

BR - Building Regulations

REFER TO PLANNING DRAWINGS FOR DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

REFER TO PLANNING DRAWINGS FOR PROPOSED MATERIALS AND ANY APPLICABLE PLANNING CONDITIONS

CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS



Existing Rear Elevation

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Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

V3 BUILDING REGULATIONS

REV DESCRIPTION DRN CHK

Building Regulations Package

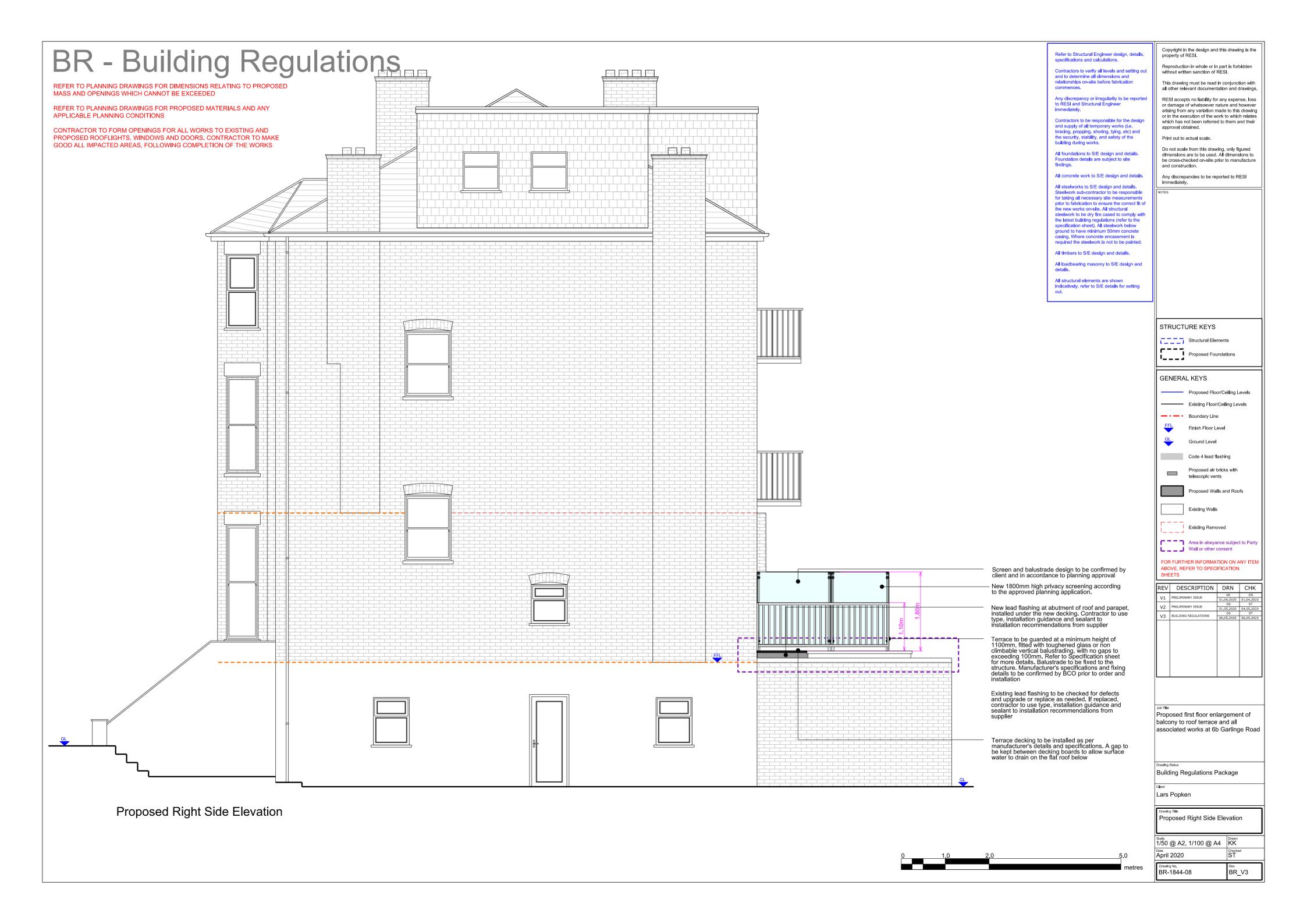
Client
Lars Popken

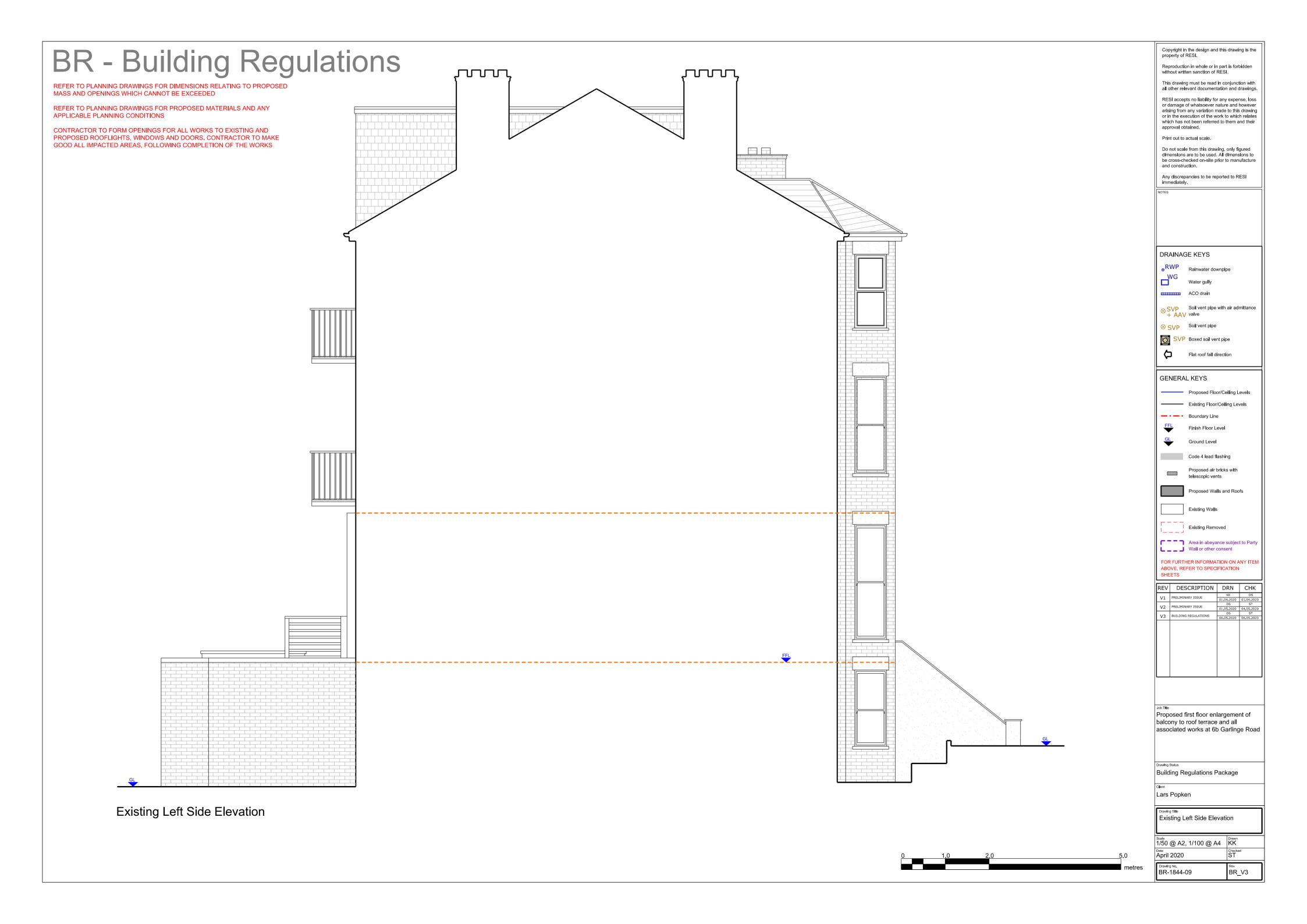
Drawing Title
Existing Rear Elevation

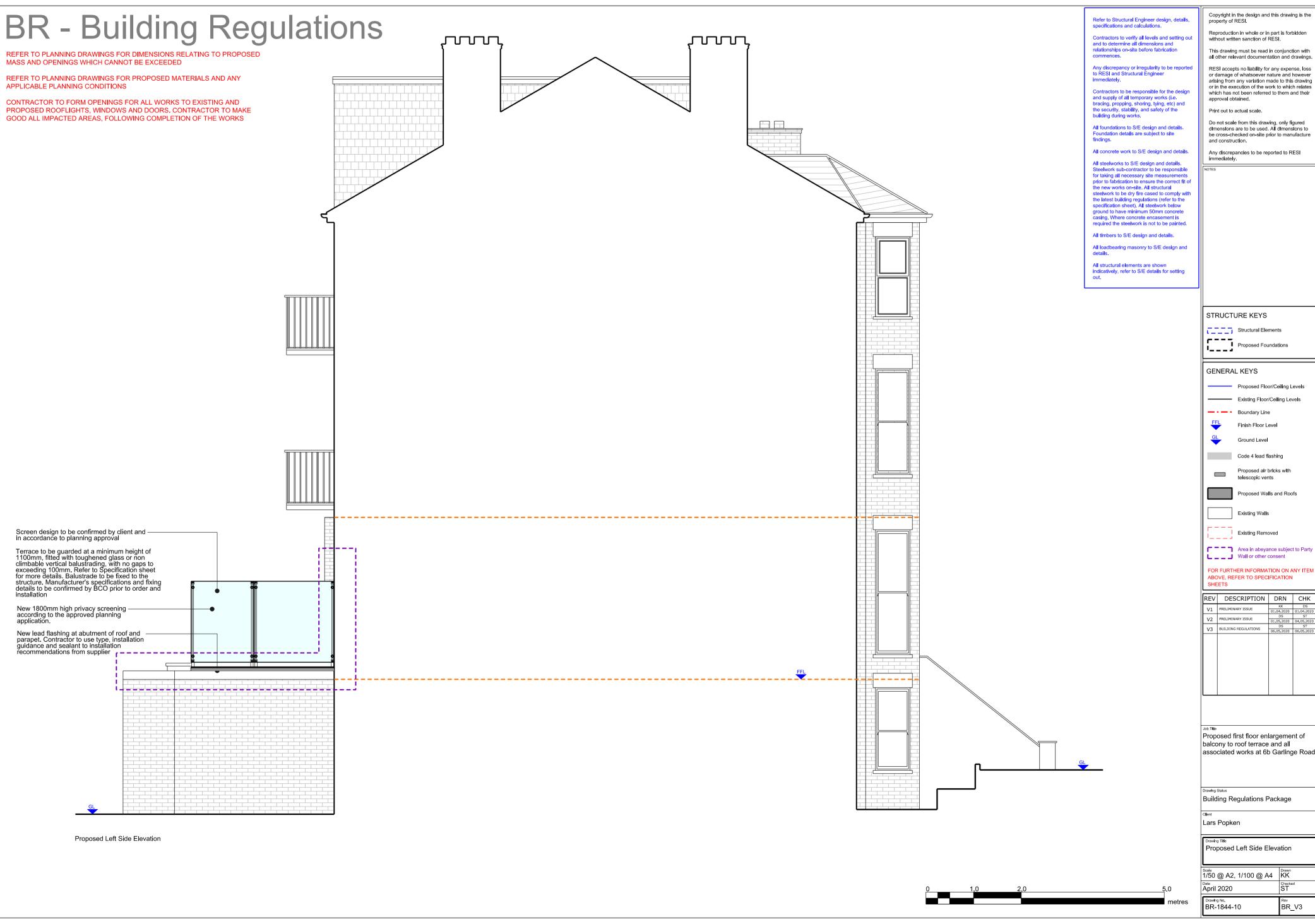


Copyright in the design and this drawing is the property of RESI. BR - Building Regulations Refer to Structural Engineer design, details specifications and calculations. Contractors to verify all levels and setting out and to determine all dimensions and relationships on-site before fabrication without written sanction of RESI. This drawing must be read in conjunction with REFER TO PLANNING DRAWINGS FOR DIMENSIONS RELATING TO PROPOSED MASS AND OPENINGS WHICH CANNOT all other