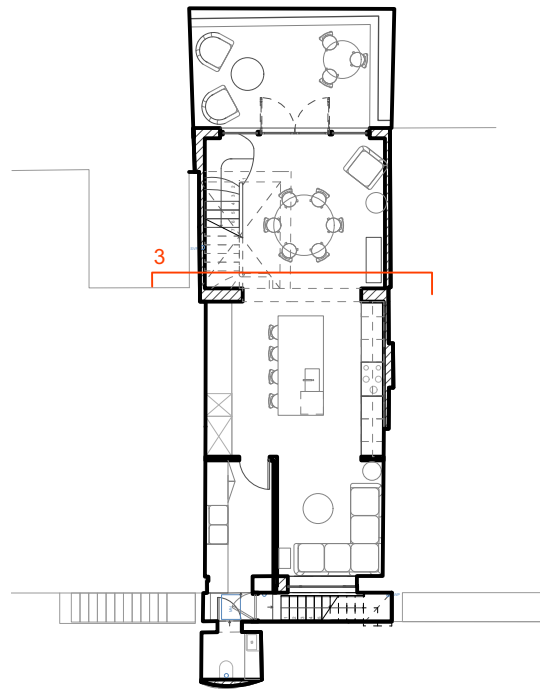


- General Notes**
 - All dimensions to be verified on site
 - Based on measured survey information provided by Origin Surveys Ltd
 - Drainage Survey information provided by Drain 365 Ltd
 - To be read in conjunction with all relevant documents
 - In the event of discrepancy notify the Architect immediately
 - For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.
 - This document is copyright of Hugh Cullum Architects Ltd
- Issue Status**

- SK	Sketch	- T	Tender	- P	Permissions
- D	Demolition	- E	Existing Condition	- C	Contract
- Latest Revisions**

REV	NOTE	DATE	DRAWN
- Assumed boundary line
 - Proposed below ground drainage
 - New construction

Windows to be fitted with slimline double glazing as required



General Notes

- All dimensions to be verified on site

- Based on measured survey information provided by Origin Surveys Ltd

- Drainage Survey information provided by Drain 365 Ltd

- To be read in conjunction with all relevant documents

- In the event of discrepancy notify the Architect immediately

- For Planning purposes only ; subject to further detailed technical design, structural design, M&E design, Building Control approval.

- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch

- T Tender

- P Permissions

- D Demolition

- E Existing Condition

- C Contract

Latest Revisions

REV	NOTE	DATE	DRAWN

Assumed boundary line

Proposed below ground drainage

New construction

Windows to be fitted with slimline double glazing as required

