

# Cookery School Means of Escape (MOE) Kings Cross Fire Escape

## DESIGN & ACCESS STATEMENT including Sustainability Statement and Schedule of Works

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Date: 11/03/2025

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# I. INTRODUCTION

This Design and Access Statement has been prepared to support a planning application submission for the installation of a new Means of Escape (MOE) which allows the Cookery School a dedicated secondary fire escape. The proposal in this document seeks to provide a dedicated escape corridor for the cookery school unit, whilst being sensitive to the existing historic building. The proposed works are minor in scale and have been carefully designed to respect the architectural character and historical significance of this landmark structure whilst ensuring the MOE meets functional requirements.

The cookery school currently uses the shop floor as its secondary escape as shown. The toilets of the Waitrose Store mean that the new escape corridor will have to be a shared space which is then separated in the event of a fire.

The elevation for the proposed intervention is a prominent and historic façade within London's most iconic transport hub. The design approach prioritises minimal intervention, ensuring the additions are both structurally appropriate and visually cohesive with the existing building. This statement outlines the key design considerations, addressing the following objectives:

- Ensuring the proposed works align with the aesthetic and heritage context of the Kings Cross Waitrose Store.
- Demonstrating compliance with relevant planning policies and guidelines for developments in central London.

By balancing functionality with sensitivity to the site's architectural and urban context, this submission demonstrates that the installation of a new MOE door and additional glazing will preserve local seasonal traditions while providing a sustainable, future-proof, and pragmatic solution.

It is important to note that the existing building is listed and any impacts on heritage must be considered in detail.



Waitrose Kings Cross - Palmer Bridgers Photography ©



## 2. SITE CONTEXT AND BUILDING BACKGROUND

### 2.1 Site Address

1 Wharf Road, London, N1C 4BZ

### 2.2 Site Overview

The Waitrose Store is located within the rejuvenated Kings Cross area, one of London's busiest and most iconic Transport hubs. Situated near the Grand Union / Regent's Canal, the store occupies a prominent position in the pedestrian route to the station.

The building's surrounding has seen an influx of changes in the time since Waitrose took occupancy of the Midland Goods Shed (MGS). Its East Elevation now borders the ArtHouse residential units, while the South Elevation has seen the canal and surrounding area improve drastically. As the Midland Goods Shed is a Grade 2 listed structure, the previous development of the Store required the necessary approvals for any work done. The site and its surroundings also lay within the London Borough of Camden Council. The area is designated by The London Borough of Camden Council to protect its architectural and historic significance, ensuring that any alterations respect the character of the surrounding streetscapes. The building is also located within the Regent's Canal Conservation Area.

The store is surrounded by mixed use spaces, such as the ArtHouse residential developments, a variety of restaurants and bars, as well as commercial offices, contributing to a vibrant commercial environment. With excellent transport links, the site is easily accessible to both residents and international visitors.



Aerial Image of Waitrose Kings Cross Store in Context



2.3 Historical Background & Architectural Character

The MGS was built in 1850 as a single storey carriage shed by Lewis Cubitt to serve as the temporary GNR Passenger Terminus at Maiden Lane. By 1852, when the main terminus opened, the shed was used to house offices and blacksmiths’ workshops. Later alterations made to the building during the 19th Century included the introduction of platforms, riveted plate girders and cast iron columns, the addition of an extra storey on the Front Office Building at the southern end of the MGS, and an accumulator tower with tank and hydraulic ram. The West Handyside Canopy was installed in 1888. The addition of the Waitrose Store has ensured the buildings complex architectural history is exposed and expressed throughout both the Waitrose Store and Cookery School.



MGS Previous to the Waitrose store intervention



MGS Previous to the Waitrose store intervention



MGS Previous to the Waitrose store intervention



2.4 Heritage & Conservation

As discussed, the Grade 2 listed site indicated is situated within a Conservation Area.

