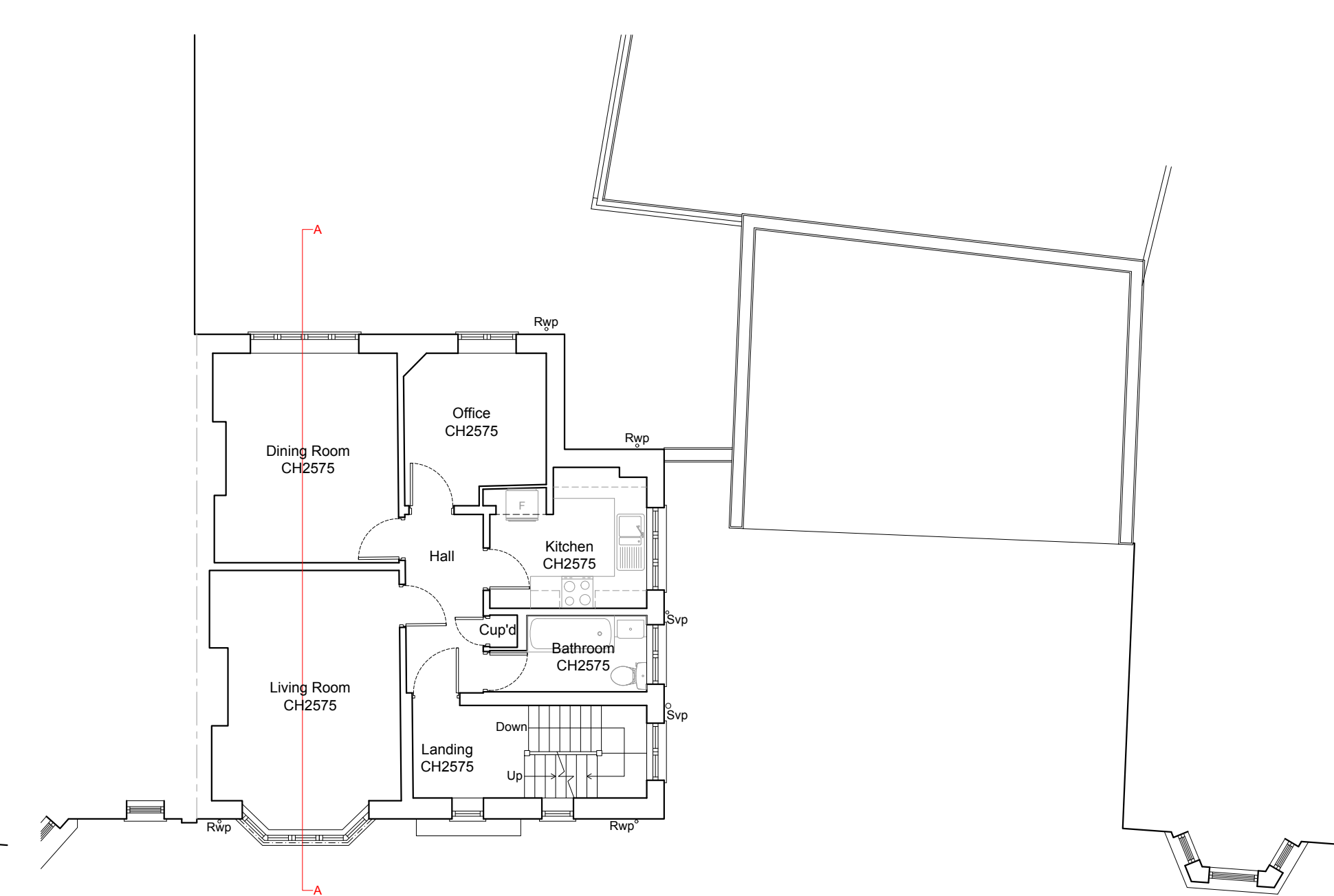
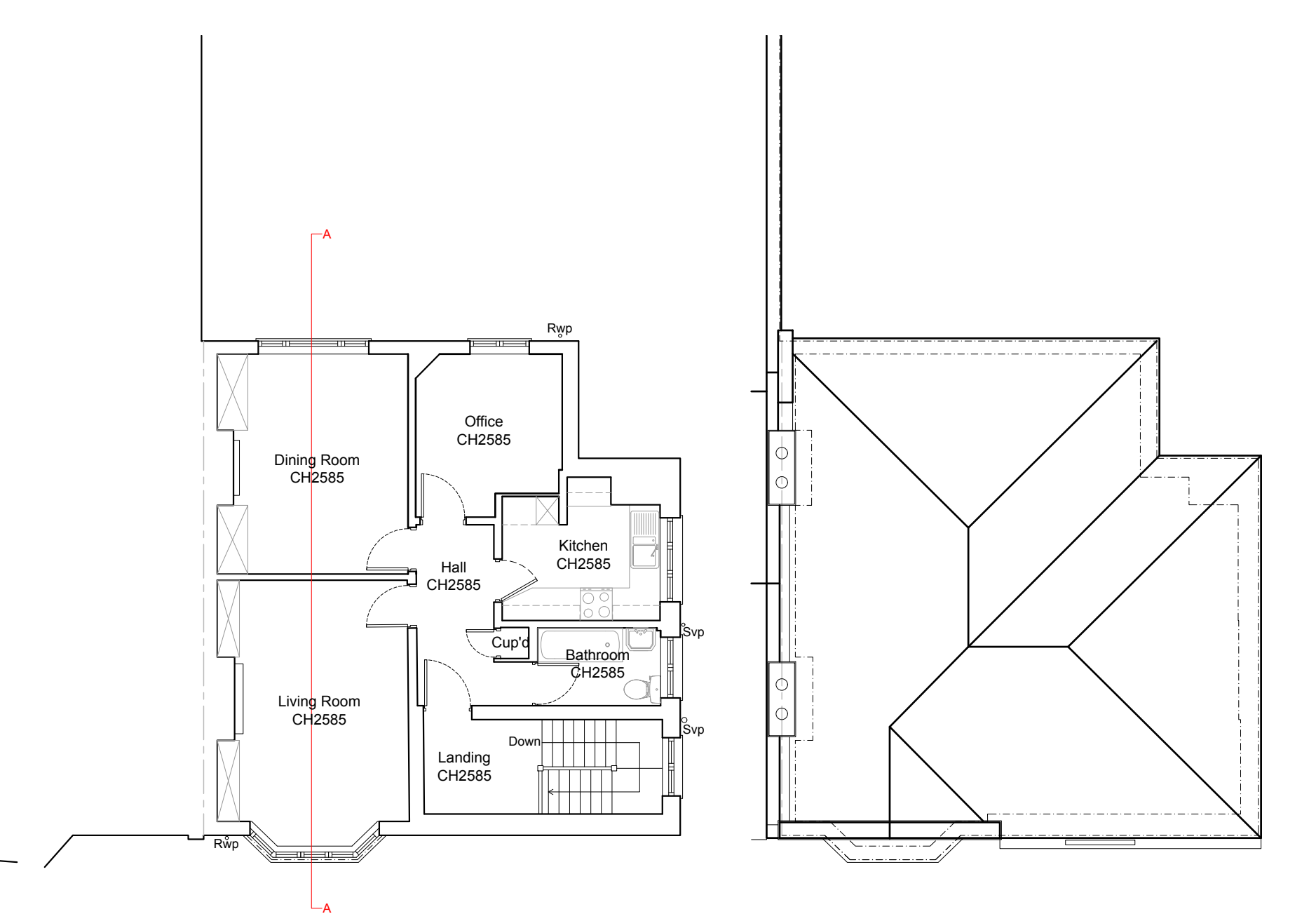


Ground Floor Plan  
As Existing 1:100



First Floor Plan  
As Existing 1:100



Second Floor Plan  
As Existing 1:100

NOTES:

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**CIAT**  
REGISTERED PRACTICE

All details are subject to full opening up of works on site

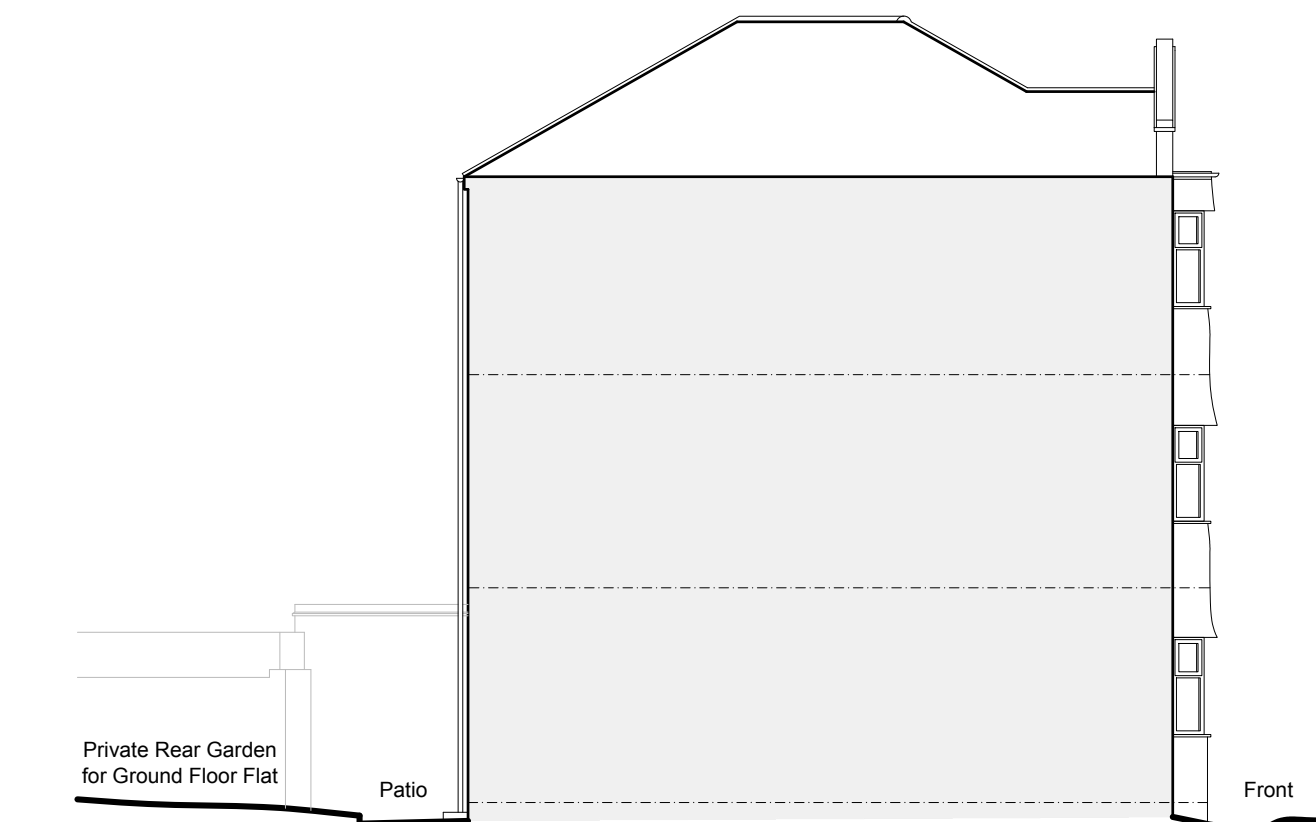
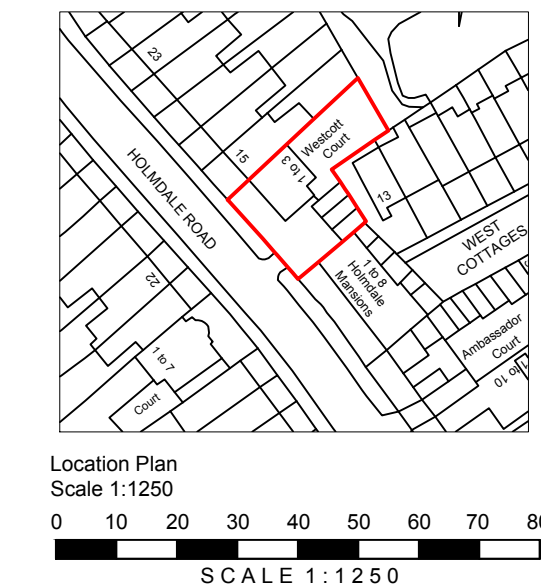
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Client and Contractor to be aware of Construction & Design Management (CDM) duties



