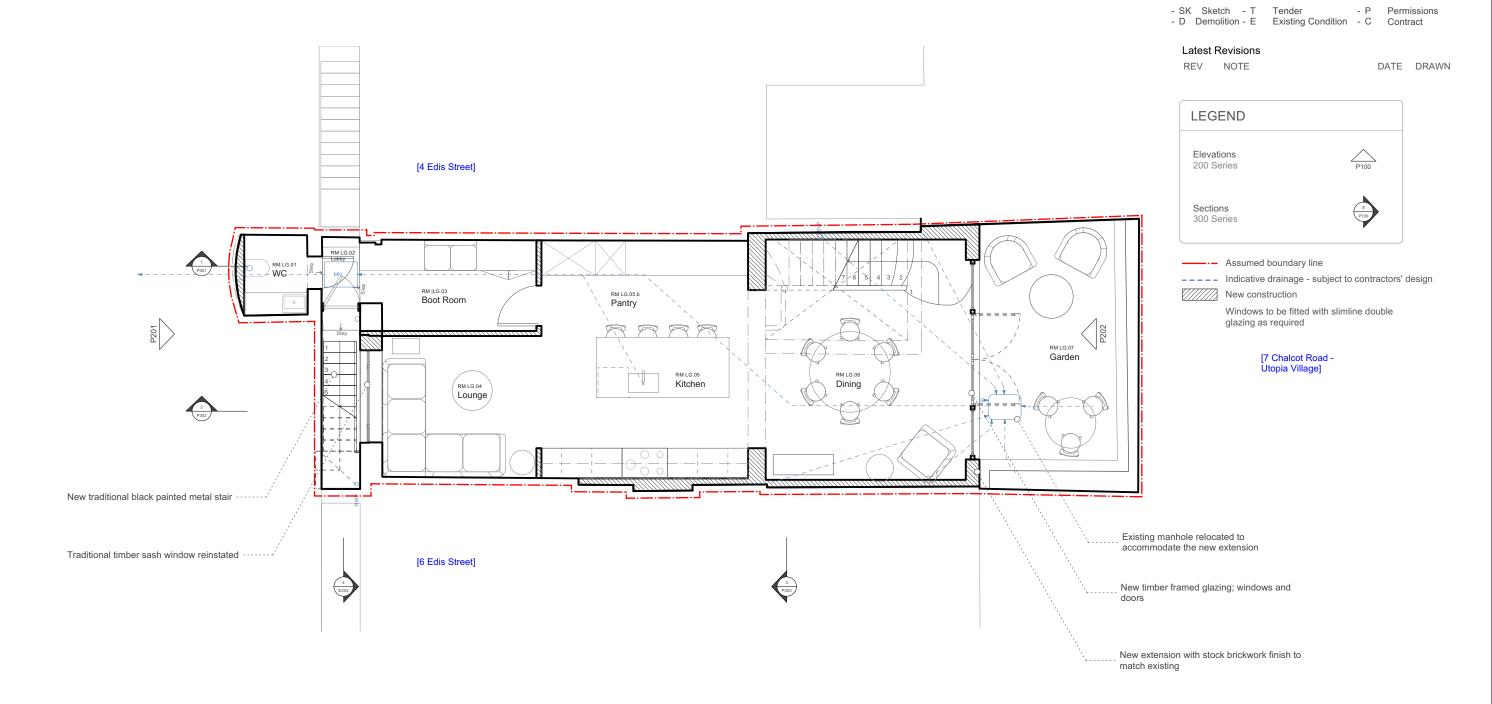
5 Edis Street

Application for Planning Permission - **Proposed** Drawing Set

ARCHITECTS LTD Bloomsbury Design 61b Judd Street London WC1H 9QT t 020 7387 7647 f 020 7383 7645 mail@hughcullum.com



ARCHITECTS LTD Bloomsbury Design 61b Judd Street t 0 2 0 7 3 8 7 7 6 4 7 Scale at A3: 1:75

General Notes

Origin Surveys Ltd

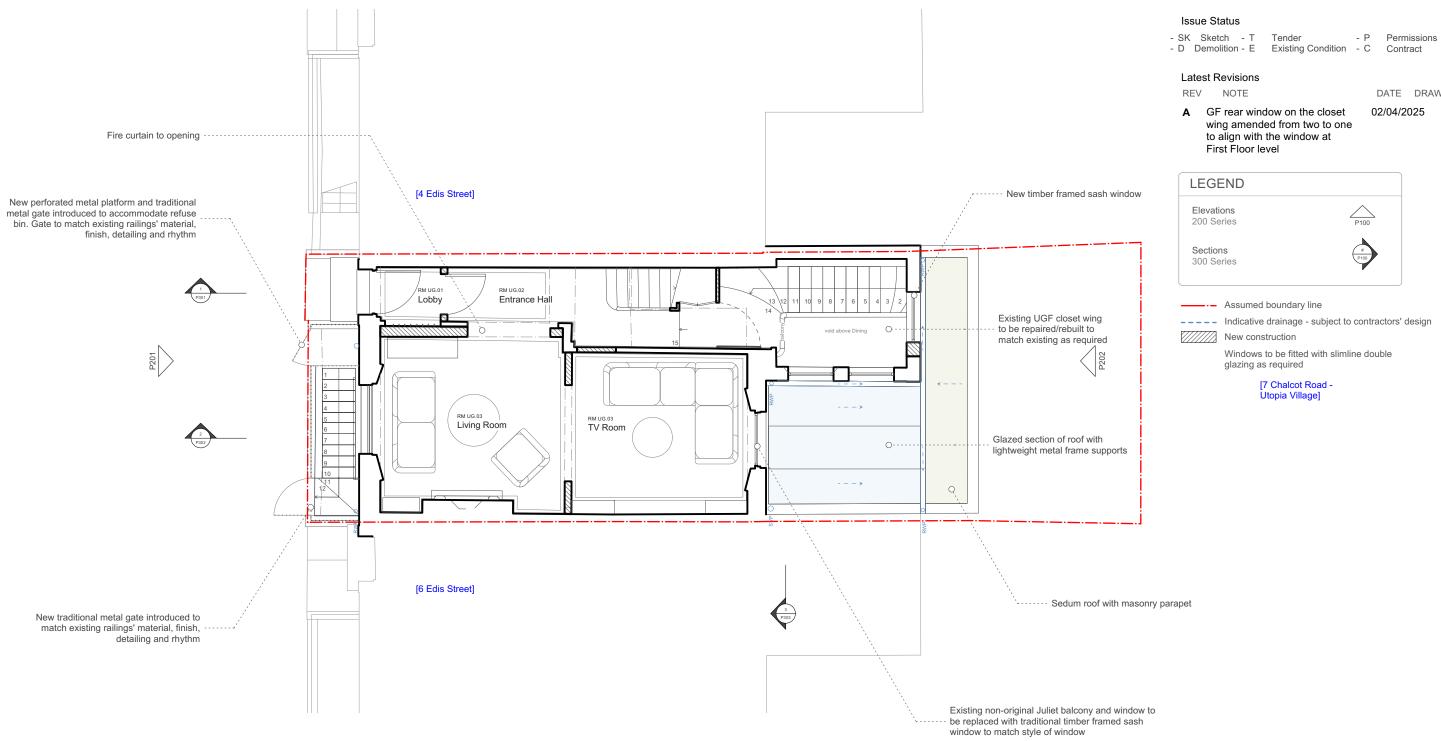
Issue Status

- All dimensions to be verified on site

- Based on measured survey information provided by

- Drainage Survey information provided by Drain 365 - To be read in conjunction with all relevant documents - In the event of discrepancy notify the Architect immediately - For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval. - This document is copyright of Hugh Cullum Architects Ltd

> HUGH CULLUM 5 Edis Street Planning General Arrangement London WC1H 9QT PLAN - LGF - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published 20/03/2025** mail@hughcullum.com ES005 - P1.101()



- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

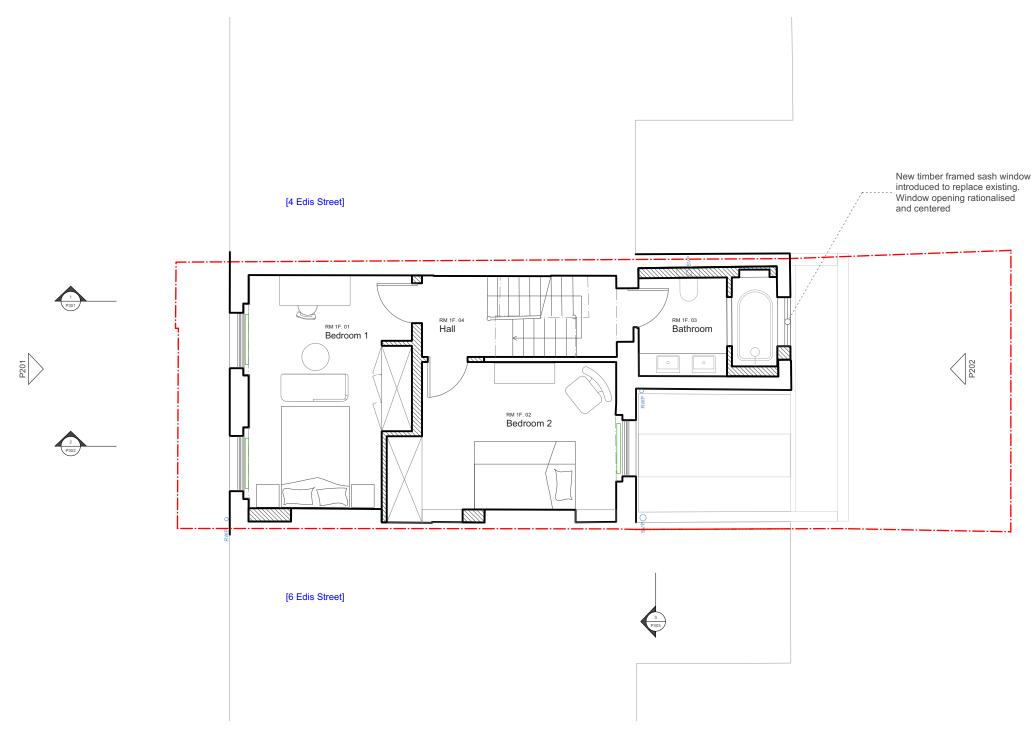
DATE DRAWN

ARCHITECTS LTD Party Wall Notice Bloomsbury Design 61b Judd Street t 0 2 0 7 3 8 7 7 6 4 7 Scale at A3: 1:75