relevant documentation and drawings. Any discrepancy or irregularity to be reported to RESI and Structural Engineer or damage of whatsoever nature and however arising from any variation made to this drawing REFER TO PLANNING DRAWINGS FOR PROPOSED MATERIALS AND ANY APPLICABLE PLANNING CONDITIONS or in the execution of the work to which relates Contractors to be responsible for the design which has not been referred to them and their approval obtained. CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND and supply of all temporary works (i.e. bracing, propping, shoring, tying, etc) and the security, stability, and safety of the DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS building during works. Do not scale from this drawing, only figured dimensions are to be used. All dimensions to be cross-checked on-site prior to manufacture All foundations to S/E design and details. and construction. Any discrepancies to be reported to RESI immediately. All concrete work to S/E design and details. All steelworks to S/E design and details. Steelwork sub-contractor to be responsible for taking all necessary site measurements prior to fabrication to ensure the correct fit of the new works on-site. All structural steelwork to be dry fire cased to comply with the latest building regulations (refer to the specification sheet). All steelwork below ground to have minimum 50mm concrete casing. Where concrete encasement is required the steelwork is not to be painted. All timbers to S/E design and details. All loadbearing masonry to S/E design and details. All structural elements are shown indicatively, refer to S/E details for setting STRUCTURE KEYS Structural Elements Proposed Foundations **GENERAL KEYS** Proposed Floor/Ceiling Levels Existing Floor/Ceiling Levels Existing door to be raised and above glazed panel altered due to insertion of new terrace structure. If replaced refer to specification sheet Finish Floor Level for information regarding minimum u-value, glass and trickle ventilation. All sizes to be cross-checked on-site by the contractor prior to order. Opening to remain as existing Ground Level Contractor to make good all areas affected by Code 4 lead flashing New 1800mm high privacy screening according to the approved planning application. Proposed air bricks with New lead flashing at abutment of roof and parapet, installed under the new decking. Contractor to use type, installation guidance and sealant to installation recommendations from supplier Proposed Walls and Roofs Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to order and installation Existing Removed Area in abeyance subject to Party FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION Terrace decking to be installed as per manufacturer's details and specifications. A gap to be kept between decking boards to allow surface water to drain on the flat roof below REV DESCRIPTION DRN CHK Existing lead flashing to be checked for defects and upgrade or replace as needed. If replaced, contractor to use type, installation guidance and sealant to installation recommendations from V3 BUILDING REGULATIONS supplier **Proposed Rear Elevation** Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road Building Regulations Package Lars Popken Proposed Rear Elevation Scale 1/50 @ A2, 1/100 @ A4 KK April 2020 BR-1844-06 BR_V3









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Proposed Floor/Ceiling Levels

Proposed alr bricks with

FOR FURTHER INFORMATION ON ANY ITEM

ABOVE, REFER TO SPECIFICATION

REV	DESCRIPTION	DRN	CHK
	PRELIMINARY ISSUE	KK	DS
V1	PRELIMINARY ISSUE	01.04.2020	01.04.2020
1/2	PRELIMINARY ISSUE	DS	ST
V2	PRELIMINARY ISSUE	01.05.2020	04.05.2020
	BUILDING REGULATIONS	DS	ST
V3		06.05.2020	06.05.2020

balcony to roof terrace and all associated works at 6b Garlinge Road

Proposed Left Side Elevation

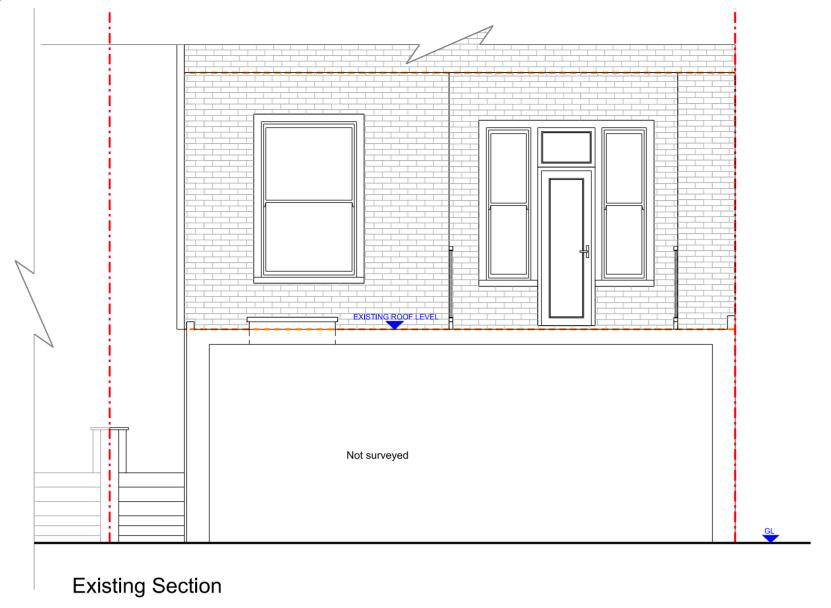
	1/50 @ A2, 1/100 @ A4	KK
	April 2020	ST Checked
s	Drawling No. BR-1844-10	BR_V3

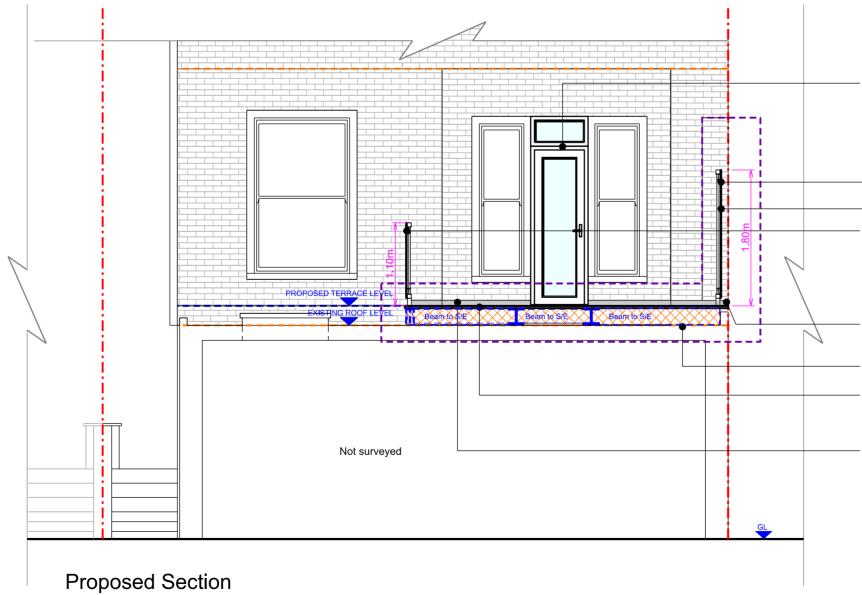
BR - Building Regulations

MASS AND OPENINGS WHICH CANNOT BE EXCEEDED

REFER TO PLANNING DRAWINGS FOR PROPOSED MATERIALS AND ANY APPLICABLE PLANNING CONDITIONS

CONTRACTOR TO FORM OPENINGS FOR ALL WORKS TO EXISTING AND PROPOSED ROOFLIGHTS, WINDOWS AND DOORS. CONTRACTOR TO MAKE GOOD ALL IMPACTED AREAS, FOLLOWING COMPLETION OF THE WORKS





Existing door to be raised and above glazed panel altered due to insertion of new terrace structure. If replaced refer to specification sheet for information regarding minimum u-value, glass and trickle ventilation. All sizes to be cross-checked on-site by the contractor prior to order. Opening to remain as

Contractor to make good all areas affected by

New 1800mm high privacy screening according to the approved planning application.

- Screen and balustrade design to be confirmed by

Terrace to be guarded at a minimum height of 1100mm, fitted with toughened glass or non climbable vertical balustrading, with no gaps to exceeding 100mm. Refer to Specification sheet for more details. Balustrade to be fixed to the structure. Manufacturer's specifications and fixing details to be confirmed by BCO prior to order and installation

New lead flashing at abutment of roof and parapet, installed under the new decking. Contractor to use type, installation guidance and sealant to installation recommendations from supplier A min 25mm gap to be kept between the new terrace structure and existing GRP flat roof for water drainage

Terrace decking to be installed as per manufacturer's details and specifications. A gap to be kept between decking boards to allow surface water to drain on the flat roof below

Existing lead flashing to be checked for defects and upgrade or replace as needed. If replaced, contractor to use type, installation guidance and sealant to installation recommendations from

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Any discrepancies to be reported to RESI immediately.

DRAINAGE KEYS

WG

Soil vent pipe with air admittance

 \otimes SVP

SVP Boxed soil vent pipe

Flat roof fall direction

GENERAL KEYS

 \Diamond

 Proposed Floor/Ceiling Levels Existing Floor/Ceiling Levels

Finish Floor Level

Ground Level

Code 4 lead flashing

Proposed alr bricks with telescopic vents

Existing Removed

Wall or other consent

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION

REV	DESCRIPTION	DRN	CHK
1/4	DDELIMINADY ICCUE	KK	DS
V1	PRELIMINARY ISSUE	01.04.2020	01.04.2020
V2	PRELIMINARY ISSUE	DS	ST
٧Z	PRELIMINARY ISSUE	01.05.2020	04.05.2020
V3	BUILDING REGULATIONS	DS	ST
V3	BUILDING REGULATIONS	06.05.2020	06.05.2020

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Building Regulations Package

Lars Popken

Existing and Proposed Section

	1/50 @ A2, 1/100 @ A4	KK
	April 2020	ST Checked
es	Drawing No. BR-1844-11	BR_V3

CDM REGULATIONS 2015:

The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrAll walls constructed using stainless steel vertical twist type retaining wall ties built in at 750mm ctrs horizontally, 450mm vertically and 225mm ctrs at reveals and corners in staggered rows. Wall ties to be suitable for cavity width and in accordance with BS 5628-6.1: 1996 and BS EN 845-1: 2003angements in place for managing and organising the project).

Domestic clients -

The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

(a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.

(b) Exceeds 500 person days.

PARTY WALL ACT:

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if the building work involves works on or to an existing Party Wall including:

- Support of beam
- Insertion of DPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding Underpinning
- Insertion of lead flashings
- Excavations within 3 meters of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 meters of an existing structure where the new foundations are within a 45 degree line of the adjoining

A Party wall agreement is to be in place prior to start of works on site.

MATERIALS AND WORKMANSHIP:

All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (Kite Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

EXISTING STRUCTURE:

Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

Supply and install new structural elements such as new beams, roof structure, floor structure, bearings, and padstones in accordance with the Structural Engineer's calculations and details.

LINTELS (if required):

AS PER S/E DESIGN AND DETAILS

STRAPPING OF FLOORS (if required):

Provide lateral restraint where joists run parallel to walls and install in accordance with the Structural Engineer's calculations and details.

LEAD WORK AND FLASHINGS:

All lead flashings, any valleys or soakers to be Code 5 lead and laid according to Lead Development Association. Flashings to be provided to all jambs and below window openings with welded upstands.

Joints to be lapped min 150mm and lead to be dressed 200mm under tiles, etc. All work to be undertaken in accordance with the Lead Development Association recommendations.

FIXED EXTERNAL LIGHTING (if required):

External light fittings to be fitted as calculated in the DER and in compliance with the Domestic Building Services Compliance Guide.

Light fitting to be either:

a. lamp capacity not greater than 100 lamp-watts per light fitting and provided with automatic movement detecting devices (PIR) and automatic daylight sensors ensuring lights shut off automatically when not required.

b. lamp efficacy greater than 45 lumens per circuit-watt; fitted with manual controls and automatic day light cut-off sensors so that lights switch off when daylight is sufficient.

ELECTRICAL WORKS (if required):

All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme. Upon completion of the works, please provide an 'Electrical' certificate for electrical works carried out to the property prior to (APPROVED INSPECTOR OR COUNCIL) issuing the final certificate. Please note that these works should be certified by a person registered with the NICEIC, ECA, JIB or similar approved body. All setting out of Electrical and Lighting to be confirmed with Client and Contractor

NEW AND REPLACEMENT WINDOWS

New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.

NEW AND REPLACEMENT DOORS

New and replacement doors to achieve a U-Value of 1.80W/m²K.

Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

SAFETY GLAZING

All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

EXTERNAL GUARDING

Stair flights, landings, ramps and edges of external floors to be guarded at a minimum height of 1100mm, measured from the floor/pitch line of the stairs (across the nosings) to the top of the handrail and be continuous throughout their length. fitted with non climbable vertical balustrading, with no gaps to exceeding 100mm (in which a 100mm diameter sphere cannot pass through) and all constructed to resist a horizontal force of 0.74kN/m. All open treads, gaps etc should not exceed 100mm. BS EN 1991-1-1 for minimum horizontal loadings and BS6180 for the design of protective barrier/infill

PROTECTION FROM FALLING, COLLISION AND IMPACT

Ensure that the new steps comply with the guidance contained within ADK. For example; the maximum rise should be 220mm and the minimum going 220mm (max pitch 420). The minimum headroom should be 2m, although this may be reduced to 1.9m/1.8m in certain circumstances and should be agreed on site.

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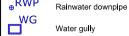
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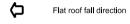
DRAINAGE KEYS



Soil vent pipe with air admittance

Soil vent pipe \otimes SVP





GENERAL KEYS Proposed Floor/Ceiling Levels

Boundary Line

Existing Floor/Ceiling Levels

Finish Floor Level

Ground Level

Code 4 lead flashing Proposed alr bricks with

telescopic vents

Proposed Walls and Roofs Existing Walls

Existing Removed

L _ _ J Wall or other consen

FOR FURTHER INFORMATION ON ANY ITEM ABOVE, REFER TO SPECIFICATION

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V1	PRELIMINARY ISSUE	KK	DS	
Λī	PRELIMINARY ISSUE	01.04.2020	01.04.2020	
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٧Z	PRELIMINARY ISSUE	01.05.2020	04.05.2020	
V3	BUILDING REGULATIONS	DS	ST	
٧3	BUILDING REGULATIONS	06.05.2020	06.05.2020	

Proposed first floor enlargement of balcony to roof terrace and all associated works at 6b Garlinge Road

Building Regulations Package

Lars Popken

Specification - 1 of 1

1/50 @ A2, 1/100 @ A4 KK Drawing No. BR-1844-12 BR_V3