

BR - Building Regulations

REFER TO PLANNING DRAWINGS FOR DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

REFER TO PLANNING DRAWINGS FOR PROPOSED MATERIALS AND ANY APPLICABLE PLANNING CONDITIONS

CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS

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Print out to actual scale.

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NOTES

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	DS 01.04.2020	DS 15.04.2020
V2	PRELIMINARY ISSUE	DS 01.05.2020	ST 04.05.2020
V3	BUILDING REGULATIONS	DS 06.05.2020	ST 06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

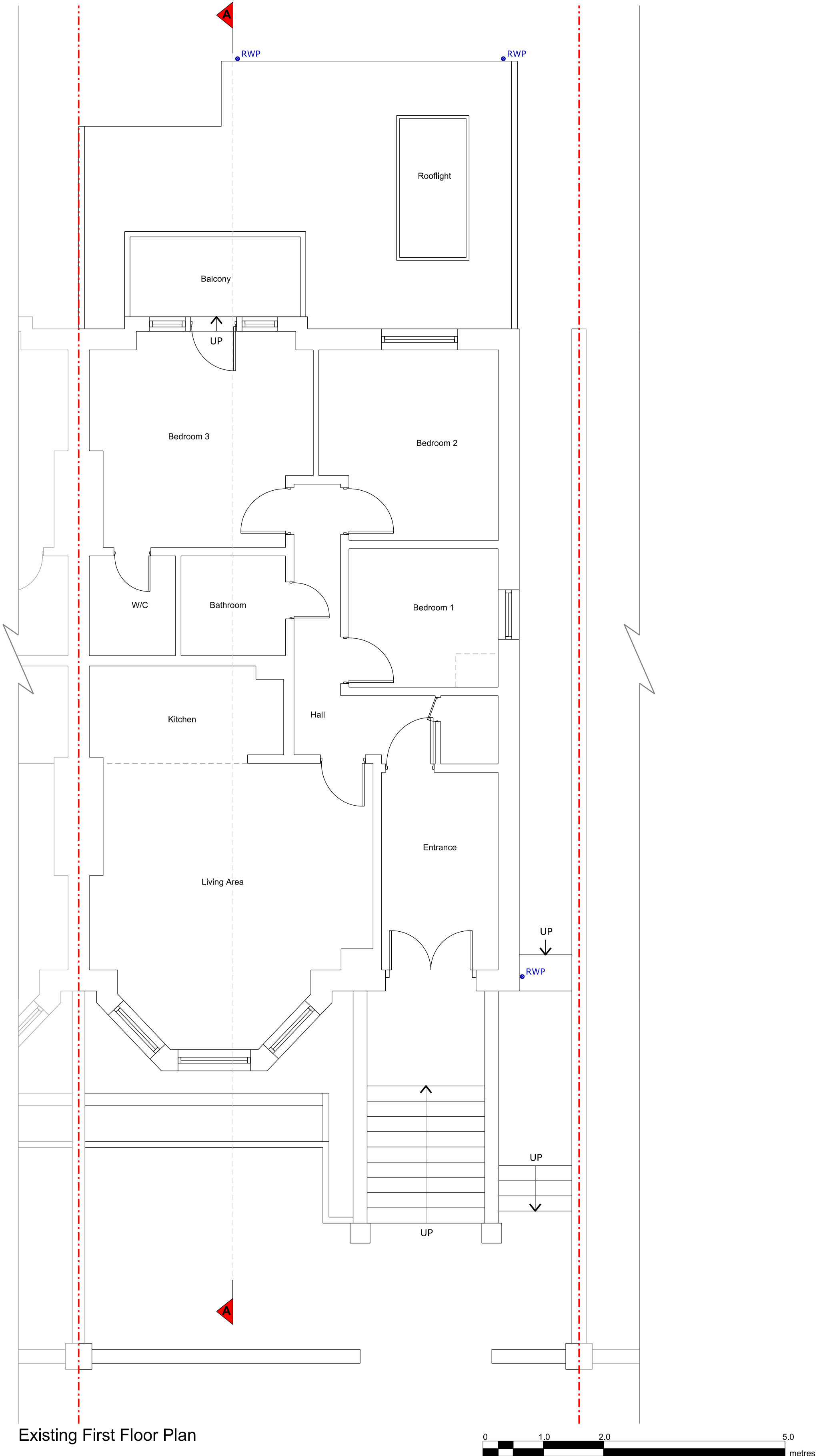
Drawing Title
Existing First Floor Plan

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawing No.
BR-1844-01

Rev
BR_V3



BR - Building Regulations

REFER TO PLANNING DRAWINGS FOR DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

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Refer to Structural Engineer design, details, specifications and calculations.

Contractors to verify all levels and setting out and to determine all dimensions and relationships on-site before fabrication commences.

Any discrepancy or irregularity to be reported to RESI and Structural Engineer immediately.

Contractors to be responsible for the design and supply of all temporary works (i.e. bracing, propping, shoring, tying, etc) and the security, stability, and safety of the building during works.

All foundations to S/E design and details. Foundation details are subject to site findings.

All concrete work to S/E design and details.

All steelworks to S/E design and details. Steelwork sub-contractor to be responsible for taking all necessary site measurements prior to fabrication to ensure the correct fit of the new works on-site. All structural steelwork to be dry fire cased to comply with the latest building regulations (refer to the specification sheet). All steelwork below ground to have minimum 50mm concrete casing. Where concrete encasement is required the steelwork is not to be painted.

All timbers to S/E design and details.

All loadbearing masonry to S/E design and details.

All structural elements are shown indicatively, refer to S/E details for setting out.

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NOTES

Contractor to ensure no damages are caused to existing waterproofing layer of existing roof below

Terrace decking to be installed as per manufacturer's details and specifications. A gap to be kept between decking boards to allow surface water to drain on the flat roof below

Parapet to be guarded at a height of 1800mm, fitted with toughened glass, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to order and installation

Existing parapet approx. 180mm

New 1800mm high privacy screening according to the approved planning application. Screen and balustrade design to be confirmed by client and in accordance to planning approval

New lead flashing at abutment of roof and parapet, installed under the new decking. Contractor to use type, installation guidance and sealant to installation recommendations from supplier

Existing lead flashing to be checked for defects and upgrade or replace as needed. If replaced contractor to use type, installation guidance and sealant to installation recommendations from supplier

New step to have maximum rise of 220mm, maximum going of 300mm

Existing door to be raised and above glazed panel altered due to insertion of new terrace structure. If replaced refer to specification sheet for information regarding minimum u-value, glass and trickle ventilation. All sizes to be cross-checked on-site by the contractor prior to order. Opening to remain as existing

Contractor to make good all areas affected by works

Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to installation

A min 25mm gap to be kept between the new terrace structure and existing GRP flat roof for water drainage

Door flashing to be installed to avoid water ingress to property

DRAINAGE KEYS

- RWP Rainwater downpipe
- WG Water gully
- ACO drain
- SVP + AAV Soil vent pipe with air admittance valve
- SVP Soil vent pipe
- SVP Boxed soil vent pipe
- Flat roof fall direction

STRUCTURE KEYS

- Timber joists direction
- Padstone / Bearing plate / Engineering brick
- DJ/DR Double joists / Double rafters
- TJ/TR Triple joists / Triple rafters
- Timber post
- Beams
- Foundations
- Proposed internal load bearing stud walls

FIRE STRATEGY KEYS

- FD30 doors - finish to be confirmed by client
- Proposed walls - 30min fire rated
- Existing walls to be investigated if 30min fire rated and upgraded if necessary

GENERAL KEYS

- Code 4 lead flashing
- Boundary line
- Existing walls
- Existing removed
- Proposed external walls
- Proposed internal stud walls
- Area in abeyance subject to Party Wall or other consent
- Rooflight

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	KK DS	01.04.2020 01.04.2020
V2	PRELIMINARY ISSUE	DS ST	01.05.2020 04.05.2020
V3	BUILDING REGULATIONS	DS ST	06.05.2020 06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

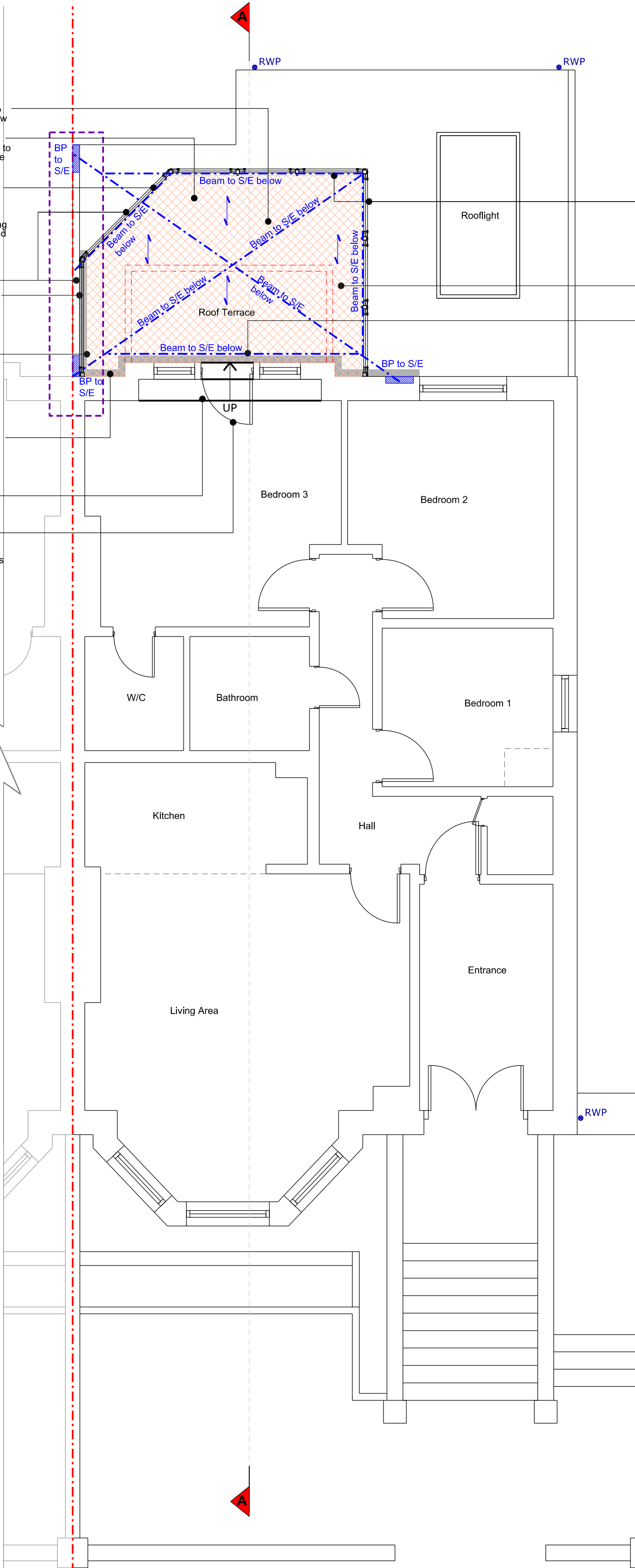
Drawing Title
Proposed First Floor Plan

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawing No.
BR-1844-02

Rev
BR_V3



Proposed First Floor Plan



BR - Building Regulations

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NOTES

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	DS 01.04.2020	DS 01.04.2020
V2	PRELIMINARY ISSUE	DS 01.05.2020	ST 04.05.2020
V3	BUILDING REGULATIONS	DS 06.05.2020	ST 06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

Drawing Title
Existing Roof Plan

Scale
1/50 @ A2, 1/100 @ A4

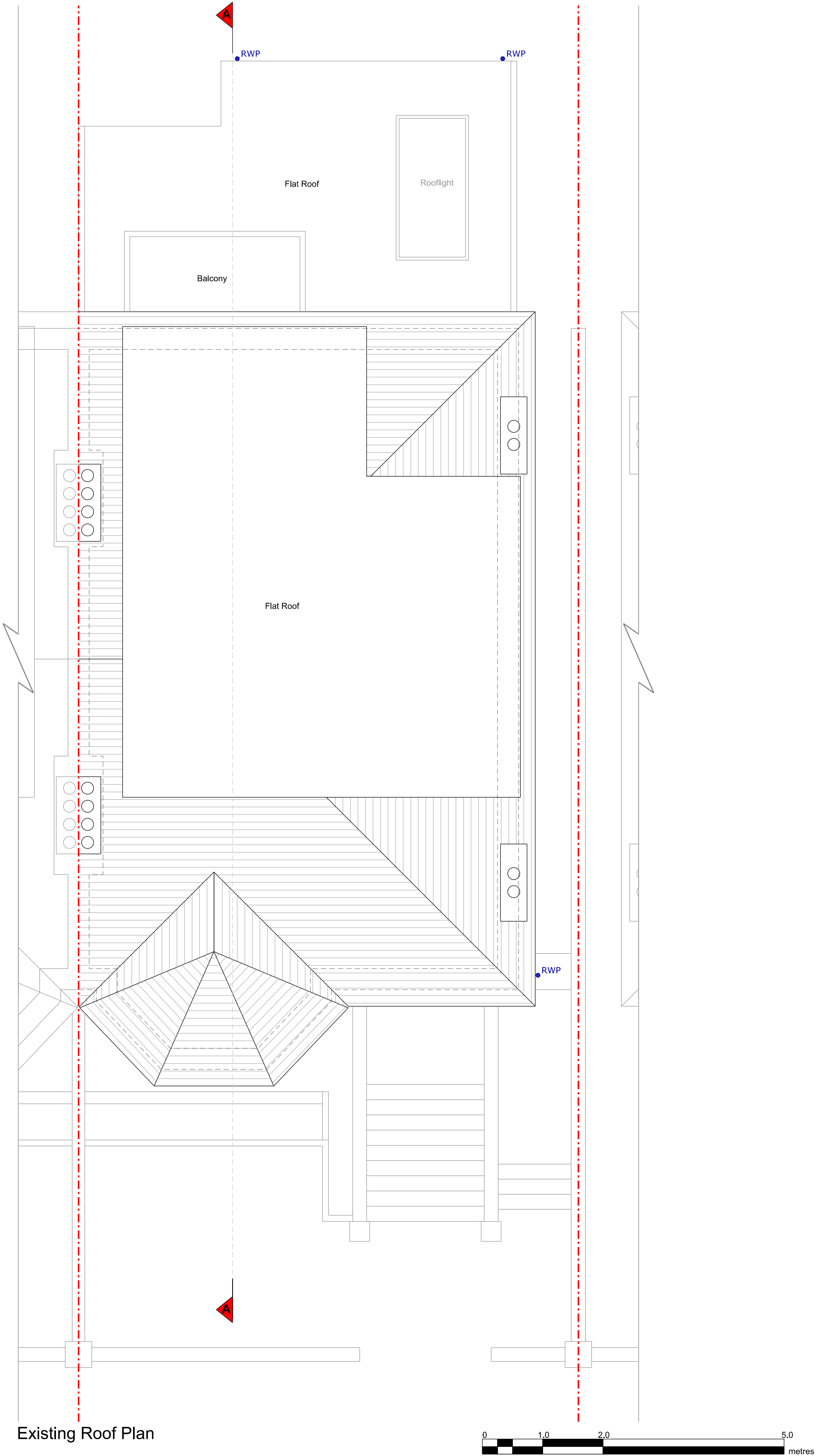
Date
April 2020

Drawing No.
BR-1844-03

Drawn
KK

Checked
ST

Rev
BR_V3



BR - Building Regulations

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All foundations to S/E design and details. Foundation details are subject to site findings.

All concrete work to S/E design and details.

All steelworks to S/E design and details. Steelwork sub-contractor to be responsible for taking all necessary site measurements prior to fabrication to ensure the correct fit of the new works on-site. All structural steelwork to be dry fire cased to comply with the latest building regulations (refer to the specification sheet). All steelwork below ground to have minimum 50mm concrete casing. Where concrete encasement is required the steelwork is not to be painted.

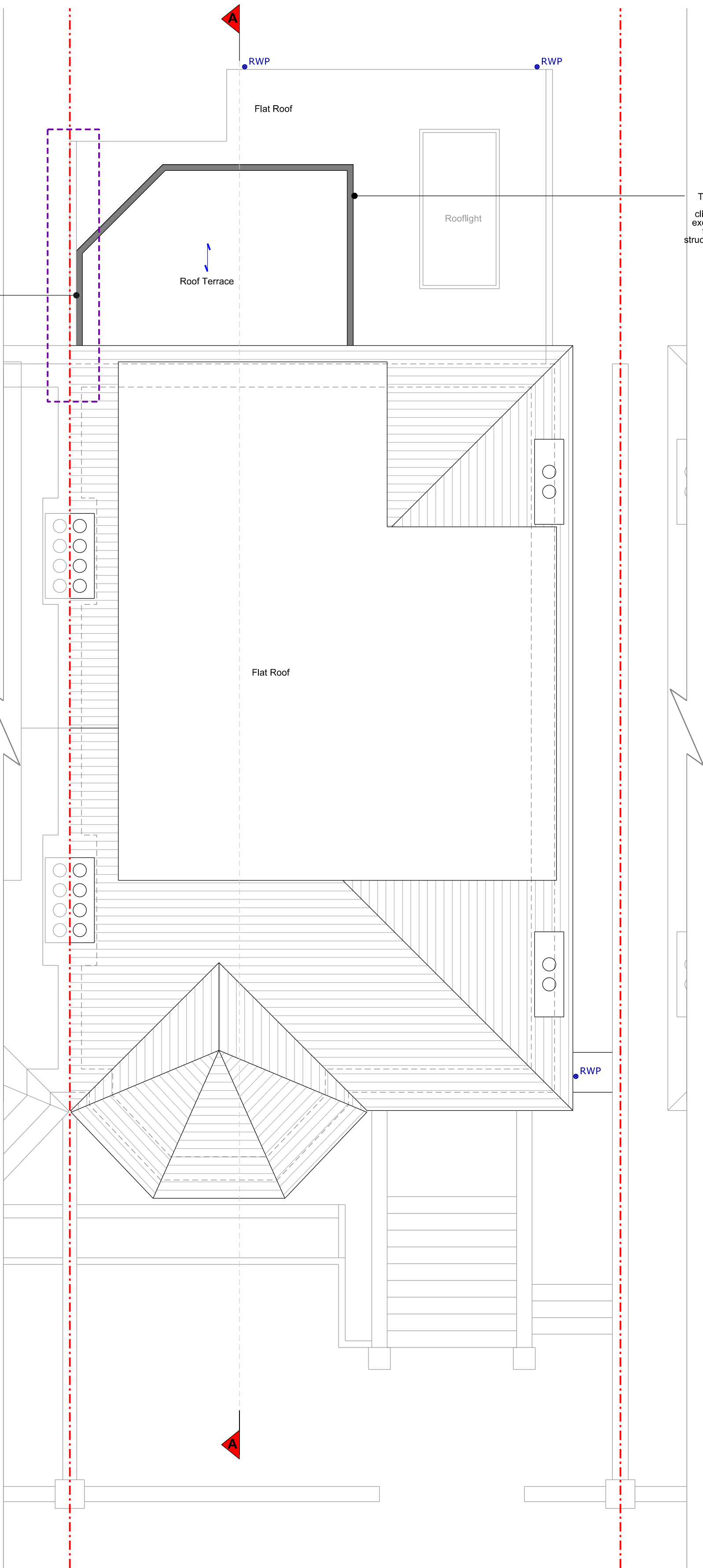
All timbers to S/E design and details.

All loadbearing masonry to S/E design and details.

All structural elements are shown indicatively, refer to S/E details for setting out.

Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to installation

New 1800mm high privacy screening according to the approved planning application.



Proposed Roof Plan

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NOTES

DRAINAGE KEYS

- RWP Rainwater downpipe
- WG Water gully
- ACO drain
- SVP + AAV Soil vent pipe with air admittance valve
- SVP Soil vent pipe
- SVP Boxed soil vent pipe
- Flat roof fall direction

STRUCTURE KEYS

- Timber joists direction
- Padstone / Bearing plate / Engineering brick
- DJ/DR Double joists / Double rafters
- TJ/TR Triple joists / Triple rafters
- Timber post
- Beams
- Foundations
- Proposed internal load bearing stud walls

FIRE STRATEGY KEYS

- FD30 doors - finish to be confirmed by client
- Proposed walls - 30min fire rated
- Existing walls to be investigated if 30min fire rated and upgraded if necessary

GENERAL KEYS

- Code 4 lead flashing
- Boundary line
- Existing walls
- Existing removed
- Proposed external walls
- Proposed internal stud walls
- Area in abeyance subject to Party Wall or other consent
- Rooflight

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	KK DS	01.04.2020
V2	PRELIMINARY ISSUE	DS ST	01.05.2020
V3	BUILDING REGULATIONS	DS ST	06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

Drawing Title
Proposed Roof Plan

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawing No.
BR-1844-04

Drawn
KK

Checked
ST

Rev
BR_V3

BR - Building Regulations

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Existing Rear Elevation

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NOTES

- ### DRAINAGE KEYS
- RWP Rainwater downpipe
 - WG Water gully
 - ACO drain
 - SVP + AAV Soil vent pipe with air admittance valve
 - SVP Soil vent pipe
 - SVP Boxed soil vent pipe
 - Flat roof fall direction

- ### GENERAL KEYS
- Proposed Floor/Ceiling Levels
 - Existing Floor/Ceiling Levels
 - Boundary Line
 - FFL Finish Floor Level
 - GL Ground Level
 - Code 4 lead flashing
 - Proposed air bricks with telescopic vents
 - Proposed Walls and Roofs
 - Existing Walls
 - Existing Removed
 - Area in abeyance subject to Party Wall or other consent
- FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	KK DS 01.04.2020	DS 01.04.2020
V2	PRELIMINARY ISSUE	DS ST 01.05.2020	ST 04.05.2020
V3	BUILDING REGULATIONS	DS ST 06.05.2020	ST 06.05.2020

Job Title

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status

Building Regulations Package

Client

Lars Popken

Drawing Title

Existing Rear Elevation

Scale

1/50 @ A2, 1/100 @ A4

Date

April 2020

Drawn

KK

Checked

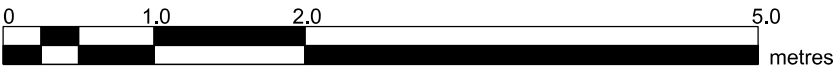
ST

Drawing No.

BR-1844-05

Rev

BR_V3



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NOTES

STRUCTURE KEYS

- Structural Elements
- Proposed Foundations

GENERAL KEYS

- Proposed Floor/Ceiling Levels
- Existing Floor/Ceiling Levels
- Boundary Line
- FFL
- GL
- Code 4 lead flashing
- Proposed air bricks with telescopic vents
- Proposed Walls and Roofs
- Existing Walls
- Existing Removed
- Area in abeyance subject to Party Wall or other consent

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	KK	DS
V2	PRELIMINARY ISSUE	DS	ST
V3	BUILDING REGULATIONS	DS	ST

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

Drawing Title
Proposed Rear Elevation

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawn
KK

Checked
ST

Drawing No.
BR-1844-06

Rev
BR_V3



Proposed Rear Elevation

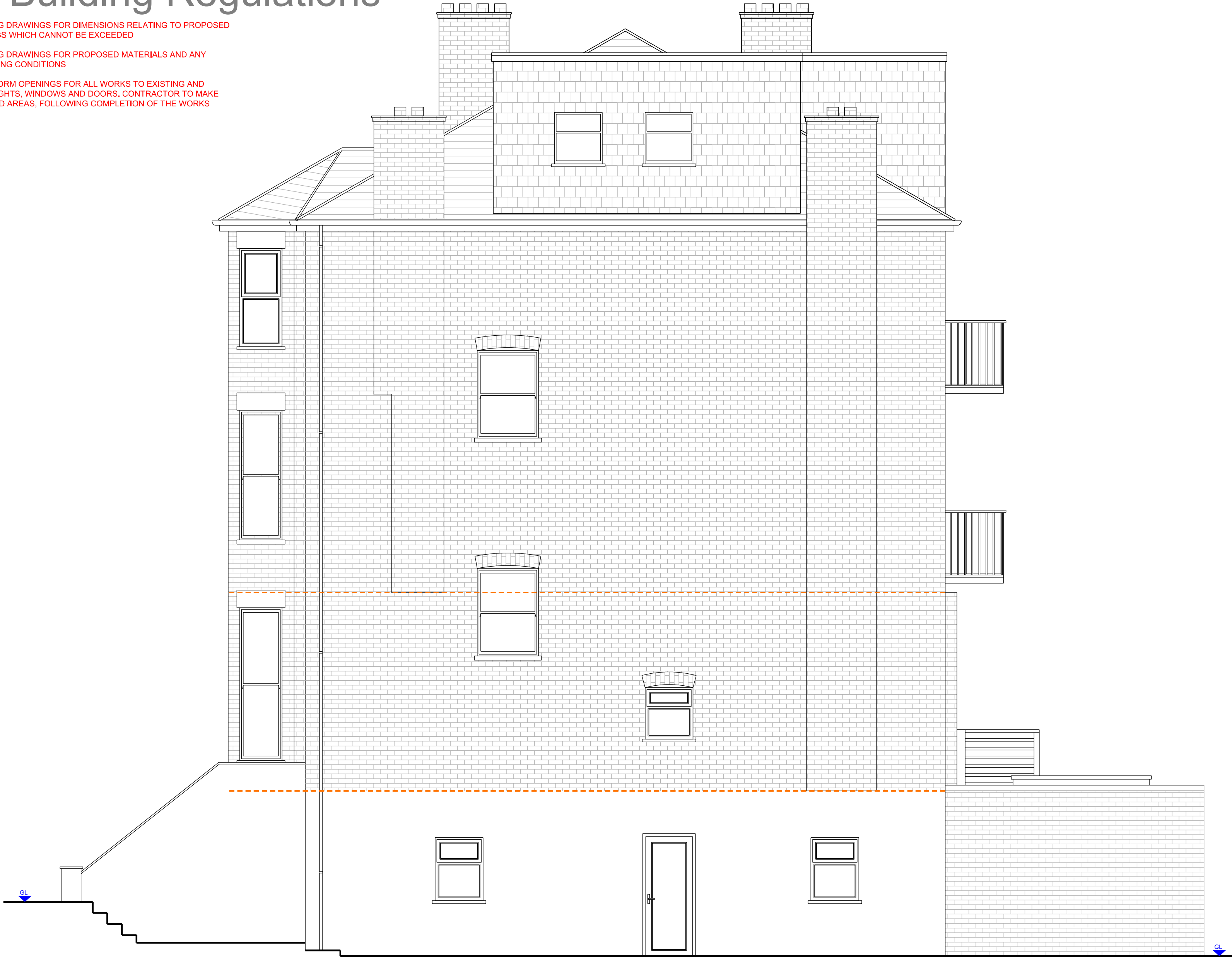


BR - Building Regulations

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Existing Right Side Elevation



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NOTES

DRAINAGE KEYS

- RWP Rainwater downpipe
- WG Water gully
- ACO drain
- SVP + AAV Soil vent pipe with air admittance valve
- SVP Soil vent pipe
- SVP Boxed soil vent pipe
- Flat roof fall direction

GENERAL KEYS

- Proposed Floor/Ceiling Levels
- Existing Floor/Ceiling Levels
- Boundary Line
- FFL Finish Floor Level
- GL Ground Level
- Code 4 lead flashing
- Proposed air bricks with telescopic vents
- Proposed Walls and Roofs
- Existing Walls
- Existing Removed
- Area in abeyance subject to Party Wall or other consent

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	DR	DR
V2	PRELIMINARY ISSUE	DR	ST
V3	BUILDING REGULATIONS	DR	ST

Job Title

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status

Building Regulations Package

Client

Lars Popken

Drawing Title

Existing Right Side Elevation

Scale	1/50 @ A2, 1/100 @ A4	Drawn	KK
Date	April 2020	Checked	ST
Drawing No.	BR-1844-07	Rev	BR_V3

CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS



All structural elements are shown
indicatively, refer to S/E details for setting
out

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NOTES

FOR FURTHER INFORMATION ON ANY ITEM
ABOVE, REFER TO SPECIFICATION
SHEETS

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	KK 01.04.2020	DS 01.04.2020
V2	PRELIMINARY ISSUE	DS 01.05.2020	ST 04.05.2020
V3	BUILDING REGULATIONS	DS 06.05.2020	ST 06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status

Building Regulations Package

Client
Lars Popken

Drawing Title
Proposed Right Side Elevation

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawing No.
BR-1844-08

Drawn
KK

Checked	ST
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Rev
BR_V3

CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS



R_V3

BR - Building Regulations

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NOTES

STRUCTURE KEYS

Structural Elements

Proposed Foundations

GENERAL KEYS

Proposed Floor/Ceiling Levels

Existing Floor/Ceiling Levels

Boundary Line

FFL Finish Floor Level

GL Ground Level

Code 4 lead flashing

Proposed air bricks with telescopic vents

Proposed Walls and Roofs

Existing Walls

Existing Removed

Area in abeyance subject to Party Wall or other consent

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS

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REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	DR	DR
V2	PRELIMINARY ISSUE	DR	ST
V3	BUILDING REGULATIONS	DR	ST

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Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

Drawing Title
Proposed Left Side Elevation

Scale
1/50 @ A2, 1/100 @ A4

Date
April 2020

Drawing No.
BR-1844-10

Drawn
KK

Checked
ST

Rev
BR_V3

Screen design to be confirmed by client and in accordance to planning approval

Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to order and installation

New 1800mm high privacy screening according to the approved planning application.