HUGH CULLUM 5 Edis Street

General Arrangement London WC1H 9QT PLAN - UGF - Proposed f 0 2 0 7 3 8 3 7 6 4 5 Published 02/04/2025 mail@hughcullum.com ES005 - P1.102(A)





- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch T Tender P Permission D Demolition E Existing Condition C Contract - P Permissions

Latest Revisions

REV NOTE

DATE DRAWN

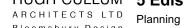


---- Assumed boundary line

--- Indicative drainage - subject to contractors' design New construction

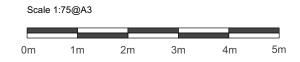
> Windows to be fitted with slimline double glazing as required

> > [7 Chalcot Road -Utopia Village]

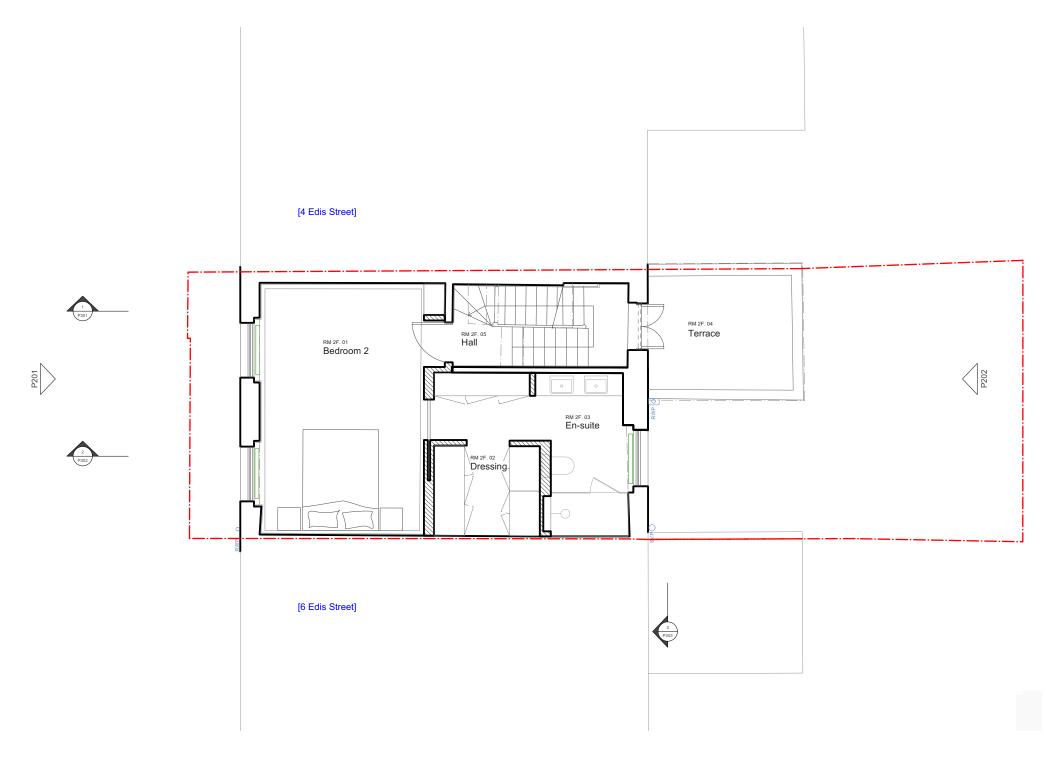


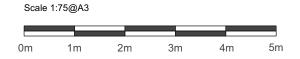
Bloomsbury Design 61b Judd Street t 020 7387 7647 Scale at A3: 1:75

HUGH CULLUM 5 Edis Street General Arrangement London WC1H 9QT PLAN - 1F - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.103()











- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

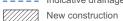
Latest Revisions

REV NOTE

DATE DRAWN



---- Assumed boundary line



--- Indicative drainage - subject to contractors' design

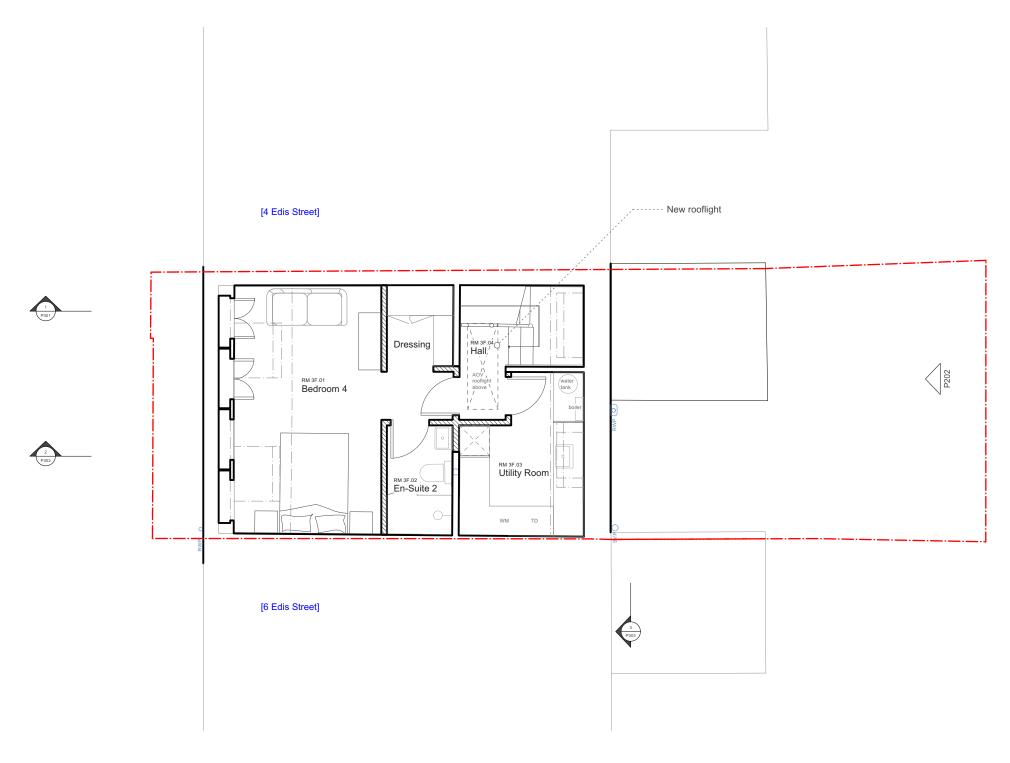
Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -Utopia Village]

HUGH CULLUM 5 Edis Street

ARCHITECTS LTD Planning Bloomsbury Design 61b Judd Street t 020 7387 7647 Scale at A3: 1:75 mail@hughcullum.com ES005 - P1.104()

General Arrangement London WC1H 9QT PLAN - 2F - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025



- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

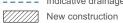
Latest Revisions

REV NOTE

DATE DRAWN



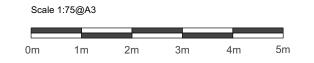
---- Assumed boundary line



--- Indicative drainage - subject to contractors' design

Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -Utopia Village]

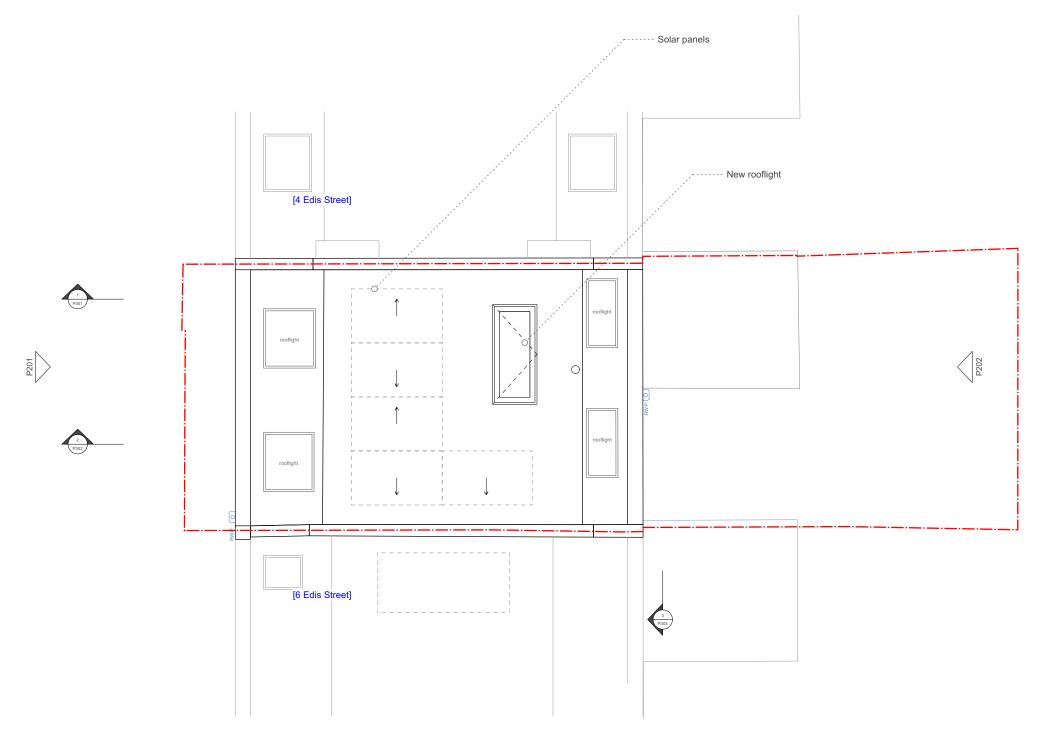




HUGH CULLUM 5 Edis Street ARCHITECTS LTD Planning

Bloomsbury Design 61b Judd Street t 020 7387 7647 Scale at A3: 1:75 mail@hughcullum.com ES005 - P1.105()

General Arrangement London WC1H 9QT PLAN - 3F - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025



- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

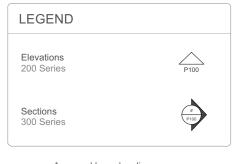
Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

Latest Revisions

REV NOTE

DATE DRAWN



---- Assumed boundary line

--- Indicative drainage - subject to contractors' design New construction

Windows to be fitted with slimline double glazing as required

[7 Chalcot Road -Utopia Village]

