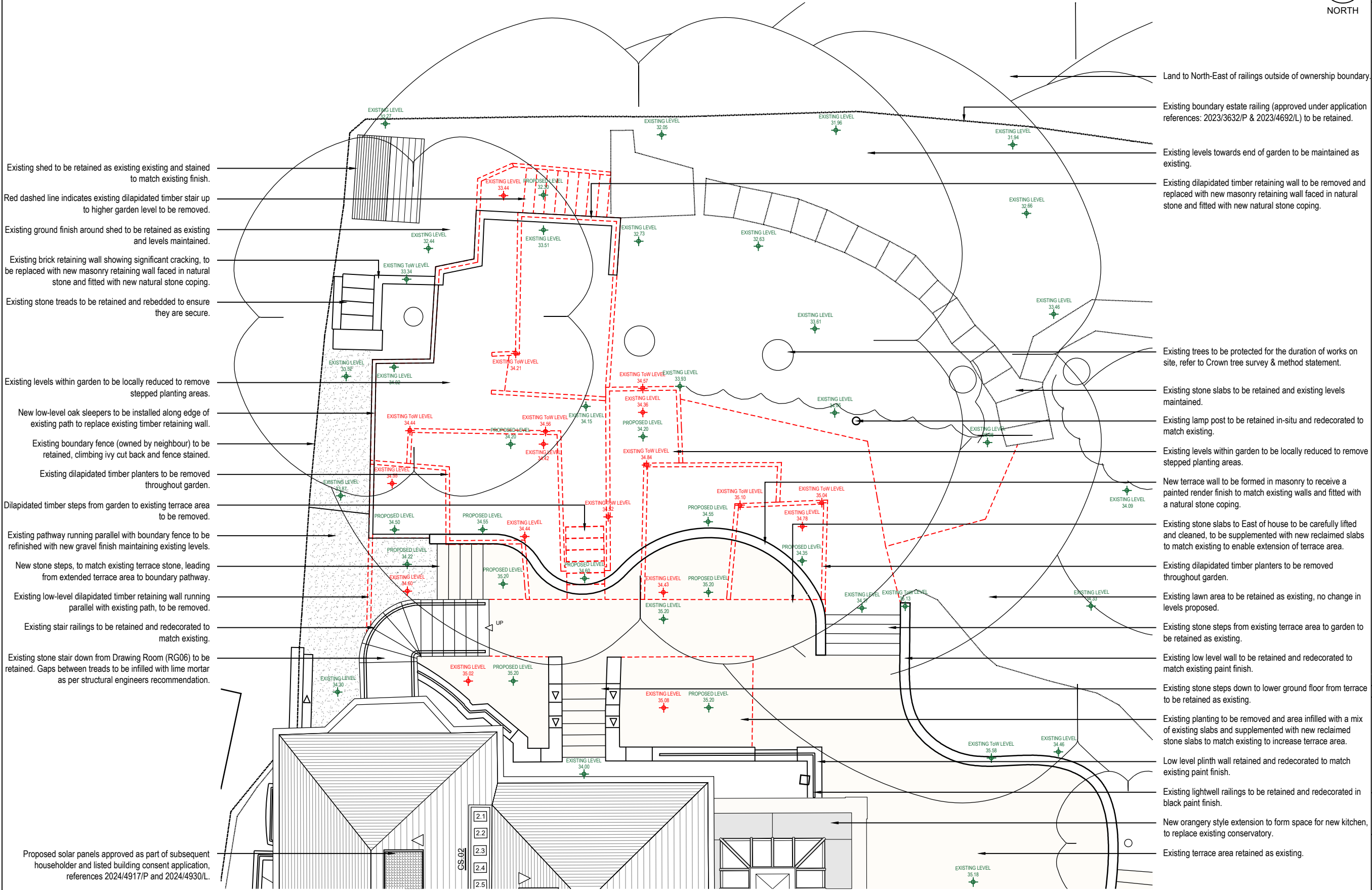




© SIMON MORRAY-JONES. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE WORK COMMENCES. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT. DO NOT SCALE



Existing shed to be retained as existing existing and stained to match existing finish.