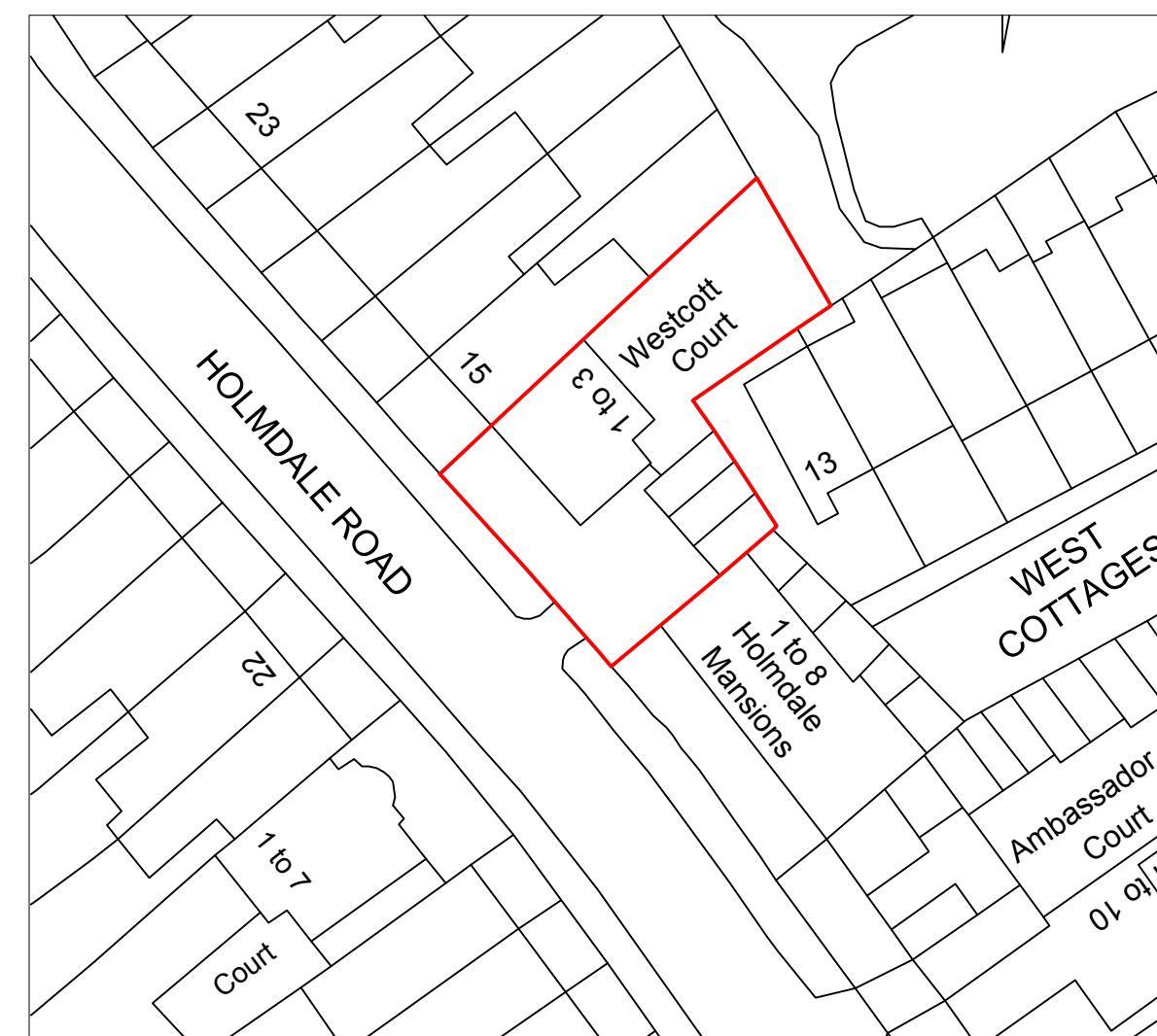
Side Elevation  
As Existing 1:100



Side Elevation  
As Existing 1:100

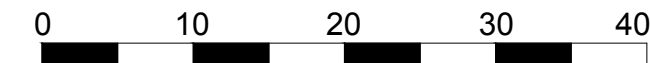


Rear Elevation  
As Existing 1:100



Existing Block Plan

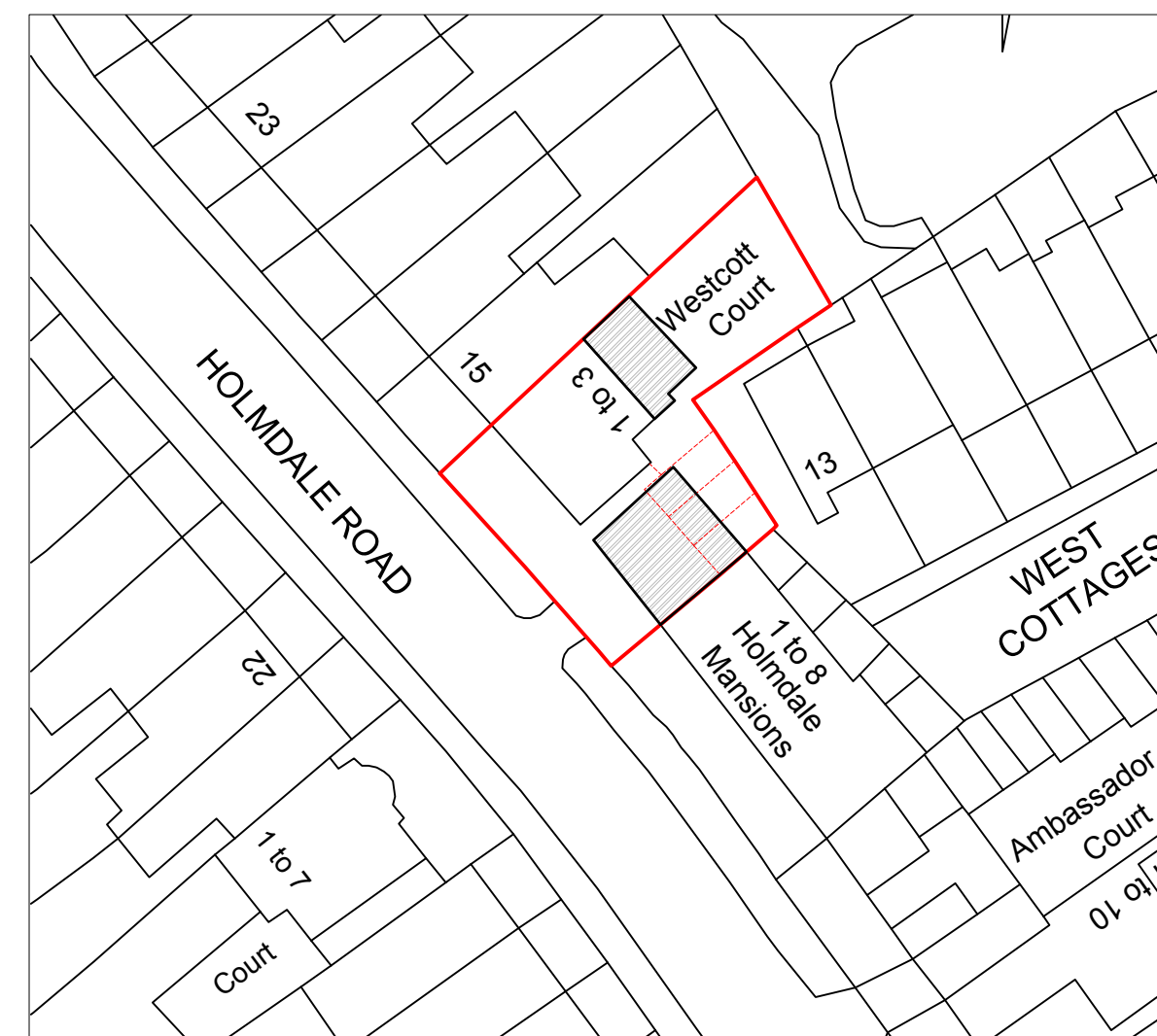
Scale 1:500



Section A-A  
As Existing 1:100

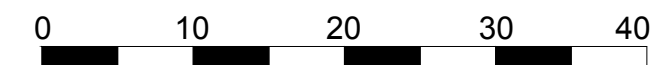


Front Elevation  
As Existing 1:100

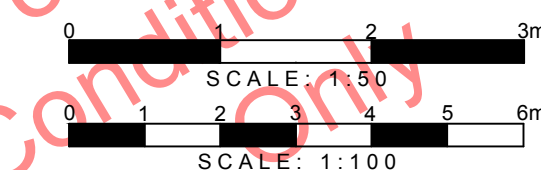


Proposed Block Plan

Scale 1:500



For Planning  
Conditions Use  
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SITE  
Westcott Court, 13 Holmdale Road, London, NW6 1BH

DRAWING TITLE  
Existing Drawings and Block Plans

DRAWINGS STATUS  
Planning Conditions

SCALE DATE DRAWN CHECKED  
As noted @ A1 Mar 2025 C.W. P.C.E.B.

DRAWING NO. 2327FS.C SHI REVISION A



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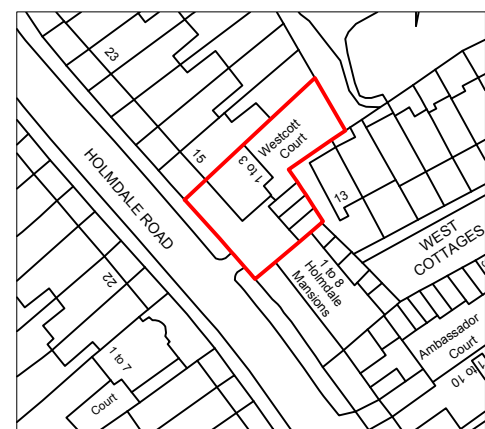
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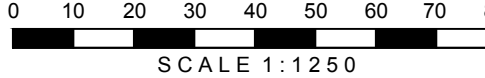
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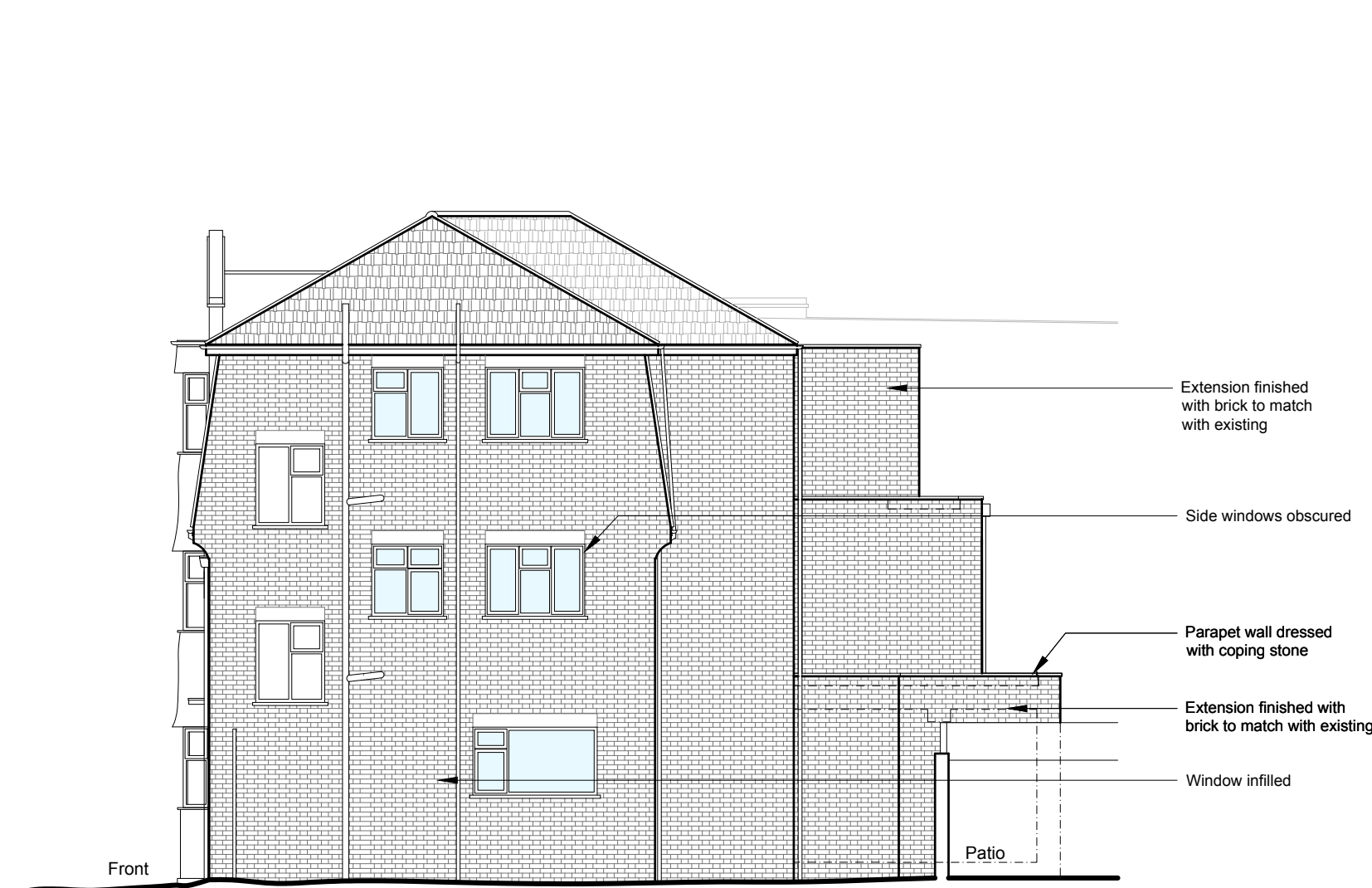


Location Plan

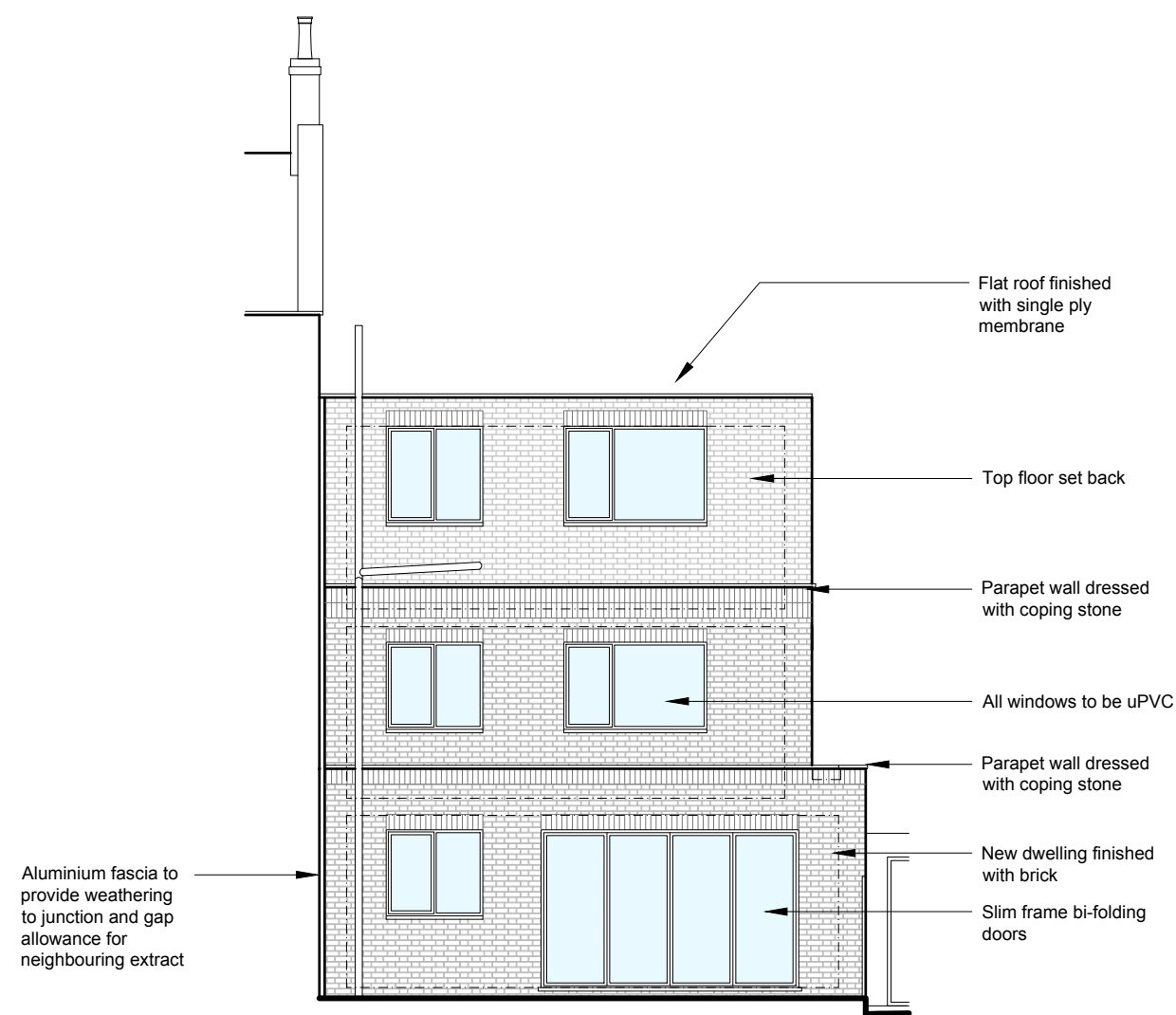
Scale 1:1250



SCALE 1:1250



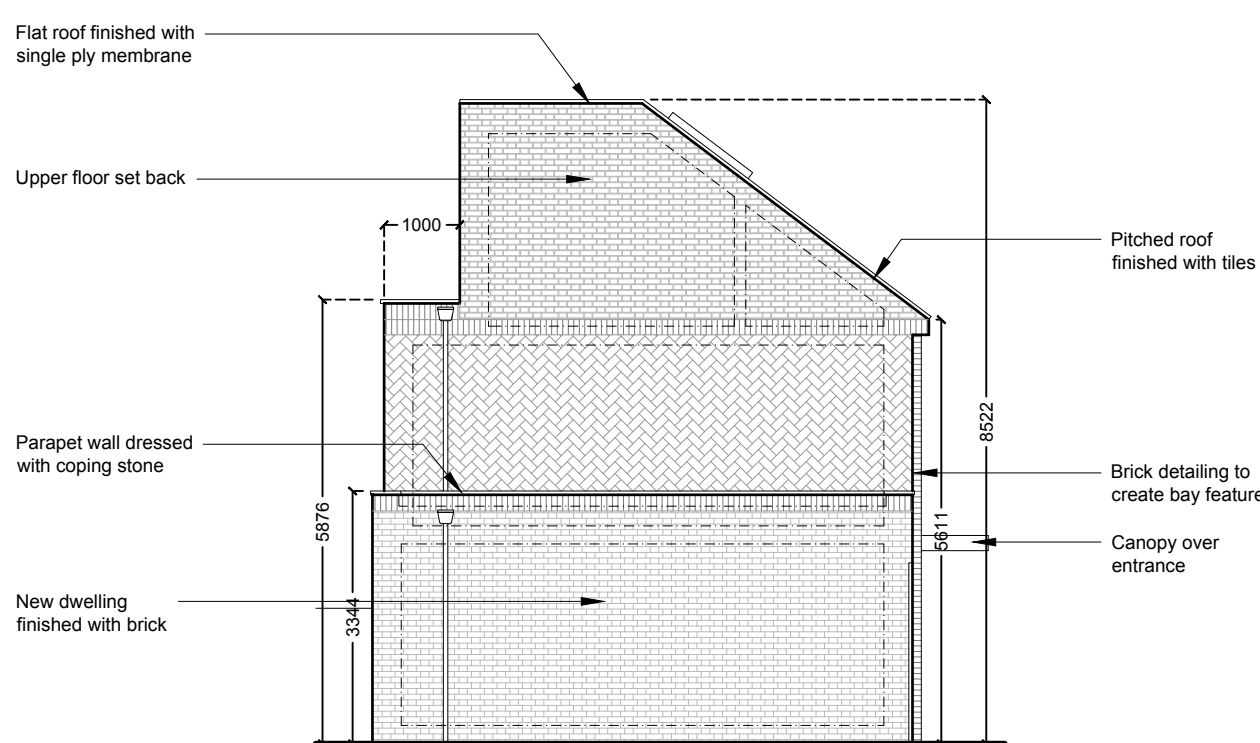
Flats - Side Elevation  
As Proposed 1:100



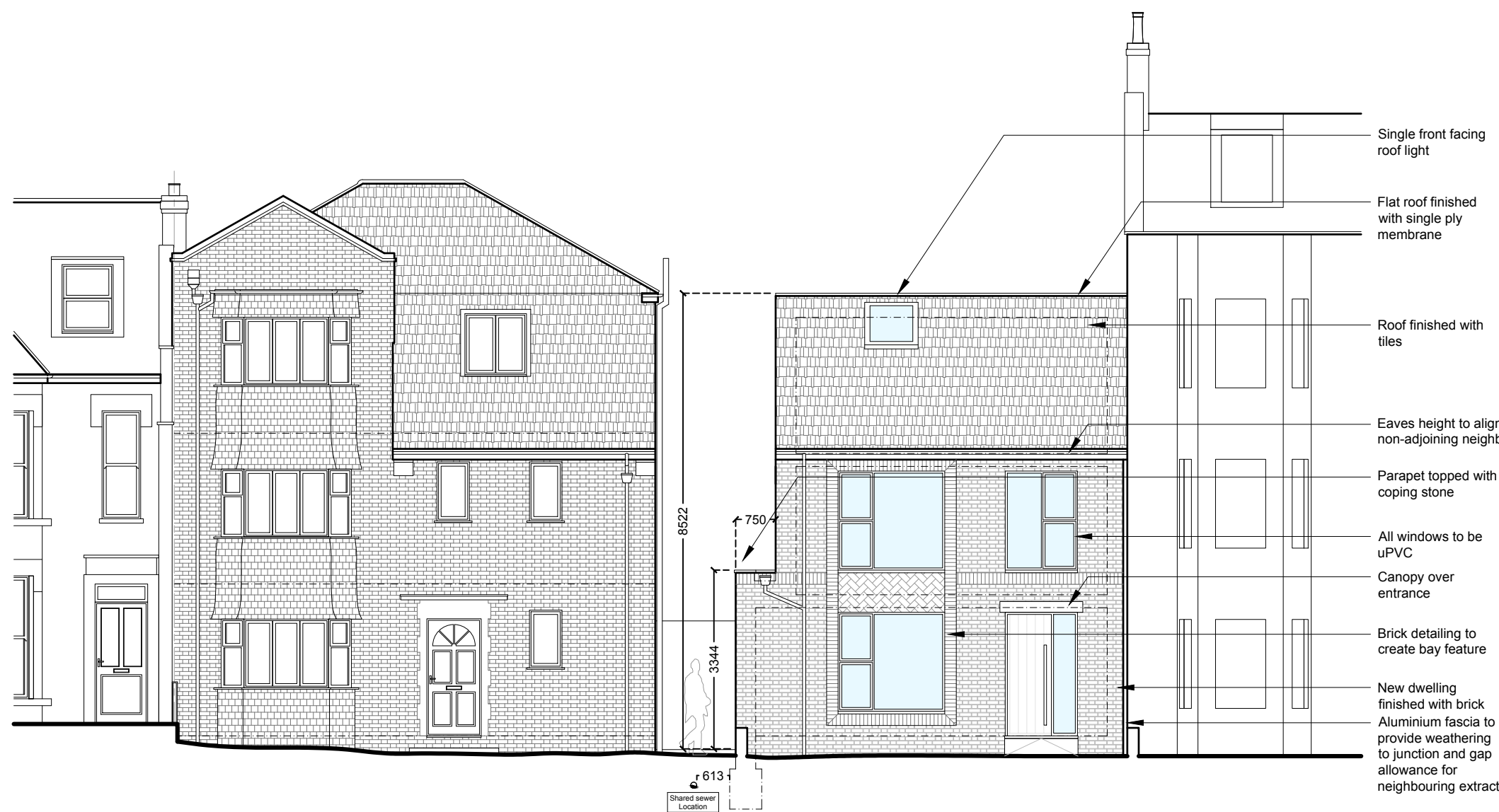
New Building - Rear Elevation  
As Proposed 1:100



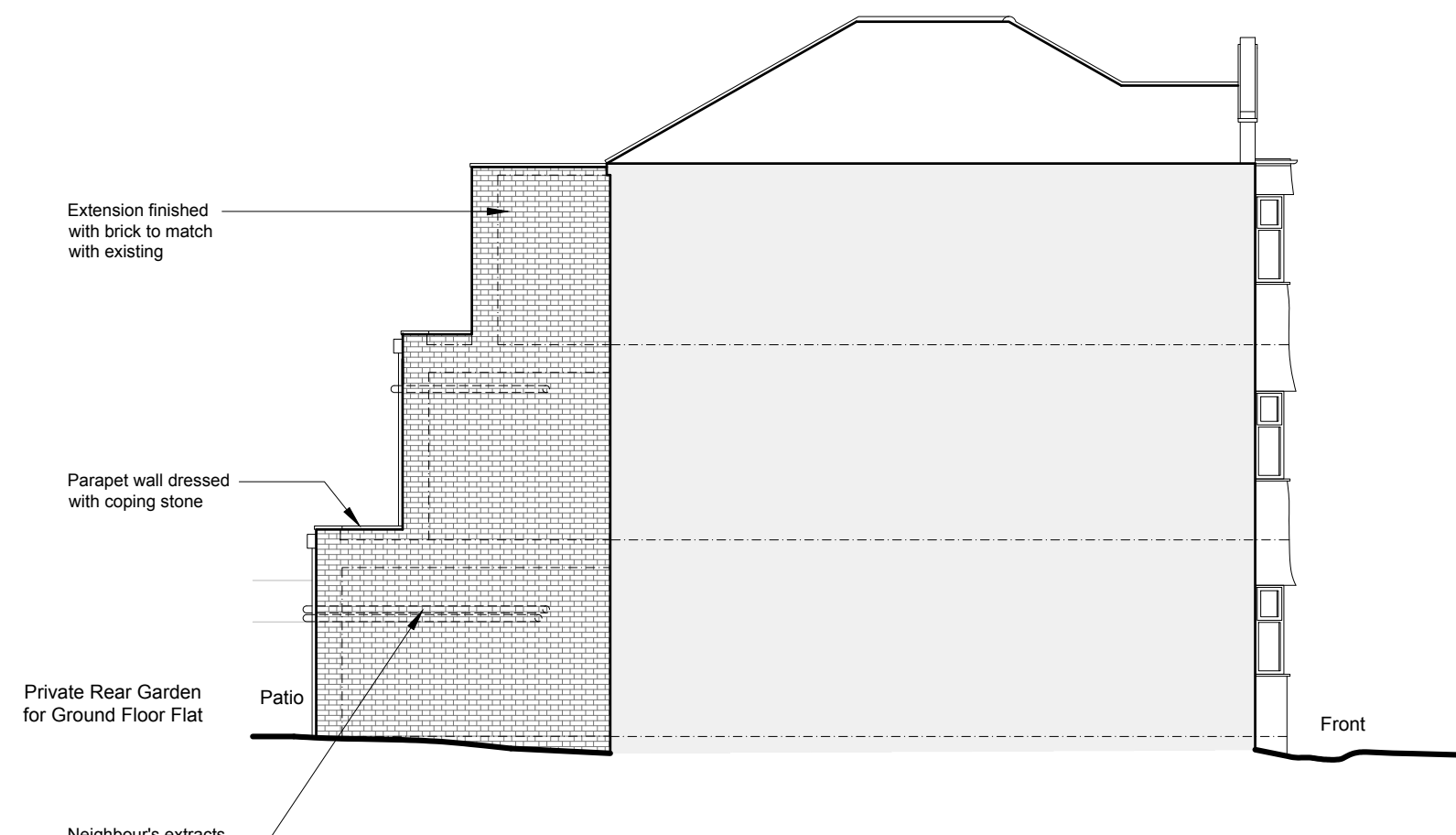
Flats - Rear Elevation  
As Proposed 1:100



New Building - Side Elevation  
As Proposed 1:100

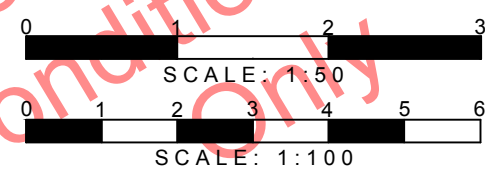


New Building & Flats - Front Elevation  
As Proposed 1:100



Flats - Side Elevation  
As Proposed 1:100

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SCALE 1:50  
SCALE 1:100



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SITE

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DRAWING TITLE

Proposed Elevations

DRAWINGS STATUS

Planning Conditions

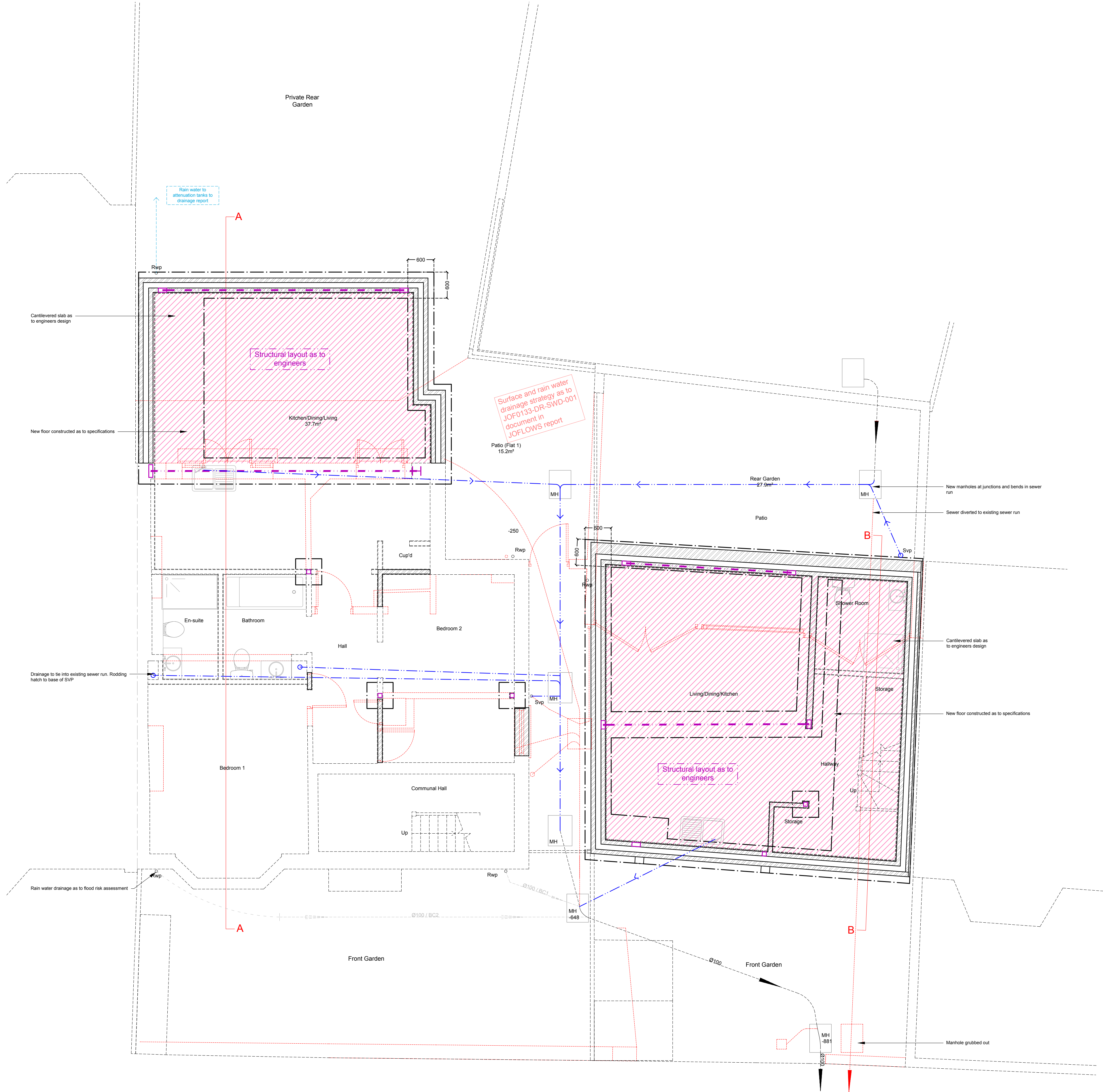
SCALE DATE DRAWN CHECKED

As Issued @ A1 Mar 2025 C.W. P.C.E.B.

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2327FS.C SH2 A





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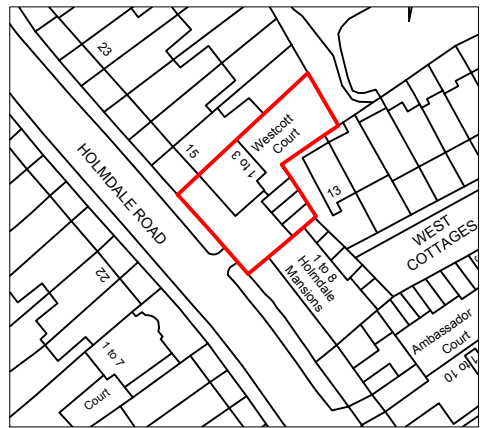
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Location Plan  
Scale 1:1250  
0 10 20 30 40 50 60 70 80  
SCALE 1:1250

For Planning  
Conditions Use  
Only

0 2 3m  
SCALE: 1:50  
0 2 5 6m  
SCALE: 1:100



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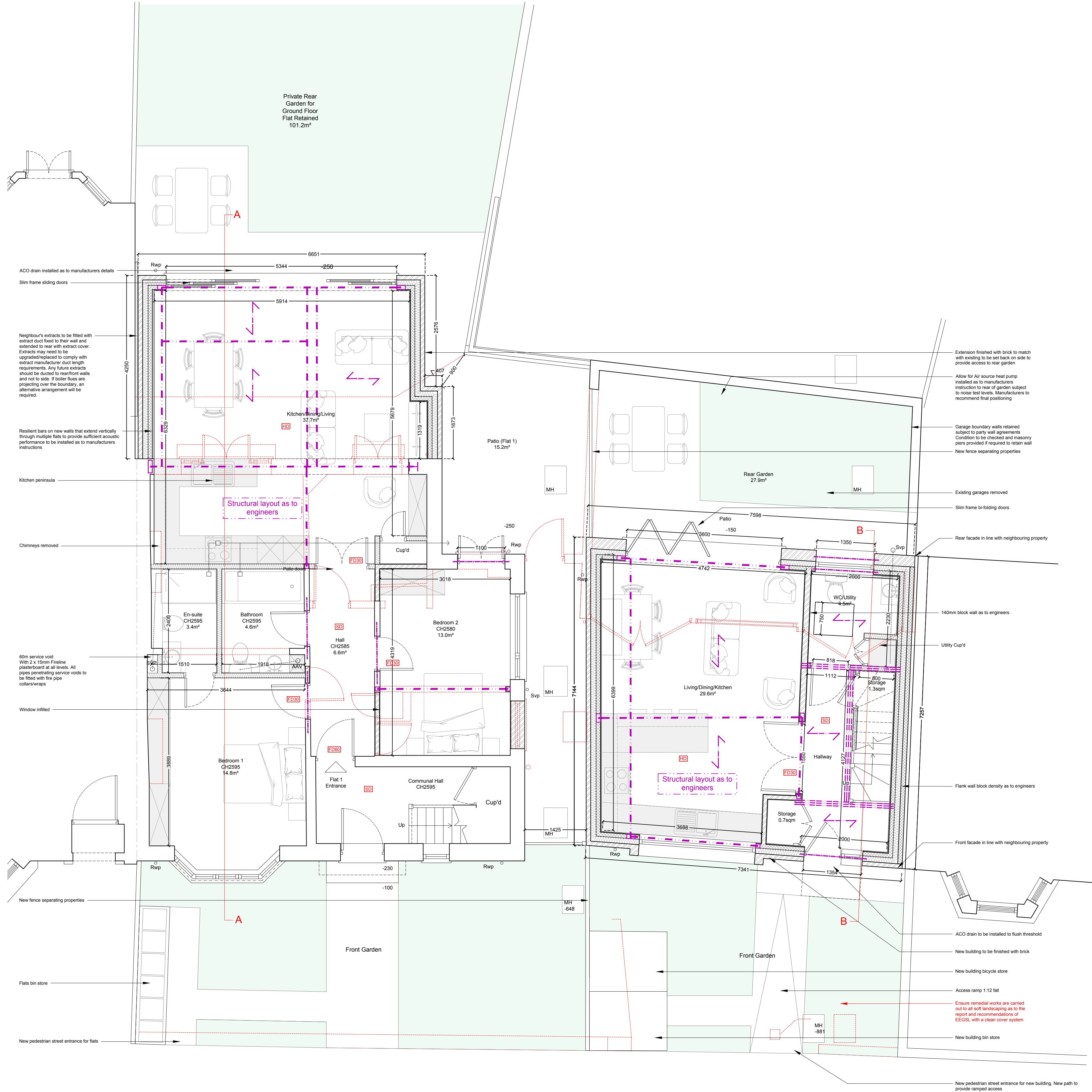
SITE  
Westcott Court, 13 Holmdale Road, London, NW6 1BH

DRAWING TITLE  
Building Regulation Specification

DRAWINGS STATUS  
Planning Conditions

SCALE	DATE	DRAWN	CHECKED
As noted @ A1	Mar 2025	C.W.	P.C.E.B.
DRAWING NO.	2327FS.C	SH3	REVISION
			A

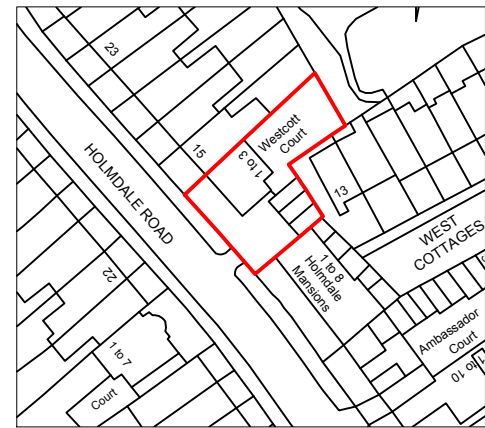




Ground Floor Plan Showing  
Structural Details Above  
As Proposed 1:50

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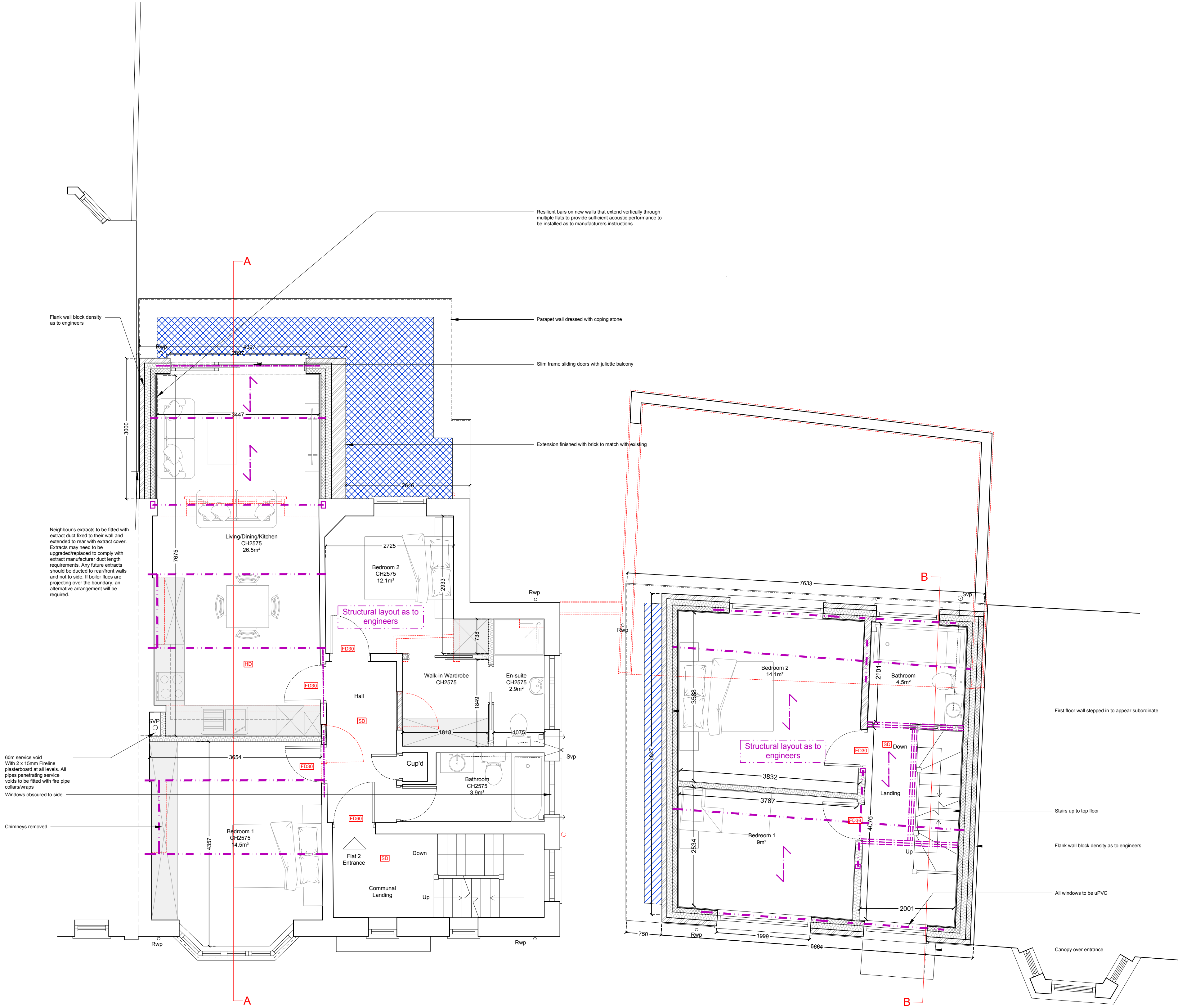


Location Plan  
Scale 1:1250  
0 10 20 30 40 50 60 70 80  
SCALE: 1:1250

For Planning  
Conditions Use  
Only

0 2 4 6 8m  
SCALE: 1:50  
0 2 4 6m  
SCALE: 1:100





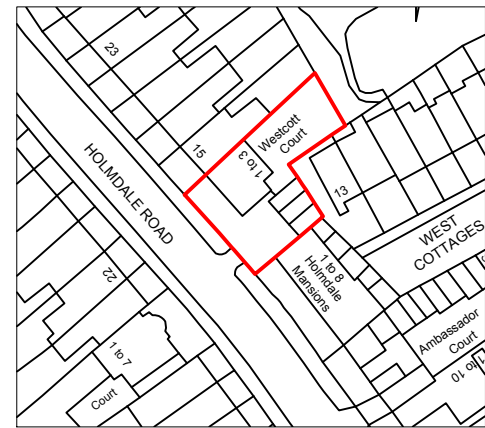
First Floor Plan Showing  
Structural Details Above  
As Proposed 1:50

GIA  
Calculation  
New  
Dwelling:

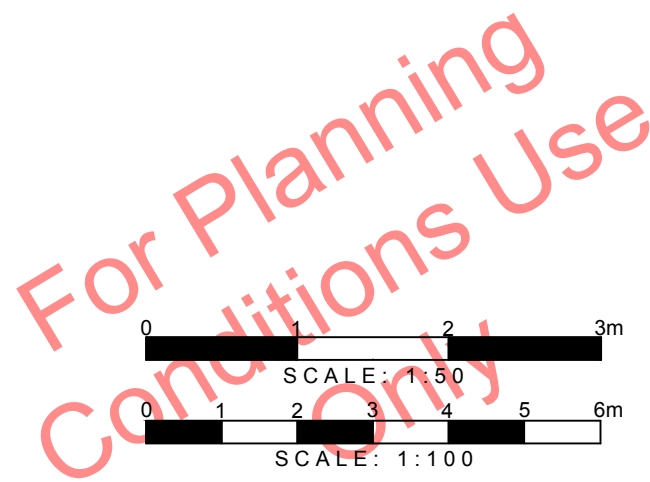
GF: 43.4m²  
1F: 36.6m²  
2F: 19.5m²  
Total: 99.5m²  
Min. Area for  
305p 3 storey  
dwelling: 99m²

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Location Plan  
Scale 1:1250  
0 10 20 30 40 50 60 70 80  
SCALE 1:1250



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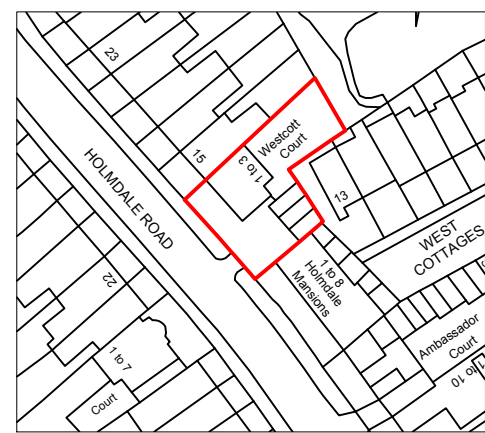
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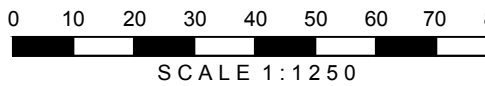
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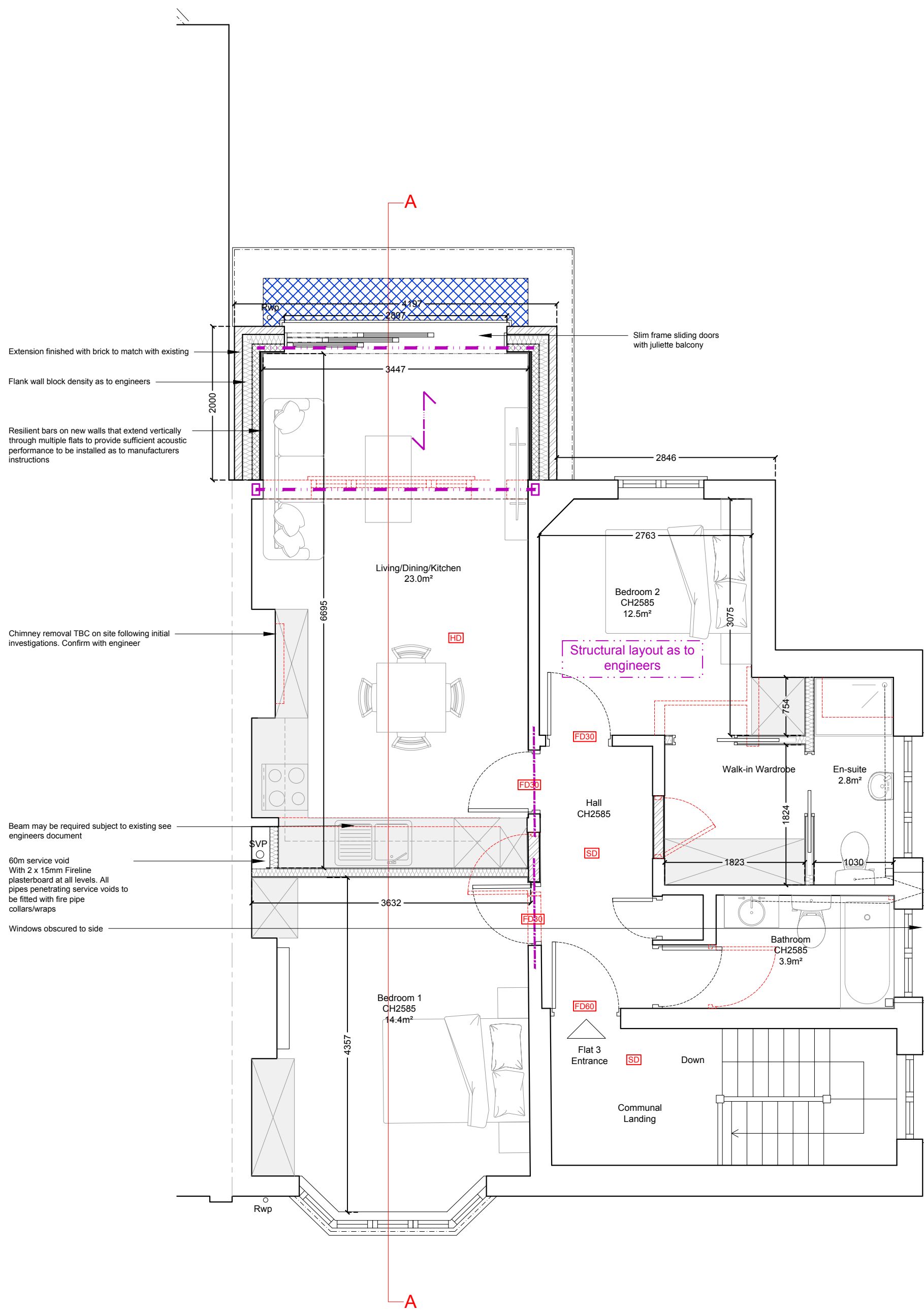
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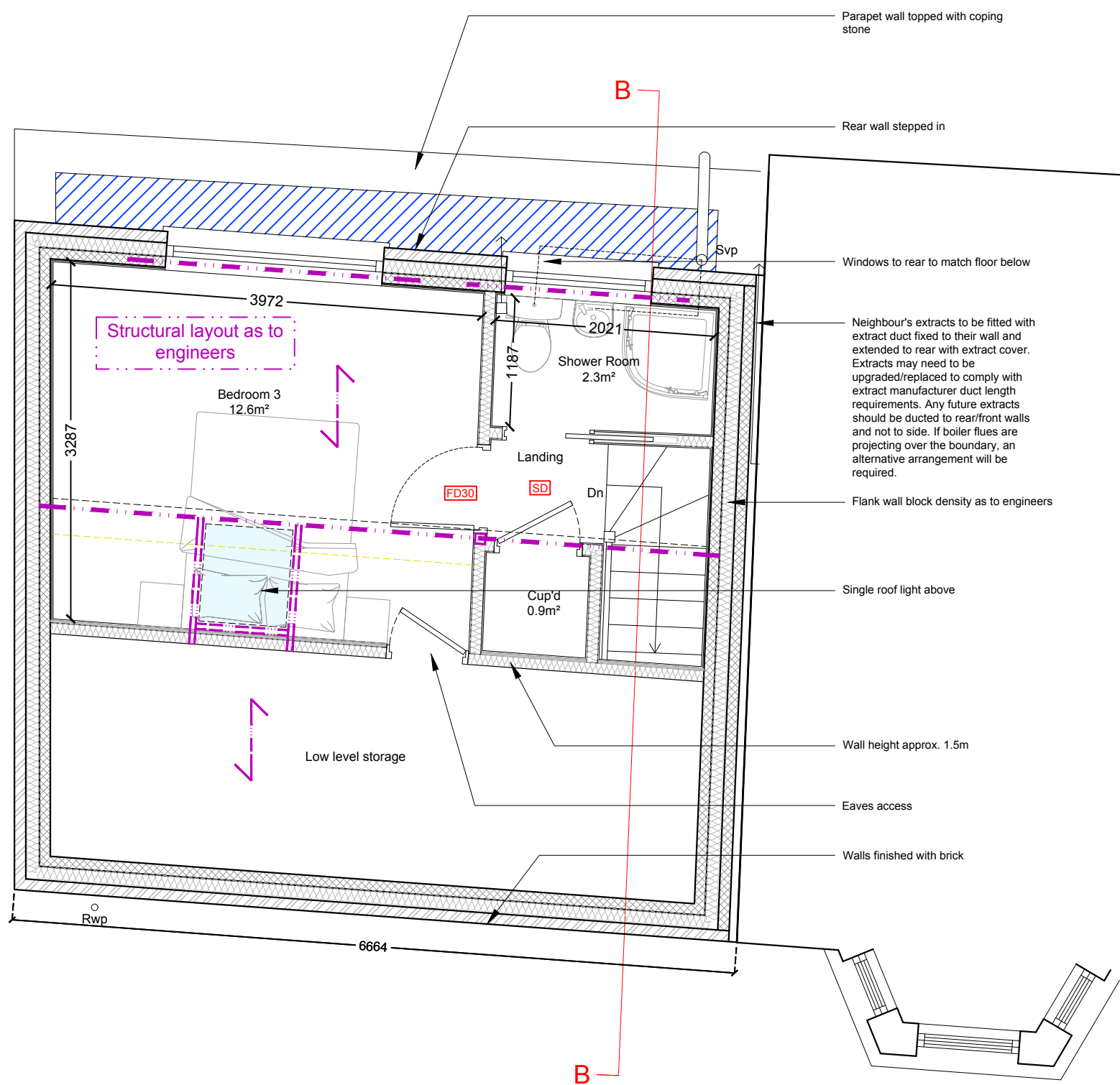
Location Plan  
Scale 1:1250



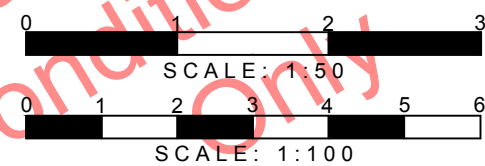
SCALE 1:1250



Second Floor Plan Showing  
Structural Details Above  
As Proposed 1:50



For Planning  
Conditions Use  
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SCALE 1:50

SCALE 1:100



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SITE

Westcott Court, 13 Holmdale Road, London, NW6 1BH

DRAWING TITLE

Building Regulation Specification

DRAWINGS STATUS

Planning Conditions

SCALE DATE DRAWN CHECKED

As noted @ A1 Mar 2025 C.W. P.C.E.B.

