

# 2025/0141/P – 2 Camden Park Road



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## Photos and Plans



*Figure 1. Aerial view*





*Figure 2. Front of property*



*Figure 3. Rear of property*

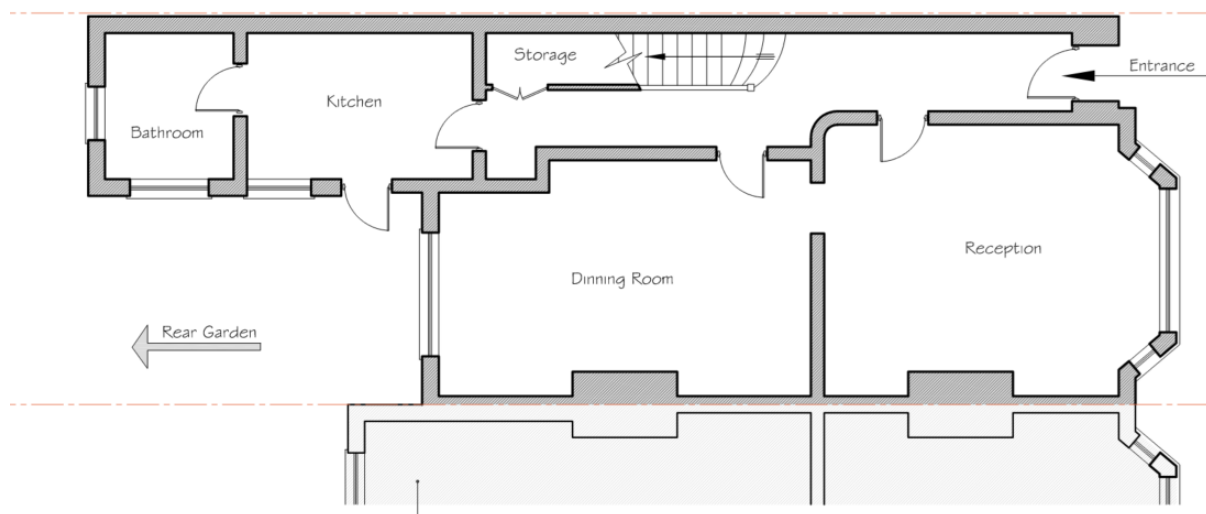


Figure 4. Existing Ground Floor Plan

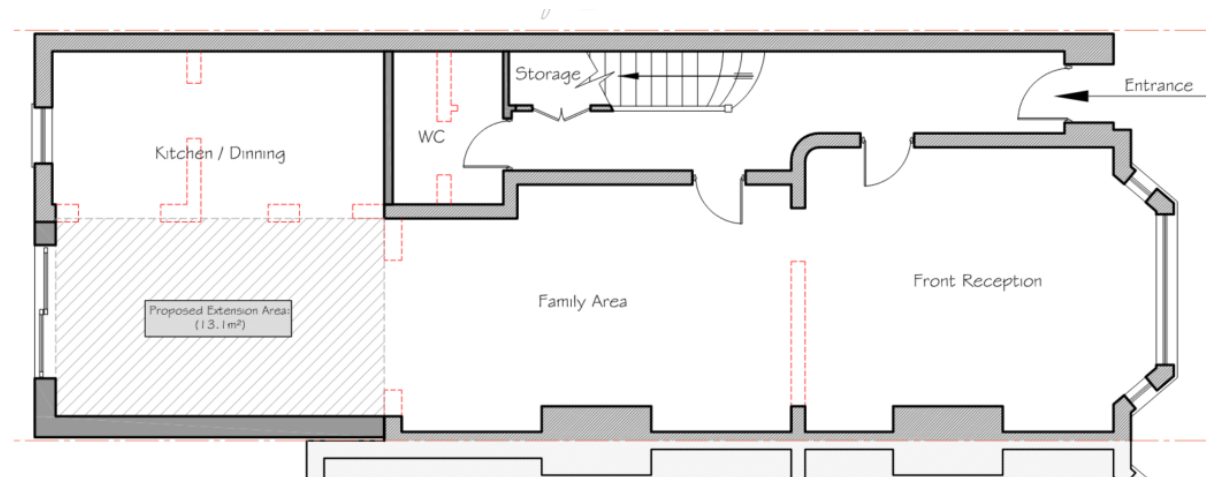


Figure 5. Proposed ground floor plan

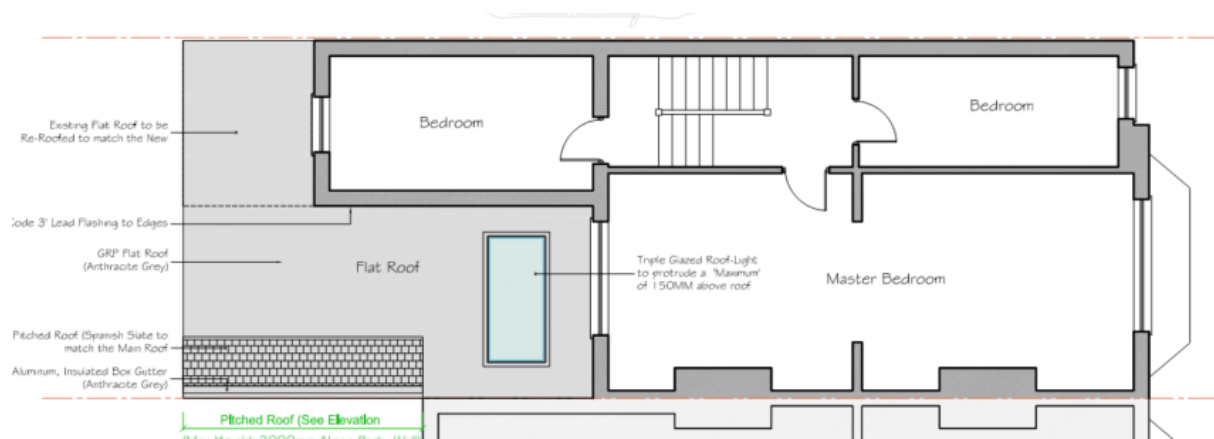


Figure 6. Proposed first floor plan

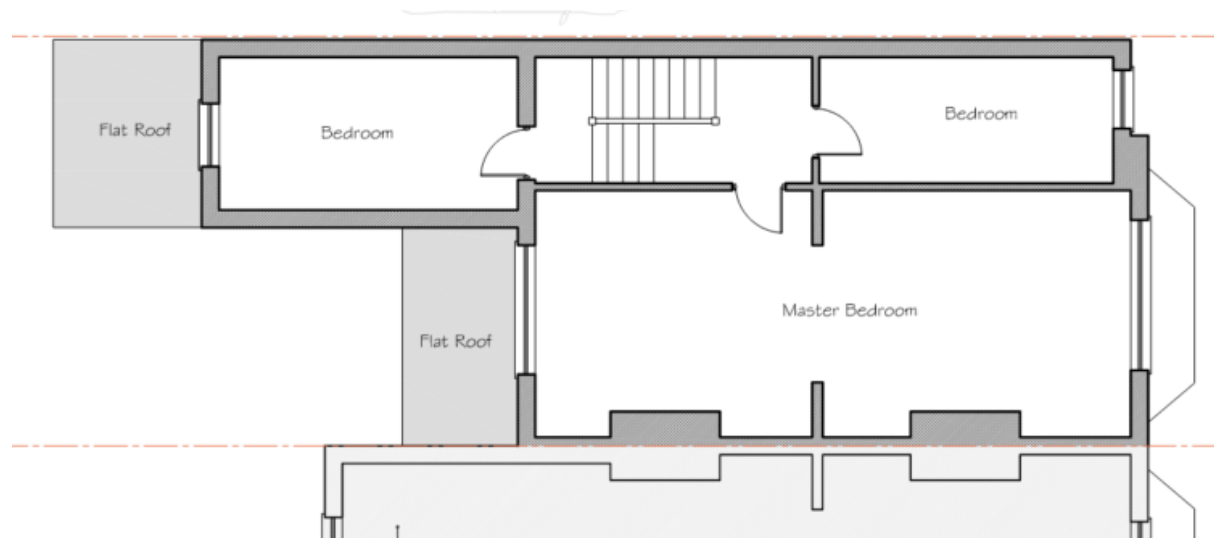


Figure 7. Existing first floor plan



Figure 8. Existing rear elevation



Figure 9. Proposed rear elevation

<b>Delegated Report</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	<b>12/03/2025</b>
		N/A		<b>Consultation Expiry Date:</b>	<b>16/02/2025</b>
<b>Officer</b>			<b>Application Number(s)</b>		
Blythe Smith			2025/0141/P		
<b>Application Address</b>			<b>Drawing Numbers</b>		
2 Camden Park Road London NW1 9BG			Refer to decision notice		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
Erection of a single-storey part width rear extension at ground floor					
<b>Recommendation(s):</b>		Grant Conditional Planning Permission			
<b>Application Type:</b>		Householder Application			



Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. electronic	00		
Summary of consultation responses:	<p>Site notices were posted between 17/01/2025 and expired on 10/02/2025. A press notice was published on 23/01/2025 and expired on 16/02/2025.</p> <p>No comments/objections have been received from neighbouring residents as a result of the consultation process.</p>					
Camden Square CAAC:	<p>The Camden Square CAAC objected as follows:</p> <ul style="list-style-type: none"> <li>Sections and materials are not clearly shown/labelled</li> <li>The roof shape is awkwardly designed with gutter details unclear.</li> </ul> <p><b>Officer response:</b></p> <ul style="list-style-type: none"> <li>The proposed sections and material detailing are shown to a sufficient level to assess the application</li> <li>The design of the roof is assessed within section 2.</li> </ul>					

## Site Description

The application site comprises a three-storey semi-detached property, located near the junction of Camden Park Road and Camden Mews. The majority of the houses on this stretch are constructed with London stock brick. The site is located within the Camden Square Conservation Area and makes a positive contribution to the character and appearance of the conservation area.

## Relevant History

**8903271** - Change of use and works of conversion: two 1 bedroom flats at first and second floor level; one 2 bedroom maisonette at lower ground/ground floor level including balconies at rear ground and first floor levels and retention of existing ground floor retail shop - **Granted 27/04/1989**

**9500641** - Change of use of the front part of the ground floor from retail use (Class A1) to residential use (Class C3 to form a flat at ground floor level and external alterations to ground floor - **Granted 05/04/1995**

**2024/4542/P** - Erection of a single-storey rear infill extension and a part double-storey rear extension with roof terraces at the first-floor level and installation of HVAC units at the second-floor level. – **Withdrawn**

**2024/4540/P** - Erection of a single-storey rear infill extension and a part double-storey rear extension with roof terraces at the first-floor level - **Withdrawn**

## Relevant policies

### National Planning Policy Framework (2024)

### The London Plan (2021)

### Camden Local Plan (2017)

- Policy A1 Managing the impact of development
- Policy D1 Design
- Policy D2 Heritage

### Camden Planning Guidance:

- CPG Home Improvement (2021)
- CPG Amenity (2021)
- CPG Design (2021)

### Conservation Statements:

Camden Square Conservation Area Statement 2011

### Draft Camden Local Plan

The Council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## Assessment

### 1. Proposal

- 1.1. Planning permission is sought for the erection of a single storey extension to the rear elevation at ground floor level, which would infill the space between the existing rear projection and the boundary wall with no. 4 Camden Park Road.
- 1.2. The proposed single storey infill rear extension would measure approximately 3.8m in depth, 3.0m in height (2m at the boundary with No.4 Camden Park Road) and 3.1m in width. The rear extension will be constructed out of a similar London stock brick to match the existing house, with a rooflight and glazed sliding doors to the rear.

### 2. Assessment

- 2.1. The principal considerations material to the determination of this application are as follows:

- Design and Conservation
- Impact on neighbouring amenity
- Biodiversity

### 3. Design and Heritage

- 3.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation areas that fails to preserve or enhance the character and appearance of that conservation area.
- 3.2. Camden Planning Guidance (CPG) on Home Improvements states that rear extensions should subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing. The extension should be built from materials that are sympathetic to the existing building wherever possible and should be carefully scaled in terms of its height, width and depth. The proposed rear infill extension is considered to meet CPG guidance.
- 3.3. The Camden Square Conservation Area Appraisal and Management Strategy states that *"Particular care should be taken when considering development within rear gardens in prominent positions, for example those on corner sites, where the visual impact of a proposal may be greater."*
- 3.4. Camden Park Road is mainly residential in character and the predominant building type is terraced properties. The Conservation Area Appraisal notes development which that results in the loss of private open spaces is unlikely to be acceptable if it is considered to harm the contribution of these spaces to the character and appearance of the conservation area.
- 3.5. The rear garden covers approximately 66sqm and the proposed rear extension would infill the space between the existing outrigger and the boundary wall with no 4. The extension would provide an additional 13.1sqm of internal habitable living space. An acceptable amount of rear garden amenity space would be retained.
- 3.6. The extension would be constructed with matching brick to the host dwelling, with a rooflight and sliding anthracite grey doors and the detailed design is considered appropriate to the appearance of the host building and surrounding context. The proposed rear addition would be a subordinate

addition within its context. As such, the proposed extension is not considered to harm the host property's original character, proportions or appearance.