Red dashed line indicates existing dilapidated timber stair up to higher garden level to be removed.

Existing ground finish around shed to be retained as existing and levels maintained.

Existing brick retaining wall showing significant cracking, to be replaced with new masonry retaining wall faced in natural stone and fitted with new natural stone coping.

Existing stone treads to be retained and rebbed to ensure they are secure.

Existing levels within garden to be locally reduced to remove stepped planting areas.

New low-level oak sleepers to be installed along edge of existing path to replace existing timber retaining wall.

Existing boundary fence (owned by neighbour) to be retained, climbing ivy cut back and fence stained.

Existing dilapidated timber planters to be removed throughout garden.

Dilapidated timber steps from garden to existing terrace area to be removed.

Existing pathway running parallel with boundary fence to be refinished with new gravel finish maintaining existing levels.

New stone steps, to match existing terrace stone, leading from extended terrace area to boundary pathway.

Existing low-level dilapidated timber retaining wall running parallel with existing path, to be removed.

Existing stair railings to be retained and redecorated to match existing.

Existing stone stair down from Drawing Room (RG06) to be retained. Gaps between treads to be infilled with lime mortar as per structural engineers recommendation.

Proposed solar panels approved as part of subsequent householder and listed building consent application, references 2024/4917/P and 2024/4930/L.

Key

EXISTING LEVEL



Existing level marker highlighted green indicates that existing level is to be maintained as existing.

EXISTING LEVEL



Existing level marker highlighted red indicates that existing level is to be altered.

PROPOSED LEVEL



Proposed level marker highlighted green indicates new level to be formed as part of proposed works.

Note: 'ToW' indicates Top of Wall level.

Land to North-East of railings outside of ownership boundary.

Existing boundary estate railing (approved under application references: 2023/3632/P & 2023/4692/L) to be retained.

Existing levels towards end of garden to be maintained as existing.

Existing dilapidated timber retaining wall to be removed and replaced with new masonry retaining wall faced in natural stone and fitted with new natural stone coping.

Existing trees to be protected for the duration of works on site, refer to Crown tree survey & method statement.

Existing stone slabs to be retained and existing levels maintained.

Existing lamp post to be retained in-situ and redecorated to match existing.

Existing levels within garden to be locally reduced to remove stepped planting areas.

New terrace wall to be formed in masonry to receive a painted render finish to match existing walls and fitted with a natural stone coping.

Existing stone slabs to East of house to be carefully lifted and cleaned, to be supplemented with new reclaimed slabs to match existing to enable extension of terrace area.

Existing dilapidated timber planters to be removed throughout garden.

Existing lawn area to be retained as existing, no change in levels proposed.

Existing stone steps from existing terrace area to garden to be retained as existing.

Existing low level wall to be retained and redecorated to match existing paint finish.

Existing stone steps down to lower ground floor from terrace to be retained as existing.

Existing planting to be removed and area infilled with a mix of existing slabs and supplemented with new reclaimed stone slabs to match existing to increase terrace area.

Low level plinth wall retained and redecorated to match existing paint finish.

Existing lightwell railings to be retained and redecorated in black paint finish.

New orangery style extension to form space for new kitchen, to replace existing conservatory.

Existing terrace area retained as existing.

PLANNING

P1 - Issued to Planning for condition discharge. 14.03.2025
A - Issued to Client for comment. 14.03.2025

Revision Date


SIMON MORRAY-JONES
CHARTERED ARCHITECTS & DESIGNERS
21 MILSOM STREET, BATH BA1 1DE
TEL: 01225 787900 FAX: 01225 787901
EMAIL: sm-j@sm-j.com

Client

Elisabeth Krohn

Project

**10 Park Village West,
Camden, London
NW1 4AE**

Drawing Title

Proposed Site Plan Extract

Scale @ A3

1:100

Job Number

1328

Drawn By

SLK

Drawing Number

100.3

Date

July 2023

Revision

P1

0m 2m 4m

Scale: 1:100