

Design, Access & Heritage Statement



Proposed Extension to
38 - 40 Windmill Street
London W1T 2BE
for
Giordano Limited

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Introduction

The Statement follows the guidance set out in Circular 01/2006 and under Section 42 of the Planning Compulsory Purchase Act 2004 which requires that a DAS is submitted in support of planning applications. In particular, in accordance with guidance set out in Circular 01/2006, this Statement will:

- Demonstrate how the proposal responds to the Application Site's context;

- Explain the amount of development proposed, its distribution across the site, and its relationship to its surroundings;

- Indicate the scale of the buildings proposed (height, width and length) why the selected parameters have been chosen, and how they relate to the surroundings;

- Explain and justify the principles behind the intended appearance;

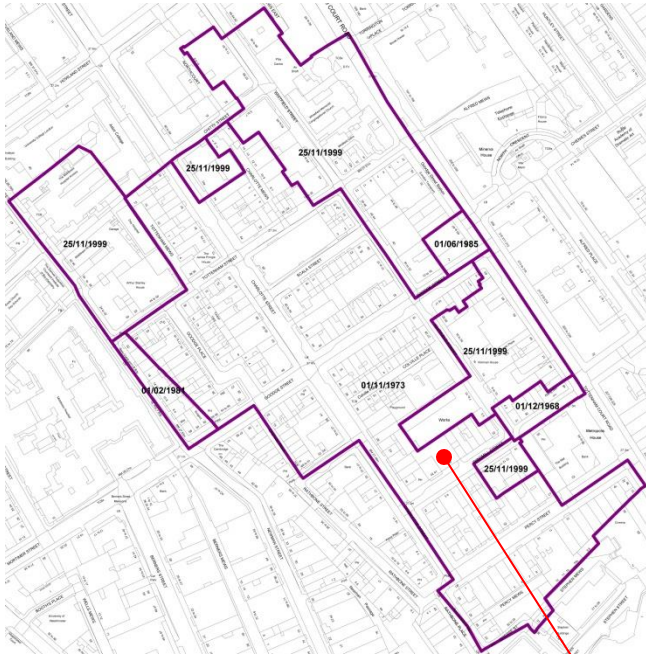
- Explain how policies/Government advice have been taken into account.

The statement briefly outlines our approach towards the design for extensions to the existing apartments at Fourth and Fifth floor levels to 38 – 40 Windmill Street, London.

This application relates to previous consents granted under 2010/5167/P for a rear extension to 38-40 Windmill Street.

The statement will show that the proposed extensions respond appropriately to its built context, whilst providing safe and healthy living conditions for the current owner occupier.

The Site



**Charlotte Street
Conservation Area Plan**

38-40 Windmill street is situated mid way along Windmill street, being a former Wine Merchants, built in the 1956 to a design by Architect Joseph Fielden-Dixon, reflecting a façade style of Roman influence.

The site is also located within the Charlotte Street Conservation Area.

The site is bordered by properties of varying styles and quality, but in their main are of a Georgian styling. The ground floors of the majority of buildings in Windmill street are given over to retail and Café outlets.

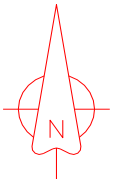
38-40 Windmill Street



Location Plan

OS Map showing the site and surrounding areas

38-40 Windmill Street



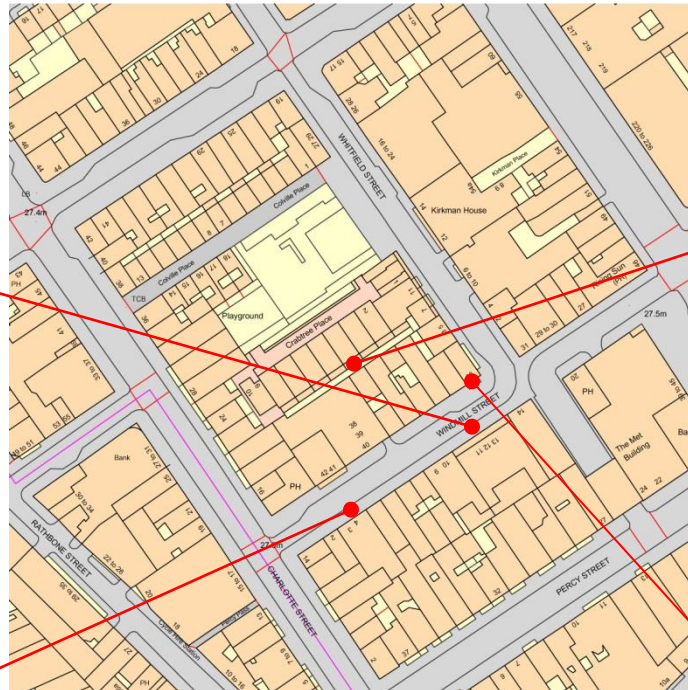
The Site contd.



View of Windmill Street looking West



View of 38-40 Windmill Street



New residential recently built to North of site



Building on corner of Windmill Street and Whitfield Street

38-40 Windmill Street

The Existing Building

38-40 Windmill Street is a former Wine Merchants, built in the 1956 to a design by Architect Joseph Fielden-Dixon, reflecting a façade style of Roman influence and featuring predominantly stone facing to the Windmill Street frontage. The existing windows are Crittall type metal single glazed units. Behind the façade, is a semi industrial construction of concrete beams and columns with infill panels in fletton type bricks. As part of the approved scheme 2010/5167/P the proposal is to provide a render finish to conceal this primitive existing finish.

At the upper two floor levels where the extensions are to be formed, the finish is a stock facing brick.



Existing Elevation at the upper levels



Front Facade



Front façade in context



View of rear elevations

Proposed Development

The proposed development, shown on the application drawings, is for the extension at fourth and fifth floor level to provide additional living space to critical rooms.

The proposal is represented hereon but also on the accompanying drawings 4023-016 to 019 inclusive and images from a 3D computer generated model. The proposal is intended to subdue the dominance of the existing façade at Fourth and fifth floor level which is currently in a stock facing brick giving a heavy feel to the top of the building. With small scale extensions and with the use of render to both the existing walls and the extended walls this will lighten the top of the



View from South East

The proposal is that the extensions would be no more visible than the current buildings at fourth and fifth floor level. However, we are extending further on the Eastern side in order to give symmetry to the whole elevation.

This visible element already exists in stock facing bricks and is to be rendered to lighten`



This new visible element is to provide balance to the elevation

View from the Street on opposite pavement

Our design objectives can be summarised as follows:

- To provide a high quality, modern residential use development with a high standard of accommodation to satisfy occupiers' needs;
- To optimise the use of this residential building;
- To produce a development of quality that fits into and enhances the character of the existing building and surroundings in the local environment; and
- To improve the visual appearance of the building which was cited in the Charlotte Street Conservation Area Appraisal as one that detracts from the appearance of the conservation area

Proposed Development Cont.d

The proposed development, shown on the application drawings, is for the extension at fourth and fifth floor level to provide additional living space to critical rooms.

With small scale extensions and with the use of render to both the existing walls and the extended walls this will lighten the top of the building.

This element already exists in stock facing bricks and is to be rendered to lighten

This new extension is to provide balance to the elevation

Chimney to be extended to finish above the extended roof



View from South West



View from above and opposite showing symmetry



Planning Policy

Local Planning Policies and Government Advice.

The scheme is in accordance with local planning policies set out in Camden's Local Development Framework (LDF) which replaced their Unitary Development Plan (UDP) in November 2010 and with Camden's core strategy which sets out the vision for the borough and is a central part of their LDF and with the National Planning Policy Framework document published by central Government in March 2012. The LDF is a collection of planning documents that (in conjunction with national planning policy, contained in the NPPF, and the Mayor's London Plan, sets out the strategy for managing growth and development in the borough where new homes, extensions to homes, jobs and infrastructure will be located. The application site is also covered by the Fitzrovia Area Action Plan which coordinates development proposals across a number of significant sites in the area and is within the Charlotte Street Conservation Area , mentioned above.

At the heart of the NPPF, which replaced a host of previous Planning Policy Statements, is a presumption in favour of sustainable development. The application in this case is sustainable, i.e. it will ensure that better living for ourselves don't mean worse lives for future generations, and is in accordance with the development plan and as such should be approved unless material considerations indicate otherwise.

Sustainable Development

Amenity

The proposals form important additional accommodation for the building owner occupier. It also creates a more intimate external space at fourth floor level



Sustainability

The site is considered to be highly sustainable. With both Underground and bus services readily available in Oxford Street . The construction of the extensions in well insulated timber framed constructions will significantly improve the thermal performance of both of these apartments.

Conclusion

Parking

No parking is to be provided for this development proposal.

Refuse

Provision has been made within the proposals for storage of refuse in wheeled bins and recyclable materials in accordance with the Council's requirements, located at the Ground floor level.



Elevation as proposed to Windmill Street

Conclusion

This proposal has been carefully considered to balance the needs of the owner occupiers for improved facilities, but at the same time respecting the need to maintain a balanced elevation.

We believe this proposal is successful in both but also feel the benefits of reducing the heavy appearance of brickwork at the top of the building and the loss of the existing metal clad balustrading are positive planning gains.

We ask that due consideration be given to this very modest scheme.



Elevation as Existing to Windmill Street