DRAWING NO. REVISION

2327FS.C SH6 A



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**CIAT**  
REGISTERED PRACTICE

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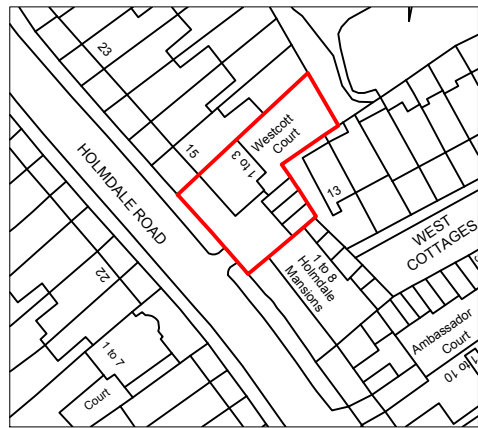
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Location Plan  
Scale 1:1250

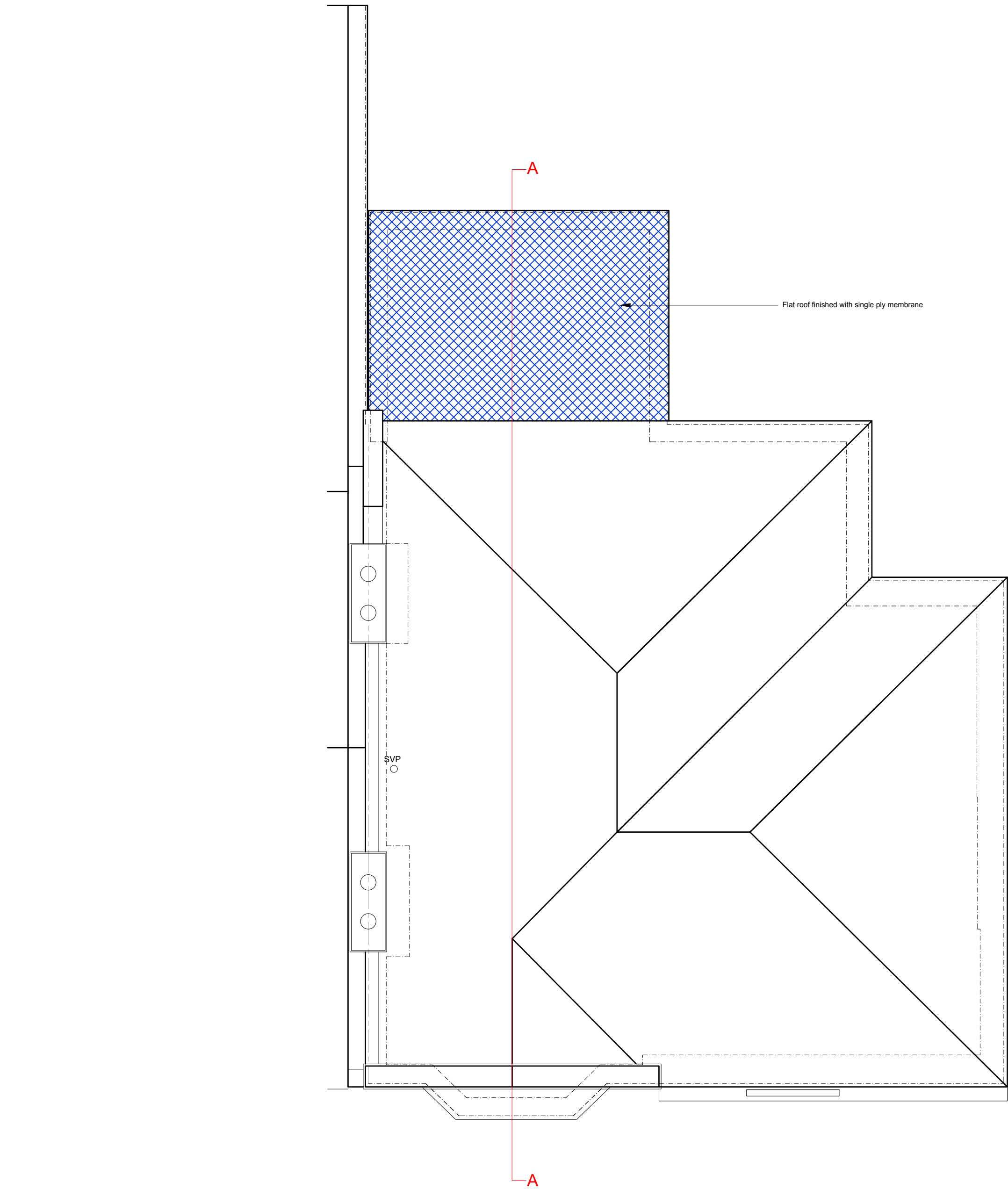
0 10 20 30 40 50 60 70 80

SCALE 1:1250

### Designer Risk Assessment (Flats)

If any hazardous material is found on the site it will be removed by specialist contractors and disposed of as per the hazardous/special waste regulation.

Activity	Hazard Identified	Control Measures
Site Fire Risks, working with steel/timber	-Damage to life and property	-Ensure site fire plan is provided and identified in induction process -Enforce no smoking policy -Provide adequate fire fighting provision -Check for combustible materials in vicinity. Implement suitable precautionary measures. e.g removal or shielding of combustible materials. -Avoid shot-firing and site welding except where absolutely necessary
General site risks i.e. falls from height, falling objects, hazardous / heavy machinery etc.	-Damage to life	-Use PPE i.e. hard-hat, gloves, goggles, hi-viz clothing, earplugs, site boots etc. -Implement general precautionary measures i.e. installation of necessary barriers, signage, alarms etc. -Conduct site-specific health and safety assessments -Produce method statements
Site Access Vehicle Movements	-Pedestrian/vehicle conflict -Unauthorised access onto site -Vehicles onto site through area used by Centre	-Organize delivery outside peak times -Installation of warning signs and security fencing -All site users informed of activity on site and made aware of dangers. -Contractor security staff to control access and egress and agree arrangements for movement in and around the site. -Use bankman -Operatives/visitors to be given induction with site safety rules/procedures prior to access
Excavations, pipework for ventilation and drainage. Buried services.	-Hitting existing services -Trench Collapse -Exposure to cementitious materials -Confined working space -Risk of electrocution, fire, explosion -Risk of bacteriological infection -Not all services may be located	-General Contractor to conduct site investigation to ascertain depth, route, size depth and designation of pipes, cables and chambers. -All trenches to receive suitable support/shuttering -Four heights of not more than 0.75m -Minimise period of time excavation left open -Appropriate PPE for handling cementitious materials and potentially contaminated materials -Protect perimeter of excavations as necessary -Connections to existing drainage to be controlled to allow workings without drains operating
Construction of walls	-Falls from height -Manual handling of lintels -Hazardous materials	-Provide adequate access platforms/lifts/scaffolds -Provide safety barriers -Restrict weight of lintels -Use appropriate PPE
Movement of plant/materials	-Falling of suspended materials -Damage to person/structures by placement of moving loads -Topping of plant	-Use trained operatives -Use manageable components and assemble on site -Use bankman
Internal masonry/stud partitions	-Falls from height -Falling objects -Manual handling of materials -Hazardous substances	-Provide adequate and suitable access platforms -Weight of components restricted -Use appropriate PPE
Roof structure	-Falls from heights -Falling objects -Manual handling and manoeuvring	-Provide adequate and suitable access platforms and scaffolding including edge protection -Use appropriate PPE -Use existing fall arrest system
Roof covering including fascias, gutters and downpipes	-Falls from heights -Falling objects -Manual handling and manoeuvring -Hazardous substances	-Provide adequate and suitable access platforms and scaffolding -Use appropriate PPE especially handling insulation
Interior decoration	-Fumes -Falls from height -Falling objects -Confined dark working areas	-Provide adequate ventilation -Use appropriate PPE -Provide temporary lighting where required -Provide adequate and suitable access platforms -Follow manufacturers recommendations -Provide dust extraction equipment where required A Party Wall Agreement is to be in place prior to start of works on site.
Floor Finishes	-Inhalation of adhesive fumes	-Provide adequate ventilation -Use appropriate PPE -Follow manufacturers instructions
Working adjacent to other trades	-Trip hazards -Falling objects from above -Unexpected noise, vibration dust -Unexpected working methods/procedures	-Provide clear and concise instructions on areas to be worked -Programme the works -Provide safe working areas -Restrict access -Ensure all site operatives are given
Working adjacent to building users	-Fire Risk -Unexpected noise, vibration, dust -Unexpected working methods/procedures -Contact with materials -Falling	-Liaise with Centres representative and Fire Officer to develop acceptable fire plan. Provide clear and concise instructions on areas to be worked Programme the works Provide safe working areas Restrict access Ensure all site operatives are given site safety induction prior to commencement.
M & E Services	-Falls from height Electrocution Access Live Services Manual Handling	-Mechanical and Electrical services Contractors to provide adequate and suitable access platforms/ scaffolding during installation of high level works. -Suitably qualified specialist sub Contractors to carry out installations -Method Statements to be devised and implemented -Ensure adequate access for installation of plant, equipment and systems -Avoid high level controls, valves etc wherever possible -Design in means of adequate isolation of plant -Design adequate access and means of lifting heavy items of plant. -Consider dismantling to aid maintaining -Allow low level service runs away from walls and provide bridging where necessary



### GENERAL BUILDING REGULATION SPECIFICATION (Flats)

CDM REGULATIONS  
The client must abide by the Construction Design and Management Regulations 2015

TEMPORARY WORKS  
Temporary works are the sole responsibility of the builder / contractor and should be discussed with an engineers prior to works starting if required.

PARTY WALL ACT  
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- Support of beam
  - Insertion of DPC through wall
  - Raising a wall or cutting off projections
  - Demolition and rebuilding
  - Underpinning
  - Insertion of lead flashings
- Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to start of works on site.

VENTILATION  
Ventilation provision to be in accordance with the Domestic Ventilation Compliance Guide.  
Internal doors should be provided with a 10mm gap below the door (700mm wide) to aid air circulation.  
Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3.  
All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

BACKGROUND AND PURGE VENTILATION  
All habitable rooms, kitchens, bathroom, utility rooms and sanitary accommodation shall be provided with background ventilation and mechanical extract ventilation systems (where applicable).  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-1:2004 (Clause 4), within the window frame to be provided to new habitable rooms at a rate of min 8000mm<sup>2</sup> and to kitchens, bathrooms, WCs and utility rooms at a rate of 4000mm<sup>2</sup>.  
Where a kitchen and living room accommodation are not separate rooms (i.e. open plan), no fewer than three ventilators of the same equivalent area as for other habitable rooms should be provided within the open-plan space.

Purge ventilation - New windows/roofsights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°.

SMOKE DETECTION  
Mains operated linked smoke alarm detection system to BS EN 14604 and BS6839-6:2019 to at least a Grade D category LD3 standard and to be mains powered with battery back up. Smoke alarms should be tested so that there is a smoke alarm in the circulation space on all levels/storeroys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

ESCAPE WINDOWS  
Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum 0.33m<sup>2</sup> sqm. The bottom of the operable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.

ABOVE GROUND DRAINAGE  
Sanitary pipe work and drainage must comply with the relevant clauses in section 1 and 3 of Approved Document H or BS EN 12056 and BS 752. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

RECESSED CEILING HEIGHTS  
Ceiling lights to be provided with recessed non combustible material as to manufacturers details.

NEW GAS BOILER (CLIENT TO CONFIRM IF REQUIRED)  
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flue pressurised boiler with a min SEDBUK rating of 90%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic radiator valves and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a "competent person" and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations. Provide Carbon Monoxide Alarm in appropriate location as to regulations/manufacturers instructions.

VENTILATION  
The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- Support of beam
  - Insertion of DPC through wall
  - Raising a wall or cutting off projections
  - Demolition and rebuilding
  - Underpinning
  - Insertion of lead flashings
- Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to start of works on site.

VENTILATION  
Ventilation provision to be in accordance with the Domestic Ventilation Compliance Guide.  
Internal doors should be provided with a 10mm gap below the door (700mm wide) to aid air circulation.  
Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3.  
All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

BACKGROUND AND PURGE VENTILATION  
All habitable rooms, kitchens, bathroom, utility rooms and sanitary accommodation shall be provided with background ventilation and mechanical extract ventilation systems (where applicable).  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-1:2004 (Clause 4), within the window frame to be provided to new habitable rooms at a rate of min 8000mm<sup>2</sup> and to kitchens, bathrooms, WCs and utility rooms at a rate of 4000mm<sup>2</sup>.  
Where a kitchen and living room accommodation are not separate rooms (i.e. open plan), no fewer than three ventilators of the same equivalent area as for other habitable rooms should be provided within the open-plan space.

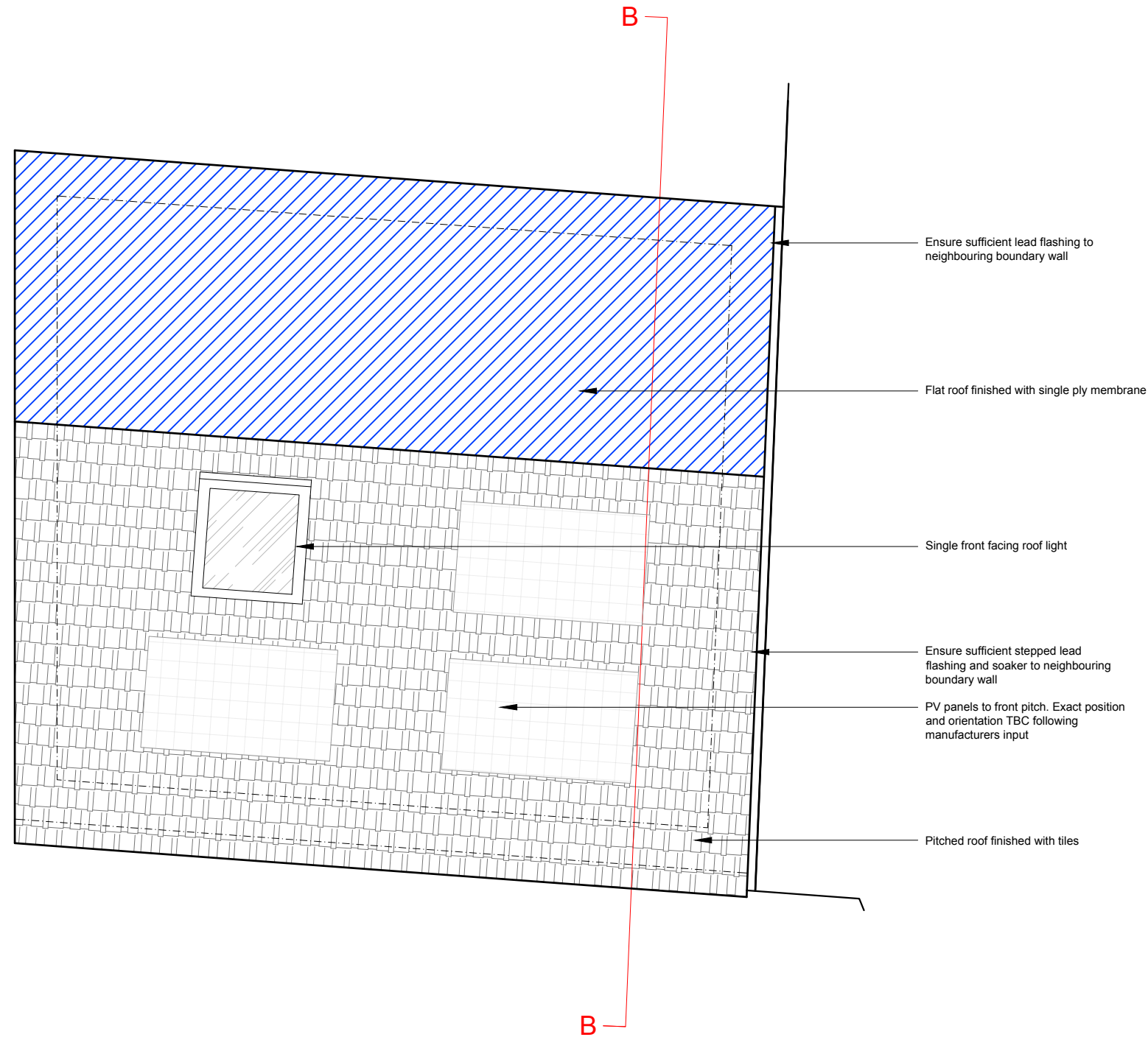
Purge ventilation - New windows/roofsights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°.

SMOKE DETECTION  
Mains operated linked smoke alarm detection system to BS EN 14604 and BS6839-6:2019 to at least a Grade D category LD3 standard and to be mains powered with battery back up. Smoke alarms should be tested so that there is a smoke alarm in the circulation space on all levels/storeroys and within 7.5m of the door to every habitable room. If ceiling mounted they should be 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

ESCAPE WINDOWS  
Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum 0.33m<sup>2</sup> sqm. The bottom of the operable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.

ABOVE GROUND DRAINAGE  
Sanitary pipe work and drainage must comply with the relevant clauses in section 1 and 3 of Approved Document H or BS EN 12056 and BS 752. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti vac bottle traps and rodding eyes to be provided at changes of direction.

Roof Plan  
As Proposed 1:50



For Planning  
Consultations Use  
Only

0 10 20 30 40 50 60 70 80

SCALE 1:100

0 2 4 6 8

SCALE 1:50

**DETAILED PLANNING**

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SITE  
Westcott Court, 13 Holmdale Road, London, NW6 1BH

#### DRAWING TITLE

Building Regulation Specification

#### DRAWINGS STATUS

Planning Conditions

SCALE	DATE	DRAWN	CHECKED
As noted @ A1	Mar 2025	C.W.	P.G.E.B
DRAWING NO.	REVISION		
2327FS_C_SH7	A		



Designer Risk Assessment (New Build)

If any hazardous material is found on the site it will be removed by specialist contractors and disposed of as per the hazardous/special waste regulation.

Activity	Hazard Identified	Control Measures
Site Fire Risks, working with steel/timber	-Damage to life and property -Vehicular onto site through area used by Centre	-Ensure site fire plan is provided and identified in induction process -Enforce to smoking policy -Provide adequate fire fighting provision -Check for combustible materials in vicinity. Implement suitable precautionary measures (e.g. removal or shielding of combustible materials) -Avoid smoking and site welding except where absolutely necessary
General site risks (i.e. falls from height, falling objects, hazardous / heavy machinery etc.	-Damage to life	-Use PPE (i.e. hard-hat, gloves, goggles, hi-viz clothing, earplugs, etc.) -Implement general precautionary measures (i.e. installation of necessary barriers, signage, alarms etc.) -Conduct site-specific health and safety assessments -Produce method statements
Site Access Vehicle Movements	-Pedestrian/vehicle conflict -Unauthorized access onto site -Vehicular onto site through area used by Centre	-Organize delivery outside peak times -Installation of warning signs and security fencing -All site users informed of activity on site and made aware of dangers -Contractor security staff to control access and egress and agree arrangements for movement in and around the site. -Use bankman -Operative/visitors to be given induction with site safety rules/procedures prior to access
Excavations, pipework for ventilation and drainage. Buried services.	-Hitting existing services -Trench Collapse -Exposure to serious materials -Confined working space -Risk of electrocution, fire, explosion -Risk of bacteriological infection -Not all services may be located	-General Contractor to conduct site investigation to ascertain depth, route, size depth and designation of pipes, cables and chambers -All trenches to receive suitable support/shuttering -Pour heights of not more than 0.7m -Minimize period of time excavation left open -Appropriate PPE for handling cementitious materials and potentially contaminated materials -Protect perimeter of excavations as necessary -Connections to existing drainage to be controlled to allow workings without drains operating
Construction of walls	-Falls from height -Manual handling of loads -Hazardous materials	-Provide adequate access platform/scaffolds -Provide safety barriers -Restrict weight of loads -Use appropriate PPE
Movement of plant/materials	-Falling of suspended materials -Damage to person/structures by placement of moving loads -Topping of plant	-Use trained operatives -Use manageable components and assemble on site -Use bankman
Internal masonry/timber partitions	-Falls from height -Falling objects -Manual handling of materials -Hazardous substances	-Provide adequate and suitable access platforms -Weight of components restricted -Use appropriate PPE
Roof structure	-Falls from heights -Falling objects -Manual handling and manoeuvring	-Provide adequate and suitable access platforms and scaffolding including edge protection -Use appropriate PPE -Use existing fall arrest system
Roof covering including fascias, gutters and downpipes	-Falls from heights -Falling objects -Manual handling and manoeuvring -Hazardous substances	-Provide adequate and suitable access platforms and scaffolding including edge protection -Use appropriate PPE especially handling insulation
Interior decoration	-Fumes -Falls from height -Falling objects -Confined dark working areas	-Provide adequate ventilation -Use appropriate PPE -Provide temporary lighting where required -Provide adequate and suitable access platforms -Follow manufacturers recommendations -Provide dust extraction equipment where required
Floor Finishes	-Inhalation of adhesive fumes	-Provide adequate ventilation -Use appropriate PPE -Follow manufacturers instructions
Working adjacent to other trades	-Trip hazards -Falling objects from above -Unexpected noise, vibration dust -Unexpected working methods/procedures	-Provide clear and concise instructions on areas to be worked -Programme the works -Provide safe working areas -Restrict access -Ensure all site operatives are given
Working adjacent to building users	-Fire Risk -Unexpected noise, vibration, dust -Unexpected working methods/procedures -Contact with materials -Falling	-Liaise with Centre representative and Fire Officer to develop acceptable fire plan -Provide clear and concise instructions on areas to be worked -Programme the works -Provide safe working areas -Restrict access -Ensure all site operatives are given site safety induction prior to commencement.
M & E Services	-Falls from height -Electrocution -Access -Live Services -Manual handling	-Mechanical and Electrical services Contractors to provide adequate and suitable access platforms/scaffolding during installation of high level works -Suitably qualified specialist sub Contractors to carry out installations -Method Statements to be devised and implemented -Ensure adequate access for installation of plant, equipment and systems -Avoid high level service runs, valves etc wherever possible -Design in means of adequate isolation of plant -Design adequate access and means of lifting heavy items of plant -Consider dismantling to aid manhandling -Allow low level service runs away from walls and provide bridging where necessary

GENERAL BUILDING REGULATION SPECIFICATION (New Build)

COM REGULATIONS  
The client must abide by the Construction Design and Management Regulations 2015

PARTY WALL ACT  
The owner should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:

- Support of beam
- Insertion of OPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding
- Underpinning
- Insertion of lead flashings
- Excavations within 3 metres of an existing structure where the new foundations go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to start of works on site.

MATERIALS AND WORKMANSHIP  
All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certificate of Schemes (Kitemark) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

SITE PREPARATION  
Care shall be taken to limit the occurrence of thermal bridging in the insulation layers caused by gaps within the thermal element, i.e. around windows and door openings. Reasonable provision shall also be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric.

TARGET AND DWELLINGS EMISSIONS RATES  
Target emissions rate (TER) to be submitted to building control in compliance with SAP 2012 and Approved Document L1A before works commence on site. To comply with Regulation 26 and Regulation 26A the dwellings emissions rate (DER) must not exceed the TER and the dwelling fabric energy efficiency (DFEE) is to be no greater than target fabric energy efficiency (TFEE).

THE DER, based on the buildings as constructed and incorporating any changes made during construction, and a registered Energy Performance Certificate (EPC) accompanied by a recommendation report in compliance with SAP 2012 and Regulation 26, is to be given to the owner of the building and submitted to building control, no later than 5 days after the work has been completed.

AIR PERMEABILITY AND PRESSURE TESTING  
Reasonable provision shall be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric. The new dwelling to be pressure tested by a specialist registered with the British Institute of Non-destructive Testing in compliance with Regulation 43 of the Building Regulations.

The measured air permeability to be not worse than 4 m³/m²/m at 50 Pa or in compliance with the TD2 design limits, ensuring the DER calculated using the measured air permeability is not worse than the TER.

If the required air permeability is not achieved, then remedial measures should be undertaken and a new test carried out until satisfactory performance is achieved.

A copy of the test results to be sent building control no later than 7 days after the test has been carried out.

COMMUNICATIONS  
Physical infrastructure for high-speed electronic networks

Building to be equipped with high-speed-ready in-building physical infrastructure, up to a network termination point for high-speed electronic communications networks.

For more than one dwelling must have a common access point for high-speed electronic communications networks

The smaller dimension of the panel must be no larger than 230mm in either width or height.

Main front doors should be fitted with multipoint locking system.

Any part of a window or doorway, which is within 2m vertically of an accessible level surface such as the ground or basement level, or an access balcony, or windows within 2m vertically of a flat or sloping roof (with a pitch of less than 30 degrees) that is within 3.5m of ground level should be secured windows in accordance with paragraphs 2.2 and 2.3 of Approved Document Q.

Windows to be made to a design that has been shown by test to meet the security requirements of British Standards publication PAS 24:2012. Frames to be mechanically fixed to the structure of the building in accordance with manufacturer's installation instructions.

ELECTRICAL  
All electrical work required to meet the requirements of Part P electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as IRE certification Ltd, SS, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so.

A copy of a certificate will be given to Building Control on completion.

INTERNAL LIGHTING  
Dwelling to include 100% low energy lighting. Internal energy efficient light to be fitted as calculated in the DER and in compliance with the Domestic Building Services Compliance Guide. Provide low energy light fittings not less than three per floor (excluding infrequently accessed spaces used for storage, such as cupboards and wardrobes). 100% Low energy light fittings (e.g. LEDs) should have lamps with a luminous efficacy greater than 120 lumens per circuit-watt and a total output greater than 400 lamp lumens. Fixed internal lighting to be pin based fluorescent or compact fluorescent lamps or low energy bayonet or Edison screw base compact fluorescent lamps.

HEATING  
Underfloor heating to be installed as to manufacturers instructions and guidance. Heating controls must include programmer, room thermostat, time and temperature zone control and TRVs. Heating system to be designed, installed, tested and fully certified by the relevant registered specialist. All work to be in accordance with the Local Water Authorities bye laws, and regulations.

NEW GAS BOILER  
Heating and hot water will be supplied via a wall mounted condensing vertical balanced flow pressured boiler with a min SEDBUK rating of 89.5%. No combustible materials within 50mm of the flue. System to be fitted with thermostatic zone control and all necessary zone controls and boiler control interlocks. The system will be installed, commissioned and tested by a 'competent person' and a certificate issued that the installation complies with the requirements of PART L. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

SMOKE DETECTION  
Mains operated linked smoke alarm detection system to BS EN 14604 and BS5839-6:2019 for Category LD3 standard and to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti-vacuum traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

ESCAPE WINDOWS  
Provide escape energy egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum fabric. The new dwelling to be pressure tested by a specialist registered with the British Institute of Non-destructive Testing in compliance with Regulation 43 of the Building Regulations.

WATER EFFICIENCY  
The estimated water consumption not to exceed 110 litres per person per day in accordance with Approved Document G. Water Efficiency to be calculated using the 'Water Efficiency Calculator for New Dwellings' or from the list of fittings from the 'Table of fittings' in ADG to comply with Part G. The results submitted to building control before works commence on site.

See submitted calculations for capacity design, provided by T16.

Bathroom taps: Average flow rate of 3.0 litres per minute (or less) Kitchen/Utility tap: Average flow rate of 3 litres per minute (or less) WCs: Full flush volume of 4 litres and part flush volume of 2.5 litres Showers: Average flow rate of 8 litres per minute (or less) Baths: Capacity of 145 litres to overflow (or less)

Washing machine (if supplied): To use 8.7 litres or less per kg dry load (detergent if supplied): To use 1.2 litres or less per place setting

COLD WATER SUPPLY  
There must be a suitable installation for the provision of a wholesome water supply in accordance with Approved Document G. Cold water supply to be provided to washbasins, toilets, baths, WCs, showers, any place when drinking water is drawn off and to any sink provided in areas where food is prepared.

Supply of cold water to comply with section 67 of the water industry act 1991 and the Water Supply Regulations 2000.

Hot water storage systems should be designed and installed in accordance with BS 12897:2006. Hot water vessels, cylinders etc and must be adequately supported.

Any hot water storage system including any cylinder or other vessel shall incorporate precautions to ensure suitable pressure relief and that any discharge from any safety device is safely conveyed to where it is visible but will not cause harm to persons in or about the building.

Precautions to be in place to prevent stored water stored exceeding 100°C. Hot water vessels to be fitted with a non self resetting energy cut out to instantly disconnect the power supply.

Outlets from domestic hot water storage vessels to be fitted with an in line valve to prevent water temperatures exceeding 60°C. All pipes carrying hot water to be insulated where they pass through unheated spaces. Hot water storage system to be provided with suitable warning labels. Relevant certificates for the heating system (i.e. Benchmark certificate, and commissioning certificates for fixed building services) are to be given to the building owner and a copy provided to Building Control on completion.

WASTE WATER HEAT RECOVERY SYSTEM  
WWHR to be implemented as to SAP calculations installed as to manufacturers instruction to have an efficiency of 54.9%.

EXTERNAL SURFACE WATER DRAINAGE  
Drainage of paving areas to be carried out in accordance with BS 12897:1995 and Approved Document H.

Hard surfaces around the building should be provided with a proprietary non slip permeable surface laid to manufacturer's details and in compliance with BS8171:1 to allow adequate drainage or provided with a non slip surface and cross fall of 1:40 - 1:60 draining away from the building (for a minimum of 500mm) to a suitable soakaway.

Paths, driveways and other narrow areas of paving should be free draining away from any buildings to a pervious area such as grasslands or to a suitable soakaway.

RAINWATER DRAINAGE  
New rainwater goods to be new 150mm UPVC half round gutters taken and connected into 89mm dia UPVC downpipes in accordance with section 11.1.1.10 of approved document part H.

RAINWATER HARVESTING SYSTEM  
Rainwater from gutters to connect with harvesting system designed and installed by manufacturers and pumped to header tank in loft for w/c and garden irrigation.

Overflow taken to soakaway orates, situated a min distance of 5.0m away from any building, via 150mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be of 1 cubic metre capacity or depth to Local Authorities approval with suitable granular fill and with porous tiles to prevent migration of fines. If necessary carry out and porous tile to determine design and depth of soakaway. All in accordance with manufacturers instructions.

ABOVE GROUND DRAINAGE  
All new above ground drainage and plumbing to comply with BS EN 12056-2:2000 for sanitary pipework. All drainage to be in accordance with Part H of the Building Regulations. Wastes to have 75mm deep anti-vacuum traps and rodding eyes to be provided at changes of direction.

Size of wastes pipes and max length of branch connections (if max length is exceeded then 300mm from the walls and light fittings. Where the kitchen area is not separated from the stairway or circulation space by a door, there should be an interlinked heat detector in the kitchen.

ESCAPE WINDOWS  
Provide escape energy egress windows to any newly created first floor habitable rooms and ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum fabric. The new dwelling to be pressure tested by a specialist registered with the British Institute of Non-destructive Testing in compliance with Regulation 43 of the Building Regulations.

WATER EFFICIENCY  
The estimated water consumption not to exceed 110 litres per person per day in accordance with Approved Document G. Water Efficiency to be calculated using the 'Water Efficiency Calculator for New Dwellings' or from the list of fittings from the 'Table of fittings' in ADG to comply with Part G. The results submitted to building control before works commence on site.

See submitted calculations for capacity design, provided by T16.

Bathroom taps: Average flow rate of 3.0 litres per minute (or less) Kitchen/Utility tap: Average flow rate of 3 litres per minute (or less) WCs: Full flush volume of 4 litres and part flush volume of 2.5 litres Showers: Average flow rate of 8 litres per minute (or less) Baths: Capacity of 145 litres to overflow (or less)

Washing machine (if supplied): To use 8.7 litres or less per kg dry load (detergent if supplied): To use 1.2 litres or less per place setting

VENTILATION  
Ventilation provision to be in accordance with the Domestic Ventilation Compliance Guide.

Internal doors should be provided with a 10mm gap below the door (700mm wide) to aid air circulation. Intermittent extract fans to BS EN 13141-4. Cooker hoods to BS EN 13141-3.

All fixed mechanical ventilation systems, where they can be tested and adjusted, shall be commissioned and a commissioning notice given to the Building Control Body.

BACKGROUND AND PURGE VENTILATION  
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-1:2004 (Clause 4) within the window frame to be provided to new habitable rooms and kitchens at a rate of min 8000mm², and to bathrooms, WCs and utility rooms at a rate of 4000mm².

Purge ventilation - New window/doorlights to have operable area in excess of 1/20th of their floor area, if the window opens less than 30° or 1/10th of their floor area if the window opens less than 30°.

FIRE COLLARS AND STOPS  
Fire stops at top of external walls and to external opening, fire collars provided to pipes penetrating compartment walls and floors.

Flats - Section AA  
As Proposed 1:50

NOTES:

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all dimension should be checked on site prior to works commencing. Variations in squares, depth of plaster etc. must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

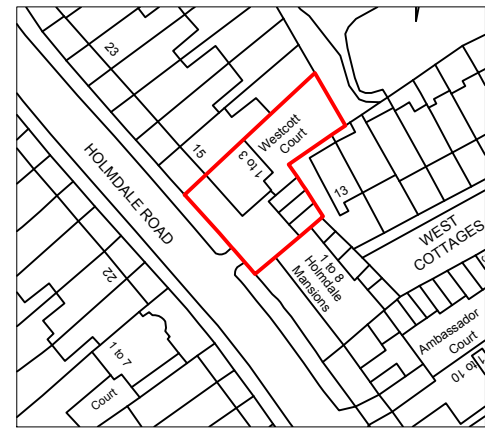
when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

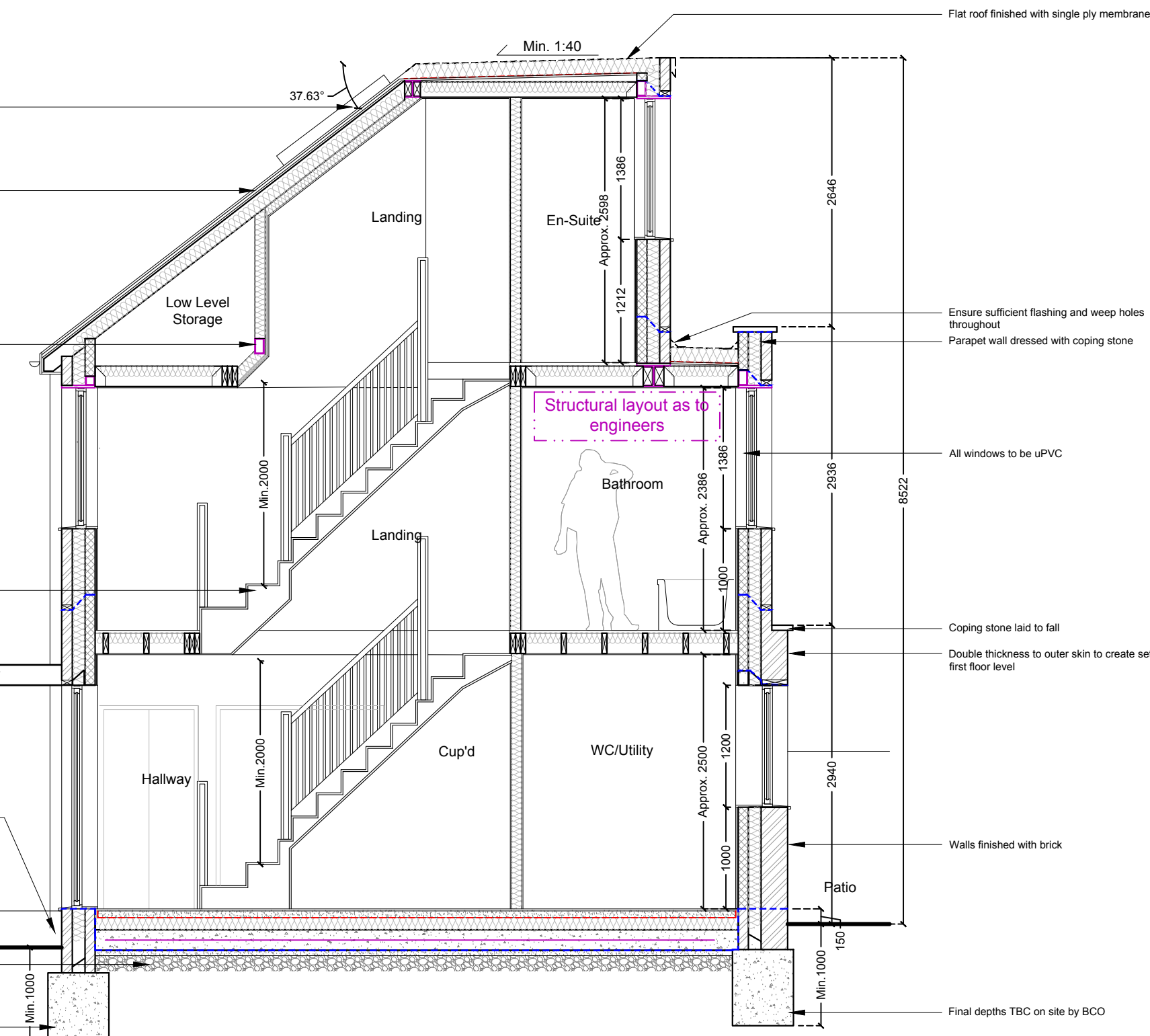
property owner to ensure that all aspects of the 'party wall etc., act 1996' are complied with prior to any works commencing on site.



- All details are subject to full opening up of works on site
- Where existing walls are removed, advice from engineer must be sought to confirm they are non loadbearing
- If existing joint spans prove to be incorrect following opening up, engineer must be contacted and notified immediately
- The contractor is solely responsible for the design and carrying out of all temporary works on site
- IF IN DOUBT ABOUT ANY DETAILS, CONTACT DETAILED PLANNING LTD. FOR STRUCTURAL DETAILS CONTACT THE STRUCTURAL ENGINEER ASAP!!!
- Client and Contractor to be aware of Construction & Design Management (CDM) duties



Location Plan  
Scale 1:1250  
0 10 20 30 40 50 60 70 80  
SCALE 1:1250



New Building - Section BB  
As Proposed 1:50

For Planning Conditions use Only



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SITE  
Westcott Court, 13 Holmdale Road, London, NW6 1BH

DRAWING TITLE  
Building Regulation Specification and Section Drawings

DRAWINGS STATUS  
Planning Conditions

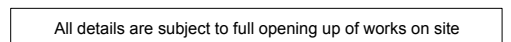
SCALE DATE DRAWN CHECKED  
As noted & J. M. 2025 C.W. P.G.E.B.  
DRAWING NO. 2327FS\_C SH8 REVISION A



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any discrepancies should be reported in writing immediately.

documents should be used as to the drawing status described



Where existing walls are removed, advice from engineer must be sought to confirm they are non loadbearing

If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately

The contractor is solely responsible for the design and carrying out of all temporary works on site

IF IN DOUBT ABOUT ANY DETAILS, CONTACT  
DETAILED PLANNING LTD. FOR STRUCTURAL DETAILS  
CONTACT THE STRUCTURAL ENGINEER ASAP!!!

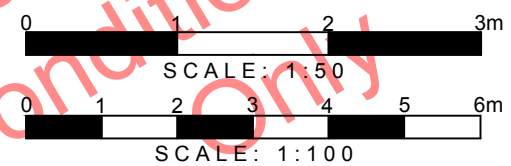
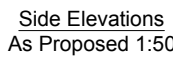
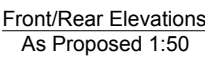
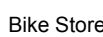
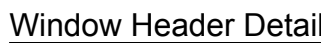
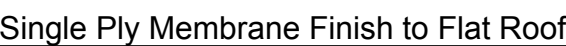
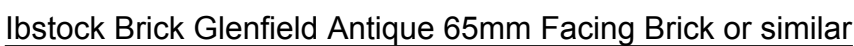
Client and Contractor to be aware of Construction & Design Management (CDM) duties



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SCALE 1:1250



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WINING TITLE

### al Finishes and Cycle Store Details

WINGS STATUS

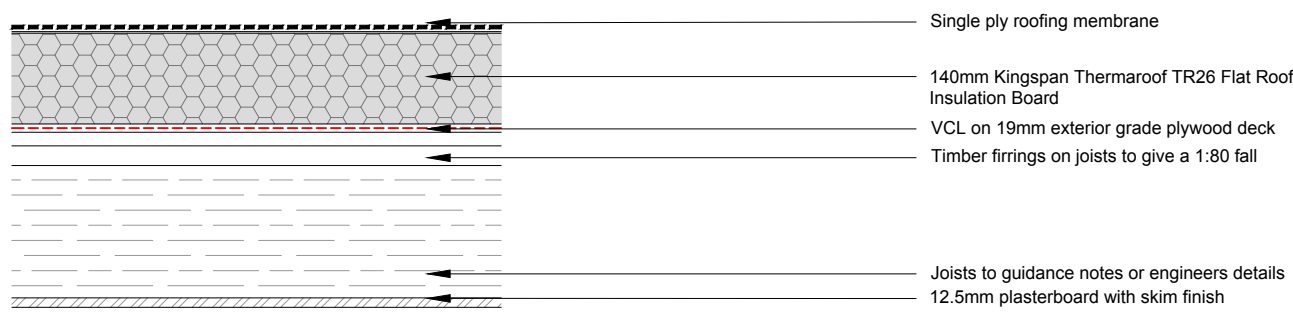
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td @ A1 Mar.2025 C.W. P.C./E.B.

WING NO.	REVISION
1	1

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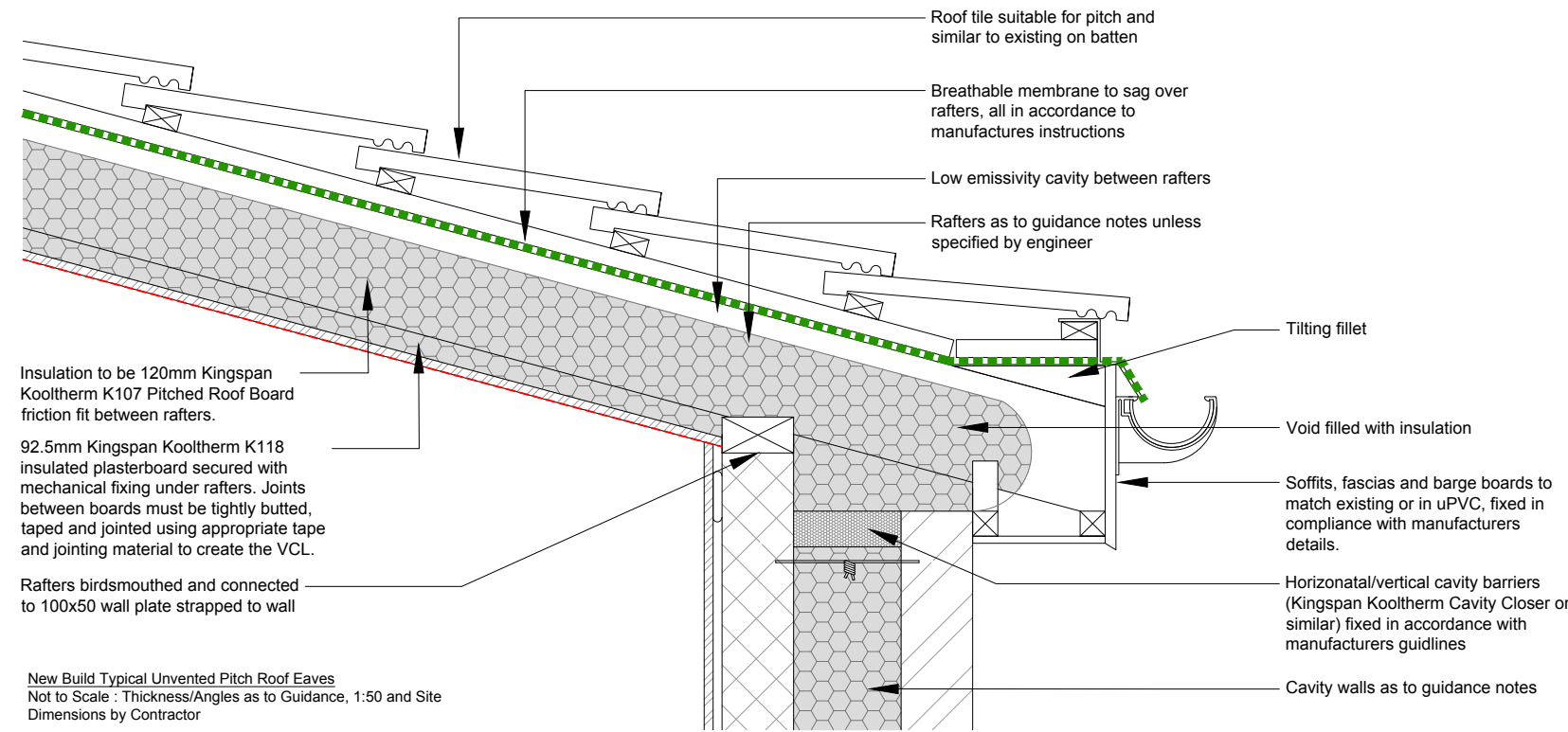




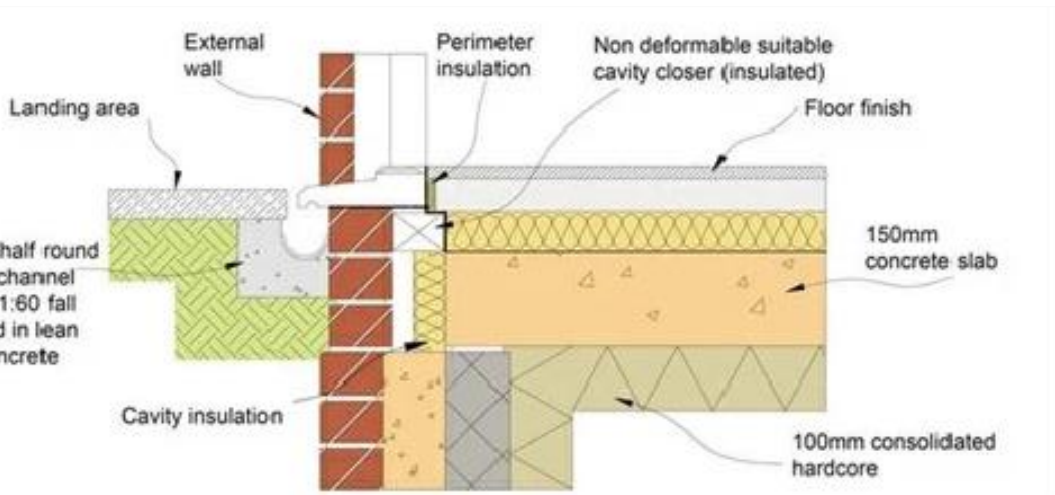
Flats Typical Warm Flat Roof Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



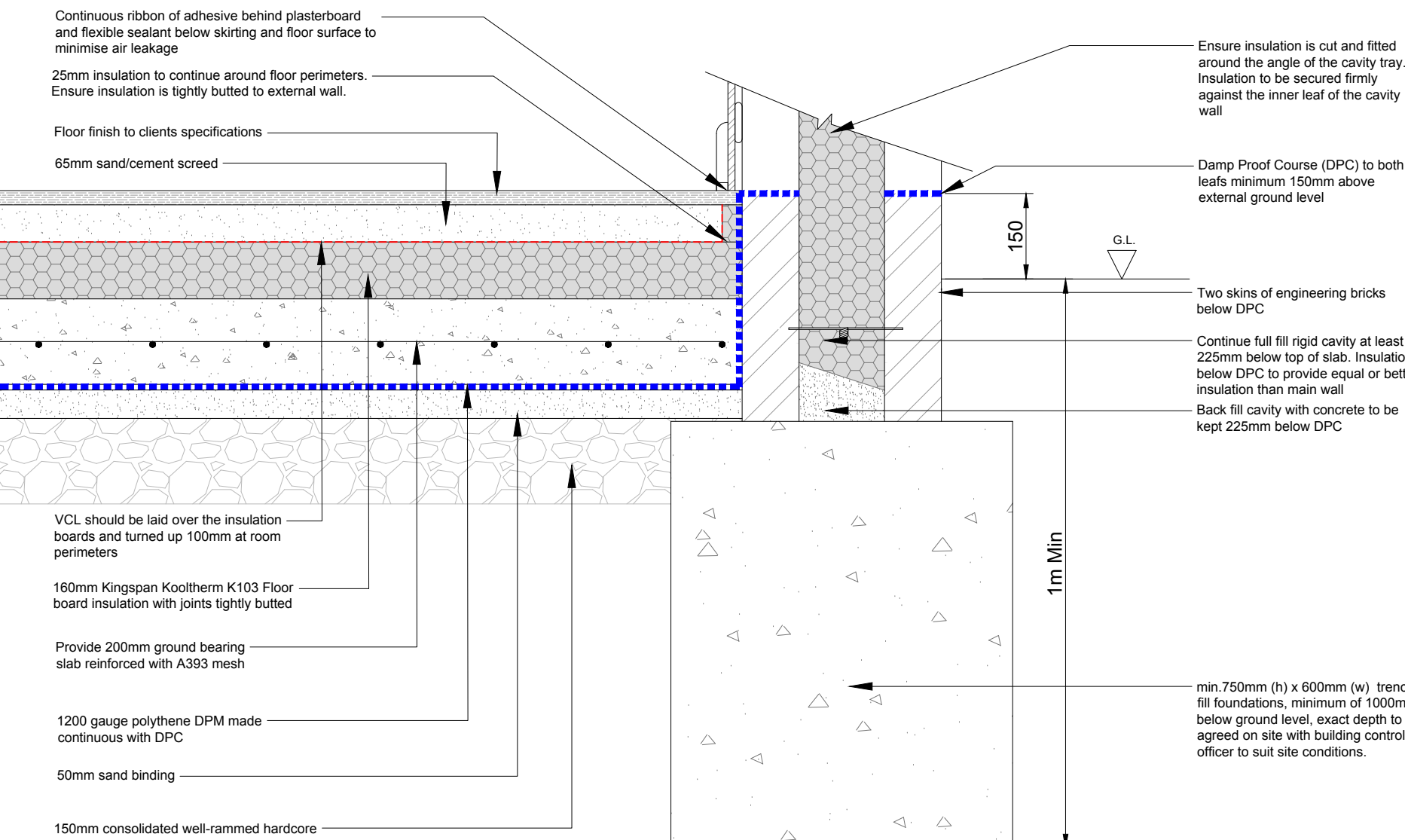
New Build Typical Hybrid Flat Roof Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



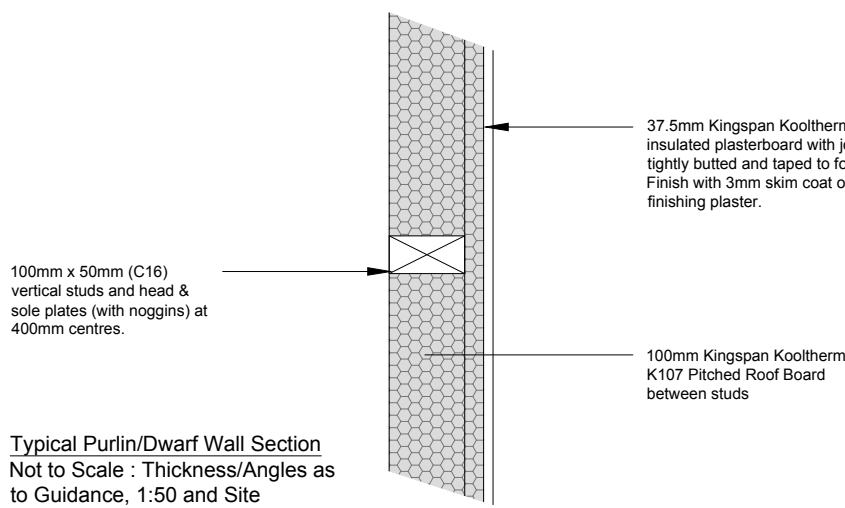
New Build Typical Unvented Pitch Roof Eaves  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



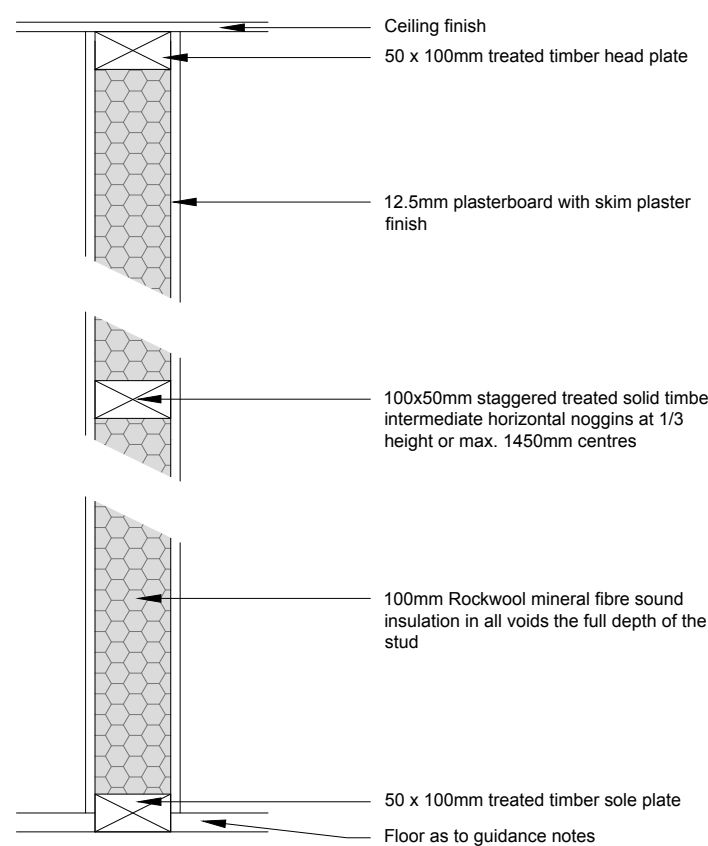
Typical Threshold Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



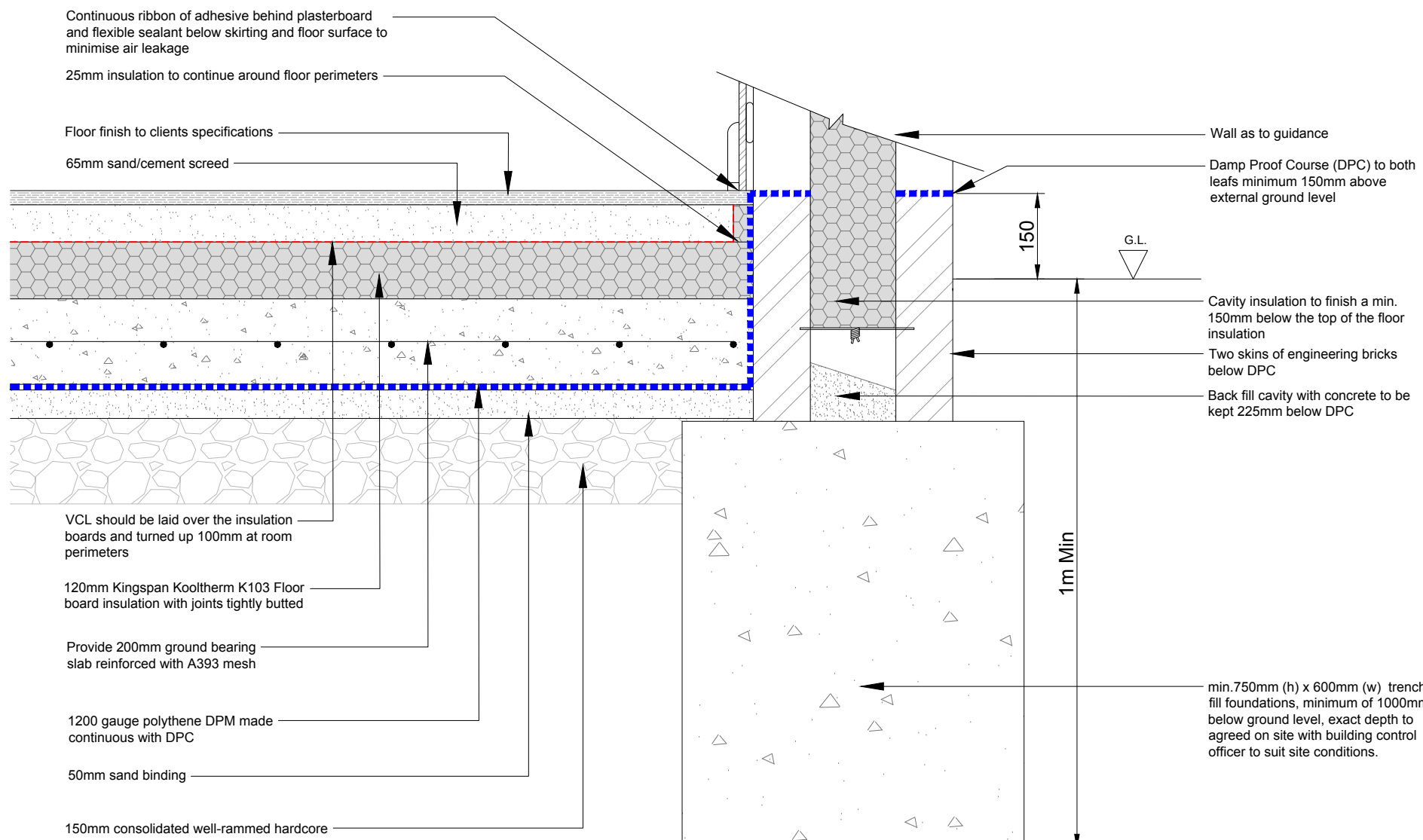
New Build Typical Concrete Slab / Foundation Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



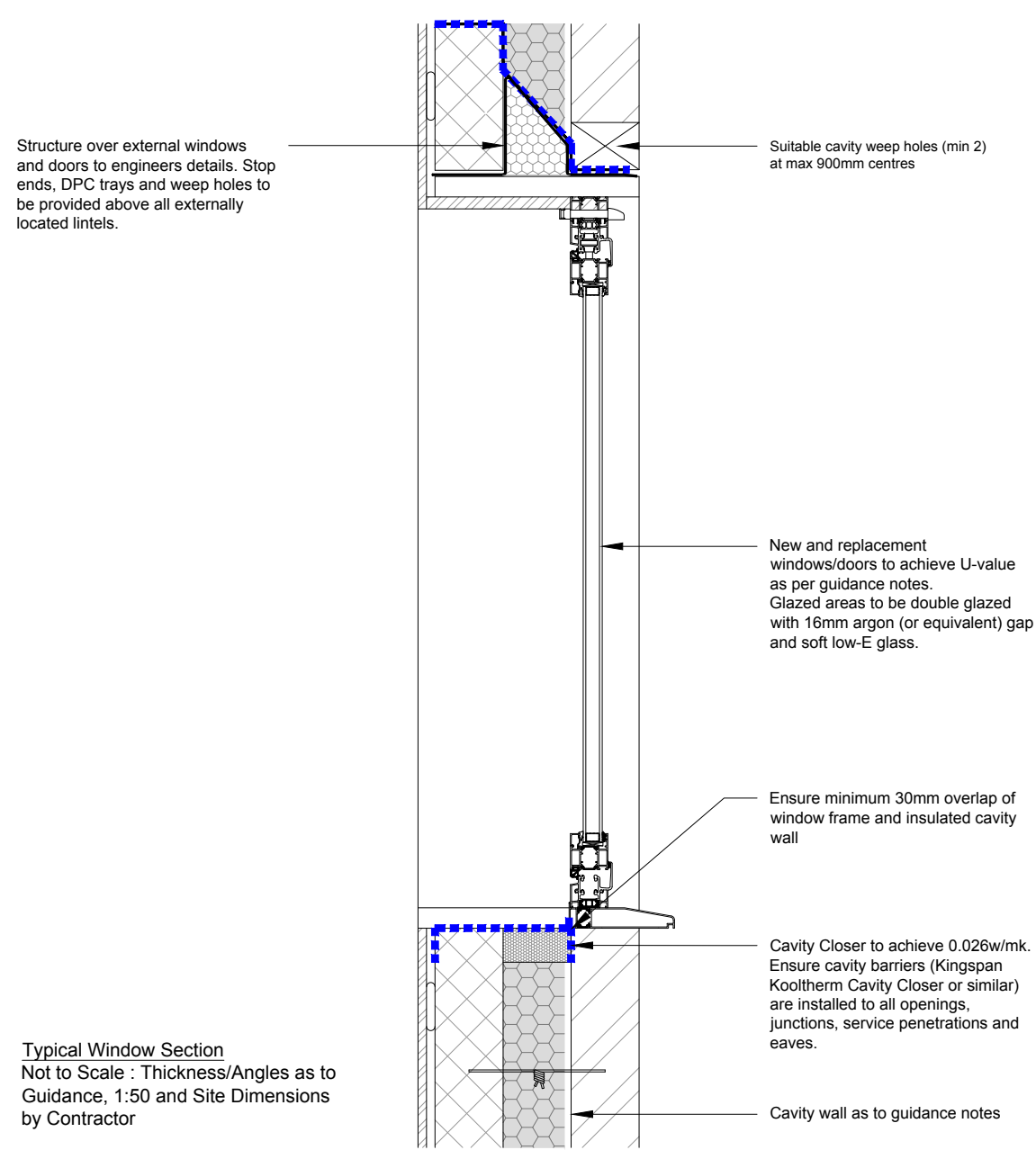
Typical Purlin/Dwarf Wall Section  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



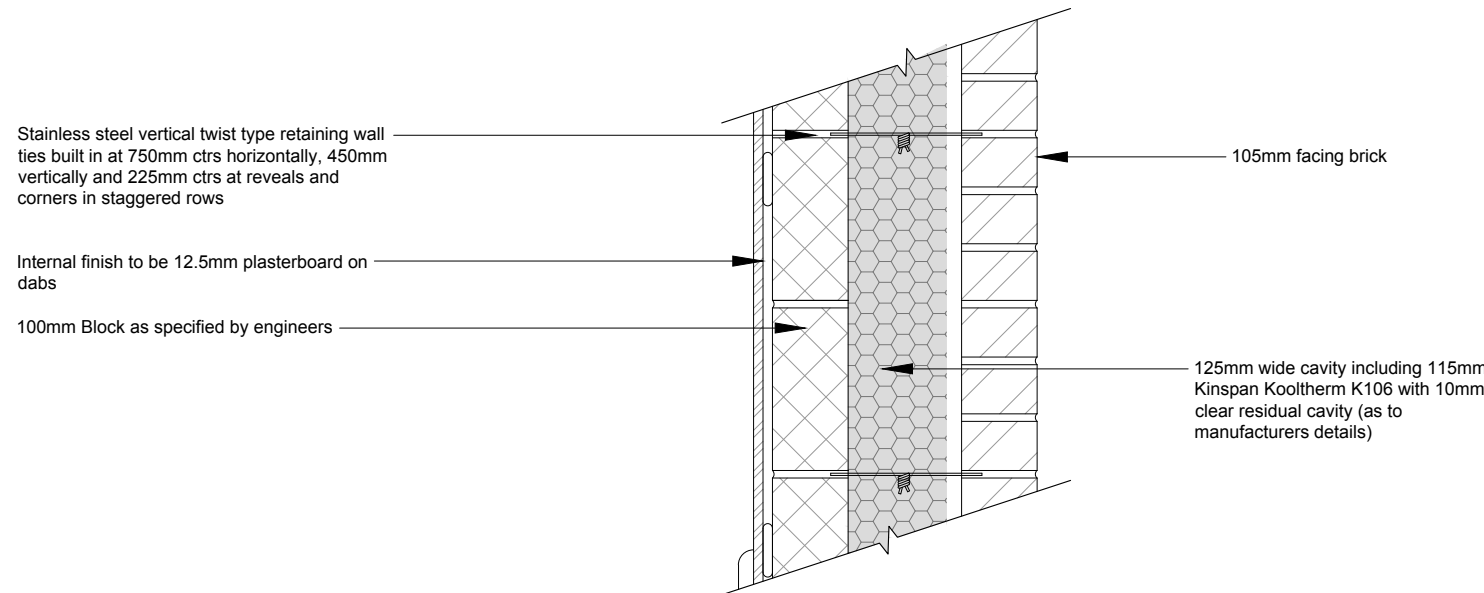
Timber Stud Partition - Section View  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



Flats Typical Concrete Slab / Foundation Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



Typical Window Section  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor



Typical Cavity Wall Section Detail  
Not to Scale : Thickness/Angles as to Guidance, 1:50 and Site Dimensions by Contractor

NOTES :

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all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc. must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc. act 1996" are complied with prior to any works commencing on site.



All details are subject to full opening up of works on site

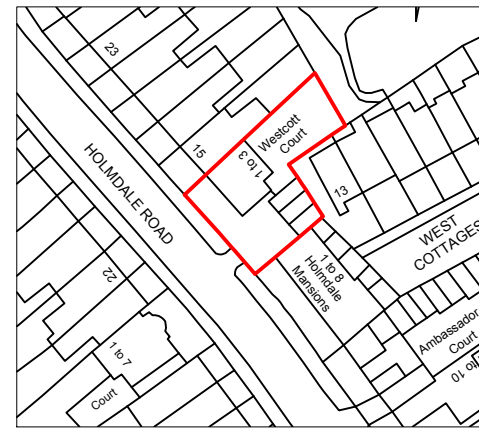
Where existing walls are removed, advice from engineer must be sought to confirm they are non loadbearing

If existing joist spans prove to be incorrect following opening up, engineer must be contacted and notified immediately

The contractor is solely responsible for the design and carrying out of all temporary works on site

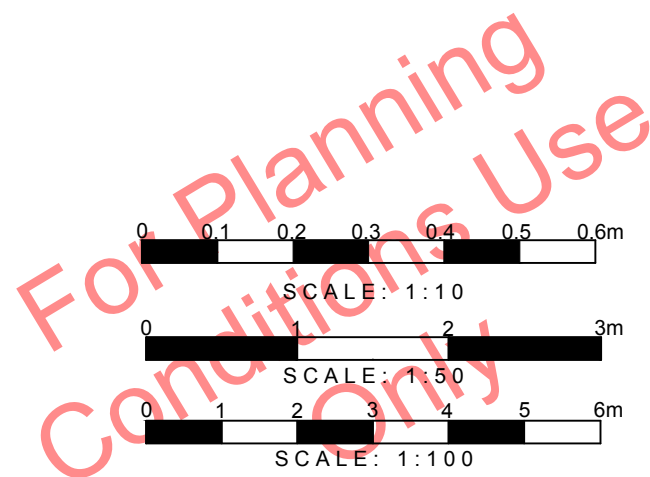
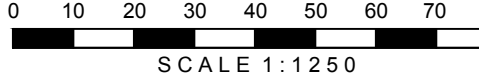
IF IN DOUBT ABOUT ANY DETAILS, CONTACT DETAILED PLANNING LTD. FOR STRUCTURAL DETAILS CONTACT THE STRUCTURAL ENGINEER ASAP!!!

Client and Contractor to be aware of Construction & Design Management (CDM) duties



Location Plan

Scale 1:1250



DETAILED PLANNING

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50 STATION ROAD  
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WWW.DETAILED-PLANNING.CO.UK

SITE  
Westcott Court, 13 Holmdale Road, London, NW6 1BH

DRAWING TITLE

Typical Section Details

DRAWINGS STATUS

Planning Conditions

SCALE DATE DRAWN CHECKED

As Issued @ A1 Mar 2025 C.W. P.C.E.B.

DRAWING NO. REVISION

2327FS\_C SH10 A