ARCHITECTS LTD Planning

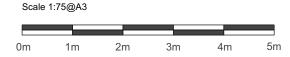
Bloomsbury Design 61b Judd Street t 020 7387 7647 Scale at A3: 1:75

HUGH CULLUM 5 Edis Street General Arrangement London WC1H 9QT PLAN - Roof - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.106()









- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

Latest Revisions

REV NOTE

DATE DRAWN

--- Assumed boundary line

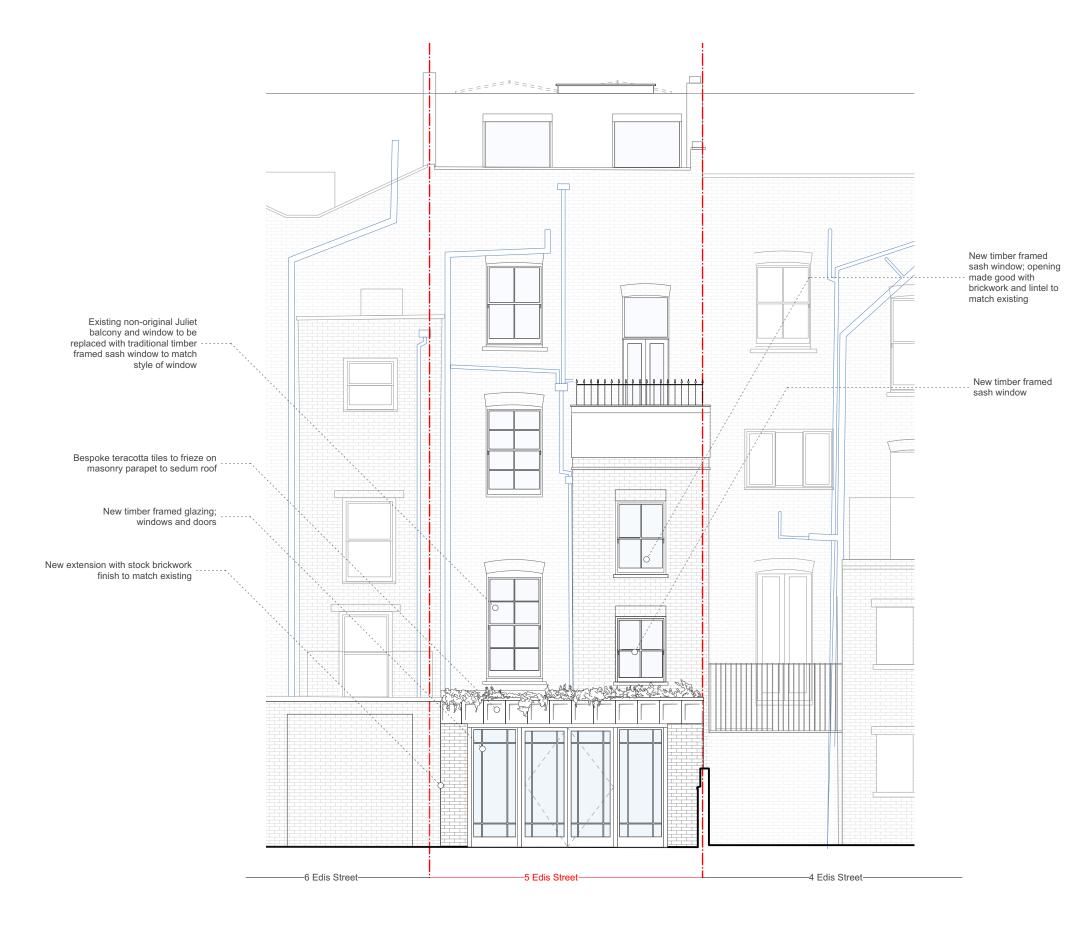
Windows to be fitted with slimline double glazing as required

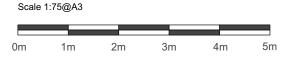
ARCHITECTS LTD Planning

Bloomsbury Design 61b Judd Street $\begin{smallmatrix} t & 0 & 2 & 0 \end{smallmatrix}$ 7 3 8 7 $$ 7 6 4 7 Scale at A3: 1:75

HUGH CULLUM 5 Edis Street

General Arrangement London WC1H 9QT ELEV - Front Elev - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.201()





- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

Latest Revisions

REV NOTE

DATE DRAWN

A GF rear window on the closet wing amended from two to one to align with the window at First Floor level