- 3.7. The proposed works would not be visible from the public realm and would only be visible in private views to the rear from the neighbouring properties. Officers further note that large rear extensions of various sizes and footprints are seen within the local area, notably a two-storey outrigger at No.4 Camden Park Road. In this context, the proposed development would not be out of character. Moreover, the infill addition is small when compared with the amount of garden area that would be retained. As such, the proposed extension is not considered to harm the host property's original character, proportions or appearance.
- 3.8. Given the above, the scheme is considered to be appropriate in terms of height, bulk, mass, materials and detailed design, it is considered that the scheme would not cause harm to the character and appearance of the host property and the wider conservation area. It is therefore considered that the works are in accordance with policies D1 and D2 of the Local Plan 2017.
- 3.9. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

#### **4. Residential Amenity**

- 4.1 Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, and implications to natural light, artificial light spill, odour and fumes as well as impacts caused by the construction phase of development.
- 4.2 The rear infill extension would be approx. 3m high with a chamfered roof towards the neighbouring boundary with No.4 Camden Park Road to mitigate any impact towards the neighbouring rear windows. In addition, the rear elevations are north-east facing and do not currently benefit from much sunlight. Therefore, it is not considered that the proposed extension would cause harm to neighbouring amenity in terms of loss of daylight/sunlight or outlook.
- 4.3 The proposed windows would not face any neighbouring properties and the proposed extension would not project beyond the existing ground floor rear projection.
- 4.4 A condition would be attached to ensure that the flat roof is not used for amenity space. This measure is considered sufficient to preserve neighbouring privacy.
- 4.5 Overall, the works would not significantly impact on the amenity currently enjoyed by neighbouring residents and would therefore comply with Policy A1 of the Camden Local Plan 2017

#### **5 Biodiversity Net Gain**

- 5.1 It is important to note that this development is not subject to Biodiversity Net Gain (BNG) requirements as the application is a Householder Application. An informative has been added to the decision notice in relation to Biodiversity Net Gain and the Applicant's obligations.

#### **6. Recommendation**

- 6.1 Grant conditional planning permission



***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 17<sup>th</sup> March 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2025/0141/P  
Contact: Blythe Smith  
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Date: 10 March 2025

**Development Management**  
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London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE  
Phone: 020 7974 4444  
[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

OSO Designs  
210 Durants Road  
Enfield  
EN3 7DF  
United Kingdom

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted

Address:  
**2 Camden Park Road**  
**London**  
**Camden**  
**NW1 9BG**

# DECISION

Proposal:  
Single Storey Side Infill Extension.

Drawing Nos: Design and Access Statement; Heritage Statement; Sustainable Design and Construction Statement; ARCH-01; ARCH-02; ARCH-03; ARCH-04; ARCH-05; ARCH-06; ARCH-07; ARCH-08; ARCH-09; ARCH-10; ARCH-11; ARCH-12; ARCH-13; ARCH-14; ARCH-15; ARCH-16; ARCH-17; ARCH-18; ARCH-19; ARCH-20; ARCH-21; ARCH-22; ARCH-23

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans

Design and Access Statement; Heritage Statement; Sustainable Design and Construction Statement; ARCH-01; ARCH-02; ARCH-03; ARCH-04; ARCH-05; ARCH-06; ARCH-07; ARCH-08; ARCH-09; ARCH-10; ARCH-11; ARCH-12; ARCH-13; ARCH-14; ARCH-15; ARCH-16; ARCH-17; ARCH-18; ARCH-19; ARCH-20; ARCH-21; ARCH-22; ARCH-23

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The flat roof of the proposed rear extension shall not be used as a roof terrace and any access out onto this area shall be for maintenance purposes only.

Reason: In order to prevent overlooking of the neighbouring premises in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

4 Biodiversity Net Gain (BNG) Informative (1/2):

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

- (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
- (b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because the application is a Householder Application.

++ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
  - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
  - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
  - The application is a Householder Application.
  - It is for development of a "Biodiversity Gain Site".
  - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
  - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

5 Biodiversity Net Gain (BNG) Informative (2/2):

+ Irreplaceable habitat:



If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

++ The effect of section 73(2D) of the Town and Country Planning Act 1990  
If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

++ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer