

Date of Inspection	2024-09-18
Area of the Venue	Internal
Room Reference / Location	Stage right gallery
ID of Submission	01

#### Summary of Inspection

Name and description of inspected element	Concrete filler joist sloping wall
Priority Category	Action required within the next 12-18 months
Priority	CAT 2

#### Condition of venue area and action required (To be read in conjunction with images as appropriate)

Description of Defect/Fault	<p>Steel filler joists have been exposed to reveal the condition of the steel. The top flanges of the beams are in varying degrees of disrepair ranging from completely corroded (ref 1), heavily corroded (ref 2) and lightly corroded (ref 3), which in turn has caused the render to crack along the steel positions. The corrosion will have reduced the lateral stability of the wall under wind loads.</p> <p>The corrosion of the top flanges indicates water has/is penetrating through the roof finishes (felt). Patch repairs have been carried out to the felt. The gutter line appears to be just above the worst affected areas internally (ref 4) which looks to be the more likely source of the water ingress.</p>
Proposed Action or Recommendation(s)	<p>The wall will need to be supported with additional steelwork to re-introduce the strength. A steel grillage will need to be formed which may have an impact of the grid operations. Currently a design is being carried out to determine the size of steel required to support the wall and what impact this may have on the gallery for access.</p> <p>The waterproofing externally should be reviewed with a view to renewing to prevent any further water ingress. The gutter should also be assessed to ensure it's watertight. A liquid plastic system should be considered.</p> <p>The second option would be to completely remove the concrete wall and replace with a new timber structure. In doing this the access on the gallery would be improved as the wall could be re-built vertically in timber.</p>

Recommended timescale for Actions	We recommend that follow up repairs and/or inspections are undertaken within the next 12-18 months unless deterioration or other concerns are raised in the intervening times.
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*Ref 1**Ref 2**Ref 3**Ref 4*



Date of Inspection	2024-09-18
Area of the Venue	Internal
Room Reference / Location	Boiler Room
ID of Submission	02

#### Summary of Inspection

Name and description of inspected element	Concrete filler joist floor
Priority Category	Action required within the next 12-18 months
Priority	CAT 2

#### Condition of venue area and action required (To be read in conjunction with images as appropriate)

Description of Defect/Fault	Steel filler joists, where visible, exhibiting signs of corrosion, causing the concrete to crack. In the corner of the room the bottom flange of a filler joists has completely corroded away.
Proposed Action or Recommendation(s)	New steel beams to be installed below the existing concrete to support the filler joist floor. All steel to be galvanised.

Recommended timescale for Actions	We recommend that follow up repairs and/or inspections are undertaken within the next 12-18 months unless deterioration or other concerns are raised in the intervening times.
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Date of Inspection	2024-09-18
Area of the Venue	Internal
Room Reference / Location	Boiler Room – High Level
ID of Submission	03

#### Summary of Inspection

Name and description of inspected element	Pavement light original steelwork
Priority Category	Action required within the next 12-18 months
Priority	CAT 2

#### Condition of venue area and action required (To be read in conjunction with images as appropriate)

Description of Defect/Fault	Original steel beams around the pavement lights severely corroding. New steel has been installed to support the surrounding structure, so the original steelwork is redundant.
Proposed Action or Recommendation(s)	Remove corroded section of the beam to prevent it from falling.
Recommended timescale for Actions	We recommend that follow up repairs and/or inspections are undertaken within the next 12-18 months unless deterioration or other concerns are raised in the intervening times.



Date of Inspection	2024-09-18
Area of the Venue	Internal
Room Reference / Location	Auditorium Right – Male/Female WC's
ID of Submission	04

#### Summary of Inspection

Name and description of inspected element	Original steelwork supporting pavement lights.
Priority Category	Action required within the next 12-18 months
Priority	CAT 2

#### Condition of venue area and action required (To be read in conjunction with images as appropriate)

Description of Defect/Fault	Limited view of the steelwork due to the WC false ceilings. Only point of view was via the use of a camera taking blind shots of one area above the female WCs ceiling. No steelwork visible in its entirety to be able to comment on the overall condition, however, given there are multiple repairs to the original pavement lights supporting steelwork throughout the venue, there is a good chance the steelwork will be in a similar condition. One beam appears to be clad with ceramic tiles, with brickwork over. A small section of the bottom flange can be seen which does look to have begun to corrode. The tiles in this area have cracked/fallen off which would suggest there is some degree of corrosion occurring.
Proposed Action or Recommendation(s)	Scheme provided by Momentum to be costed to allow these works to be included in any future works. Further investigation required to determine the exact condition of the supporting steelwork. Once viewed and the steelwork assessed a decision can be made as to whether the full Momentum scheme is required or if the repairs can be scaled back to cleaning, treating and repainting.