02/04/2025

--- Assumed boundary line

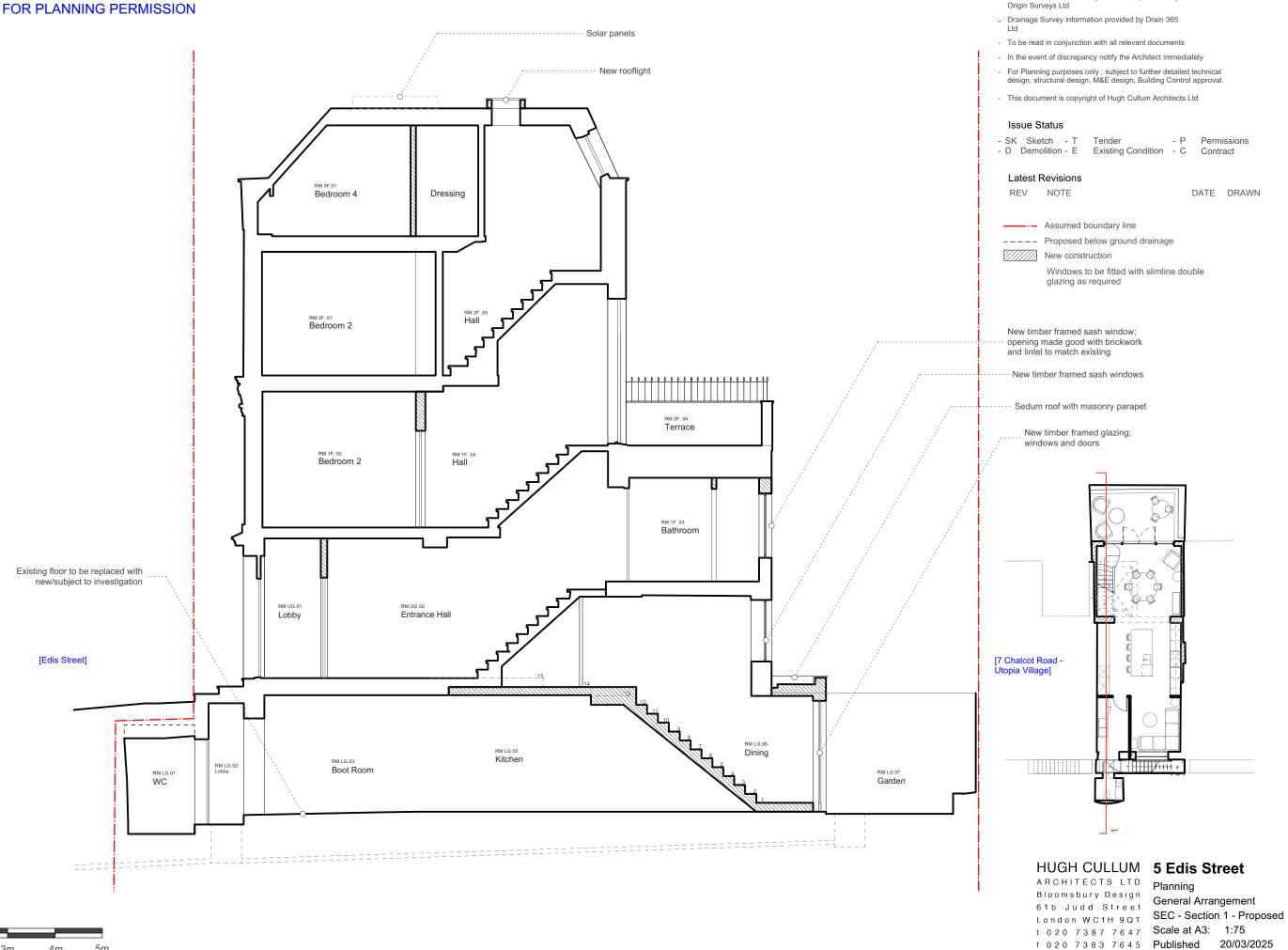
Windows to be fitted with slimline double glazing as required

ARCHITECTS LTD Party Wall Notice

Bloomsbury Design 61b Judd Street $\begin{smallmatrix} t & 0 & 2 & 0 \end{smallmatrix}$ 7 3 8 7 $$ 7 6 4 7 Scale at A3: 1:75

HUGH CULLUM 5 Edis Street

General Arrangement London WC1H 9QT ELEV - Rear Elev - Proposed f 0 2 0 7 3 8 3 7 6 4 5 Published 02/04/2025 mail@hughcullum.com ES005 - P1.202(A)

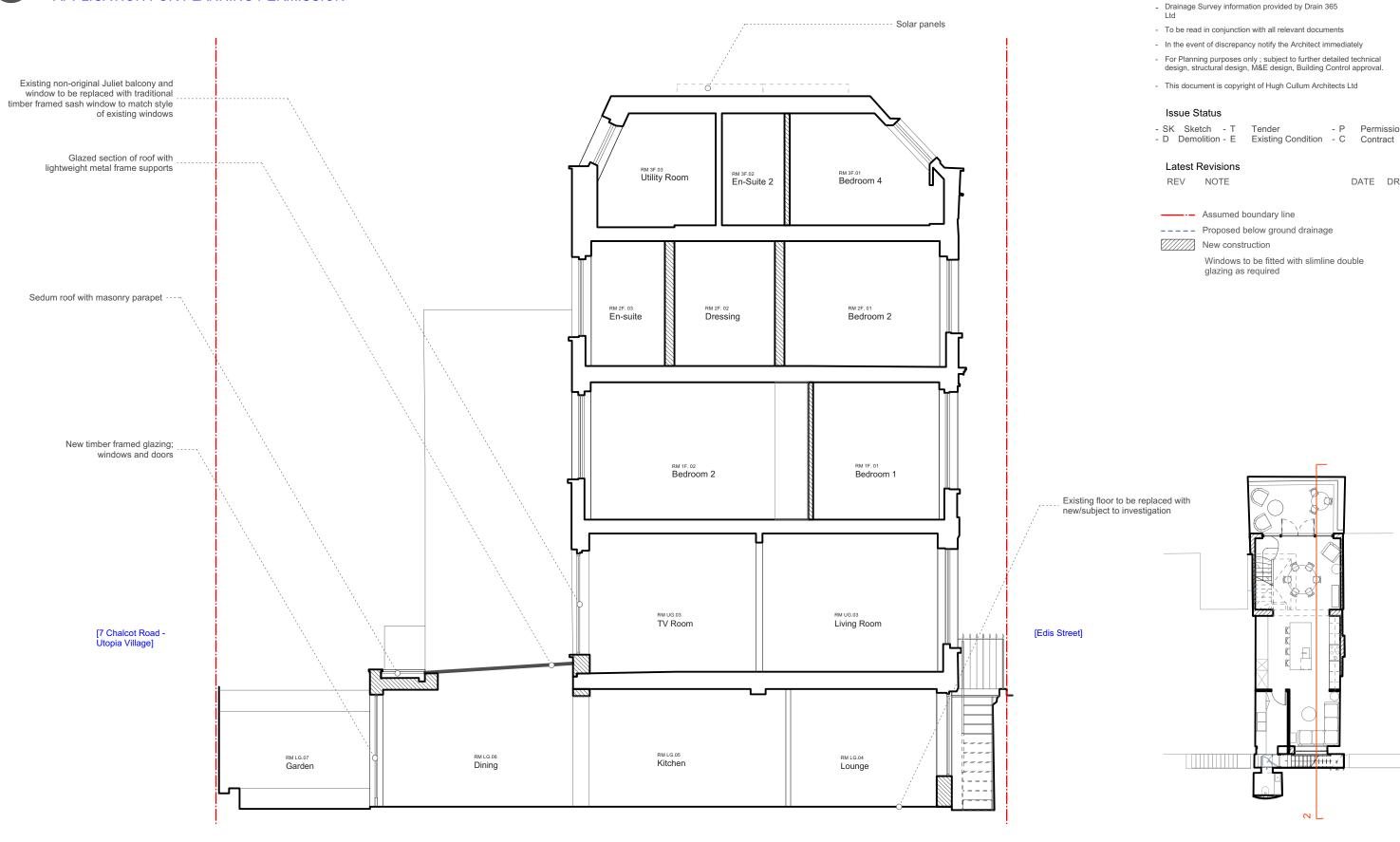


General Notes

- All dimensions to be verified on site

- Based on measured survey information provided by

mail@hughcullum.com ES005 - P1.301()



HUGH CULLUM 5 Edis Street

(RO

ARCHITECTS LTD Bloomsbury Design 61b Judd Street London WC1H 9QT t 020 7387 7647 Scale at A3: 1:75

General Notes

Origin Surveys Ltd

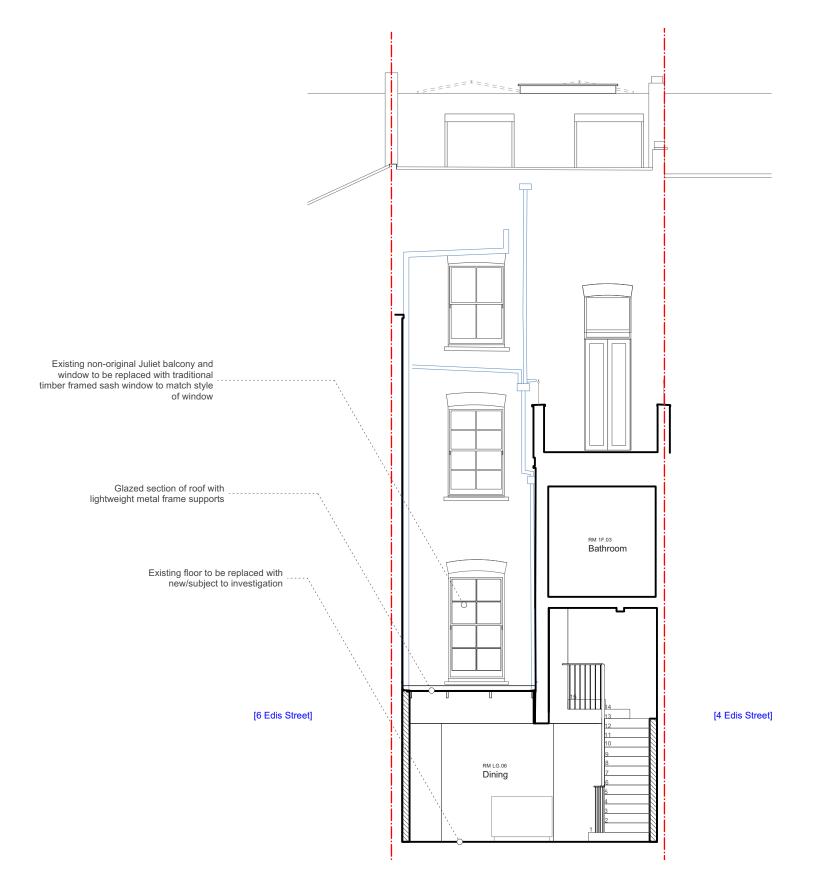
- All dimensions to be verified on site

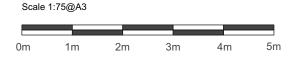
- Based on measured survey information provided by

- P Permissions

DATE DRAWN

Planning General Arrangement SEC - Section 2 - Proposed f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.302()





- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

Latest Revisions

REV NOTE

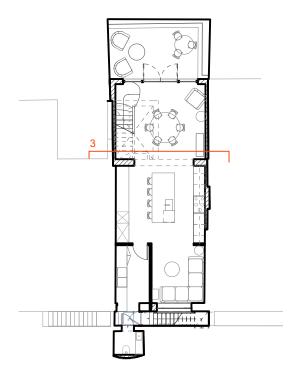
DATE DRAWN

---- Assumed boundary line

---- Proposed below ground drainage



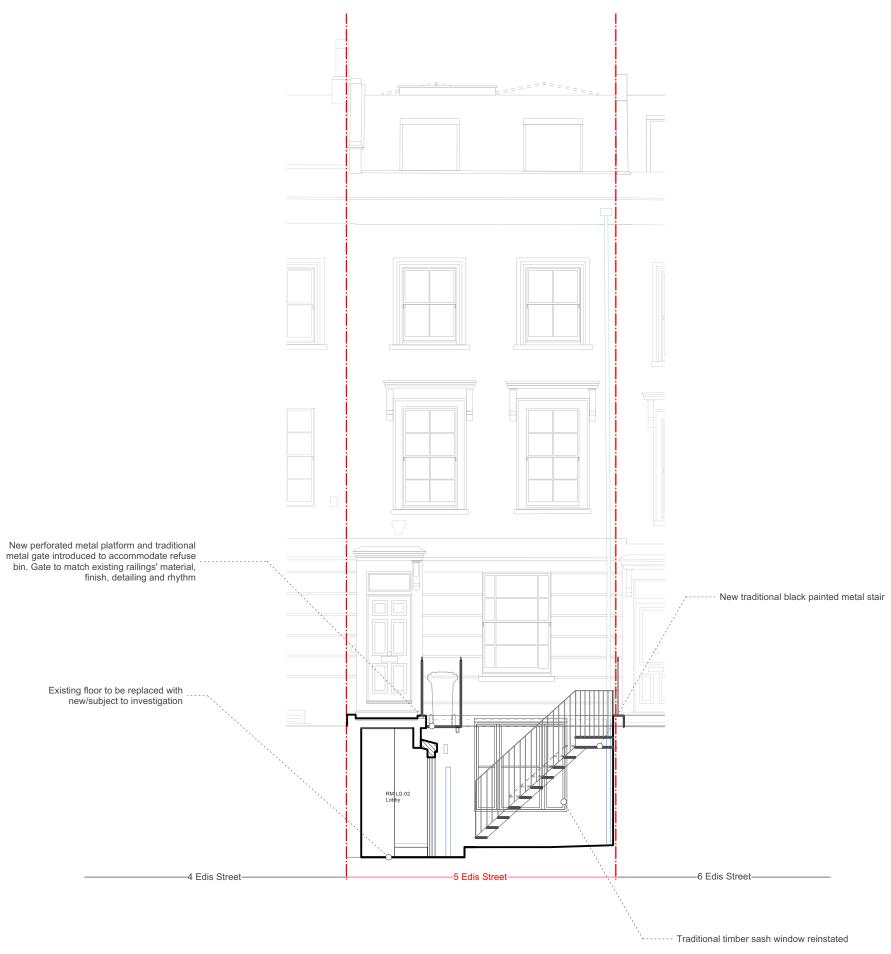
Windows to be fitted with slimline double glazing as required



HUGH CULLUM 5 Edis Street

ARCHITECTS LTD Bloomsbury Design 61b Judd Street

Planning General Arrangement London WC1H 9QT SEC - Section 3 - Proposed t 020 7387 7647 Scale at A3: 1:75 f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.303()



General Notes

- All dimensions to be verified on site
- Based on measured survey information provided by Origin Surveys Ltd
- Drainage Survey information provided by Drain 365
- To be read in conjunction with all relevant documents
- In the event of discrepancy notify the Architect immediately
- For Planning purposes only; subject to further detailed technical design, structural design, M&E design, Building Control approval.
- This document is copyright of Hugh Cullum Architects Ltd

Issue Status

- SK Sketch - T Tender - P Permission - D Demolition - E Existing Condition - C Contract - P Permissions

Latest Revisions

REV NOTE

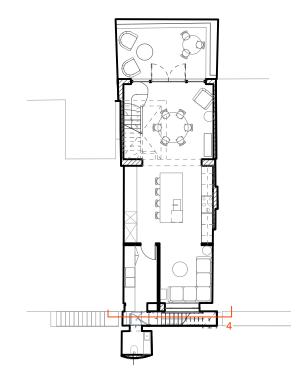
DATE DRAWN

---- Assumed boundary line

---- Proposed below ground drainage



Windows to be fitted with slimline double glazing as required



HUGH CULLUM 5 Edis Street

ARCHITECTS LTD Bloomsbury Design 61b Judd Street

Planning General Arrangement London WC1H 9QT SEC - Section 4 - Proposed t 020 7387 7647 Scale at A3: 1:75 f 0 2 0 7 3 8 3 7 6 4 5 **Published** 20/03/2025 mail@hughcullum.com ES005 - P1.304()