New lead flashing at abutment of roof and parapet. Contractor to use type, installation guidance and sealant to installation recommendations from supplier

Proposed Left Side Elevation

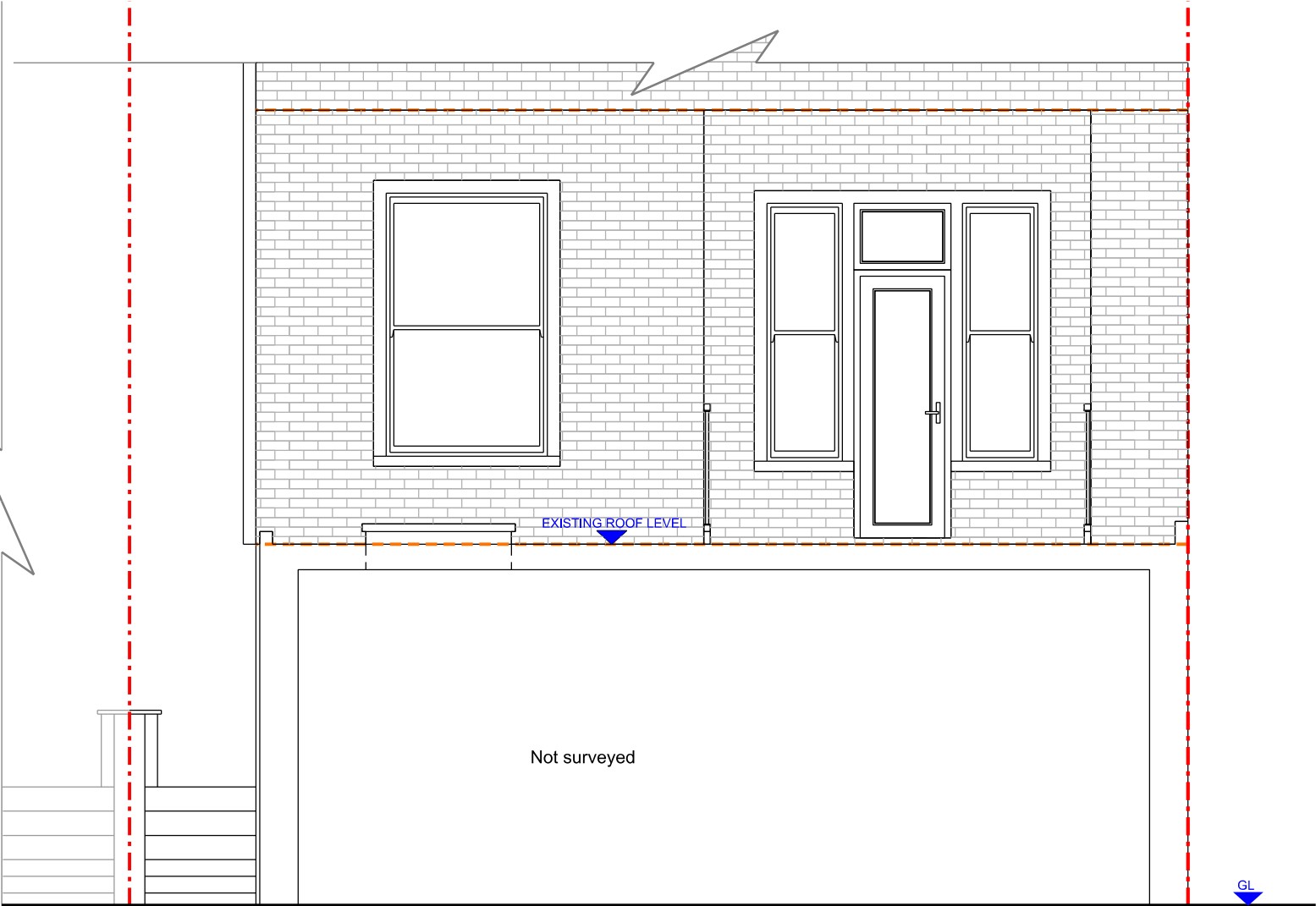


BR - Building Regulations

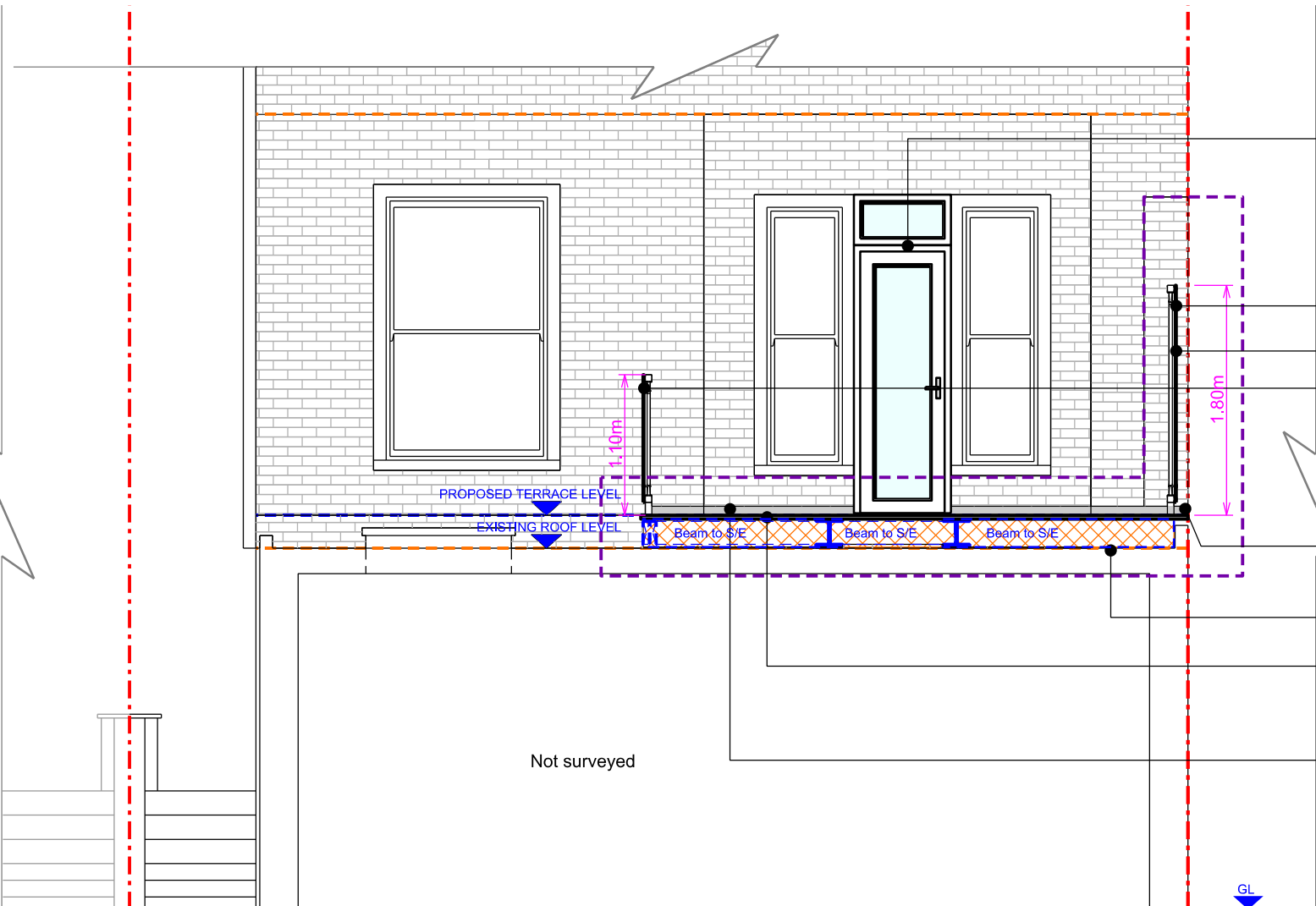
REFER TO PLANNING DRAWINGS FOR DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

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Existing Section



Proposed Section

- Existing door to be raised and above glazed panel altered due to insertion of new terrace structure. If replaced refer to specification sheet for information regarding minimum u-value, glass and trickle ventilation. All sizes to be cross-checked on-site by the contractor prior to order. Opening to remain as existing
- Contractor to make good all areas affected by works
- New 1800mm high privacy screening according to the approved planning application.
- Screen and balustrade design to be confirmed by client
- Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to order and installation
- New lead flashing at abutment of roof and parapet, installed under the new decking. Contractor to use type, installation guidance and sealant to installation recommendations from supplier
- A min 25mm gap to be kept between the new terrace structure and existing GRP flat roof for water drainage
- Terrace decking to be installed as per manufacturer's details and specifications. A gap to be kept between decking boards to allow surface water to drain on the flat roof below
- Existing lead flashing to be checked for defects and upgrade or replace as needed. If replaced, contractor to use type, installation guidance and sealant to installation recommendations from supplier

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Print out to actual scale.

Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture and construction.

Any discrepancies to be reported to RESI immediately.

NOTES

DRAINAGE KEYS	
	Rainwater downpipe
	Water gully
	ACO drain
	Soil vent pipe with air admittance valve
	Soil vent pipe
	Boxed soil vent pipe
	Flat roof fall direction

GENERAL KEYS	
	Proposed Floor/Ceiling Levels
	Existing Floor/Ceiling Levels
	Boundary Line
	Finish Floor Level
	Ground Level
	Code 4 lead flashing
	Proposed air bricks with telescopic vents
	Proposed Walls and Roofs
	Existing Walls
	Existing Removed
	Area in abeyance subject to Party Wall or other consent
FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION SHEETS	

REV	DESCRIPTION	DRN	CHK
V1	PRELIMINARY ISSUE	01.04.2020	01.04.2020
V2	PRELIMINARY ISSUE	01.05.2020	01.05.2020
V3	BUILDING REGULATIONS	06.05.2020	06.05.2020

Job Title
Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Drawing Status
Building Regulations Package

Client
Lars Popken

Drawing Title
Existing and Proposed Section

Scale 1/50 @ A2, 1/100 @ A4	Drawn KK
Date April 2020	Checked ST
Drawing No. BR-1844-11	Rev BR_V3