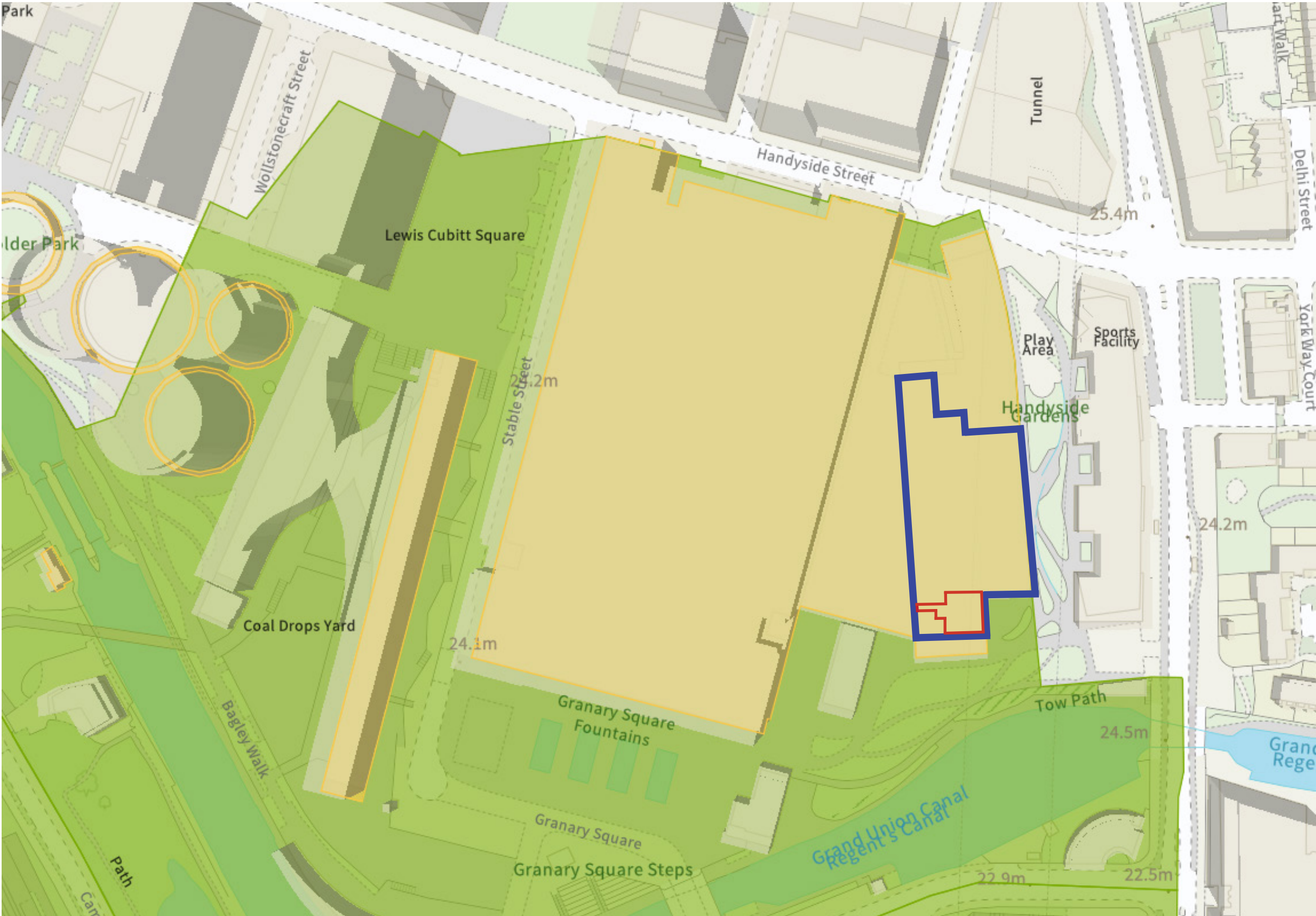
It is important to note that no changes to the existing structure are to take place (the only changes are to the existing shopfront), which will work towards maintaining the heritage of the site.

Site Plan Key

- Property Boundary
- Extent of Proposal

Data layers

- Conservation area
- Listed building outline



Plan indicating Site's placement within Conservation Area

2.5 Flood Risk

The site is categorised under Flood Zone I, meaning that the location and its immediate surroundings have a low probability of flooding - particularly from rivers and the sea.

Flooding from groundwater and reservoirs are unlikely to occur in this area.

There is, however, a higher risk of surface-water related flooding that could occur in the future.

Due to the site being under 1 hectare in size, a full flood risk assessment is not required.

Site Plan Key

Property Boundary

Extent of Proposal

Key:

Site

Flood zone 3

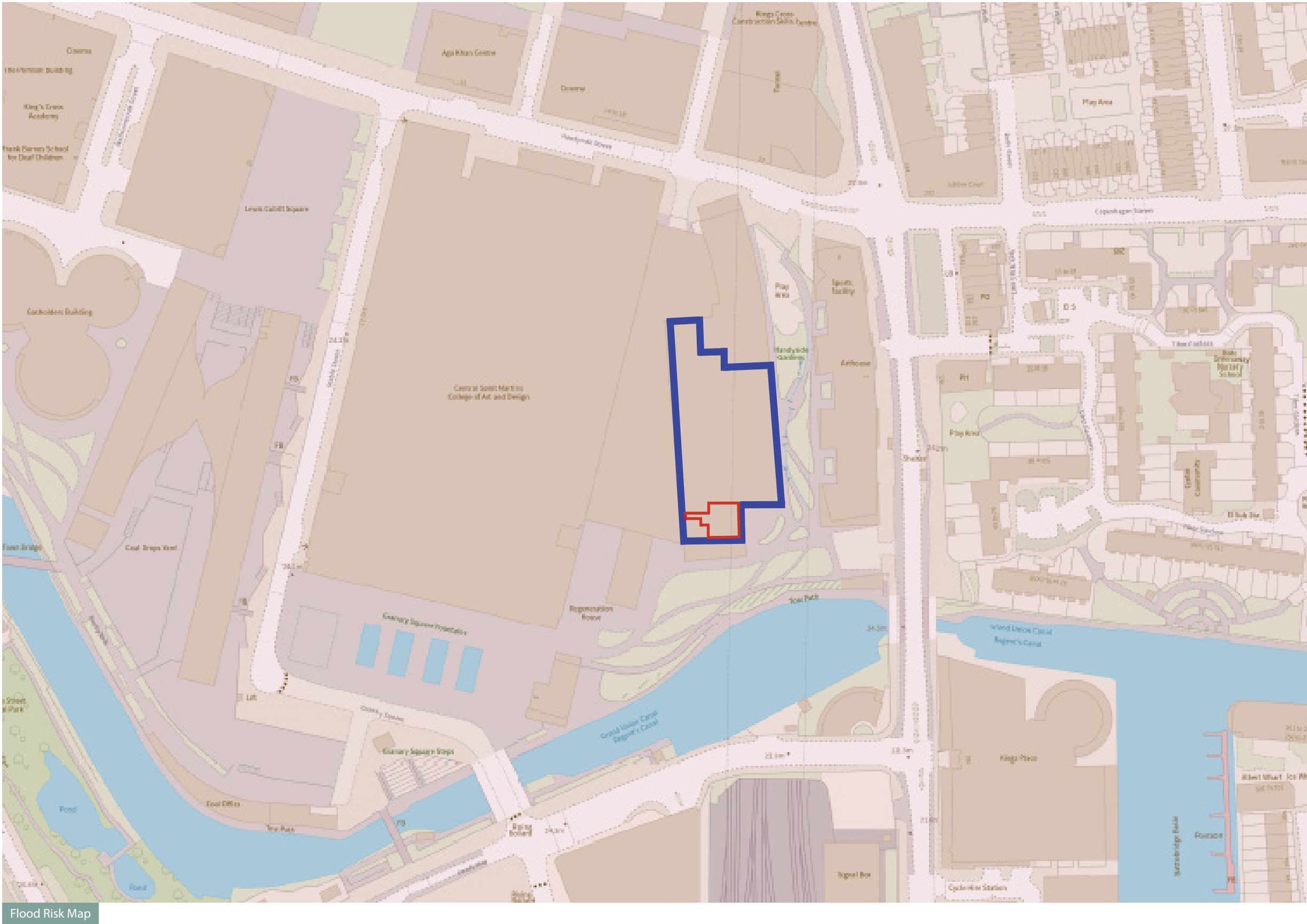
Flood zone 2

Flood zone 1

Flood defence

Main river

Water storage area



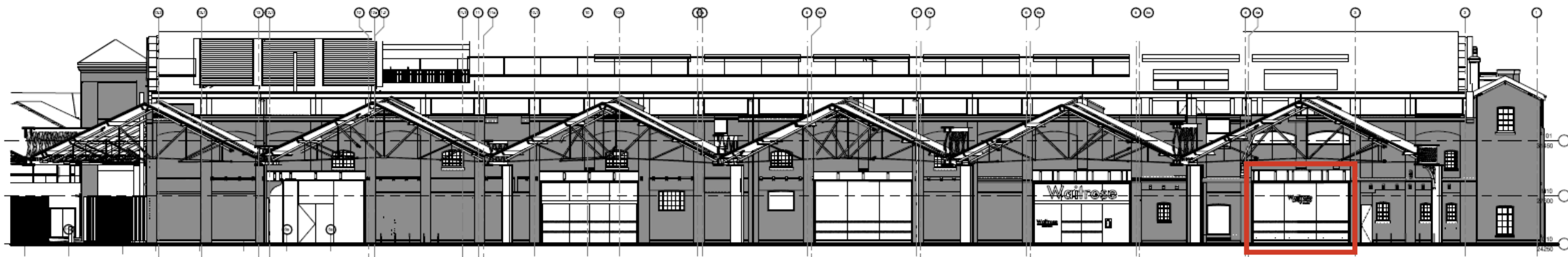


## 3. PROPOSAL

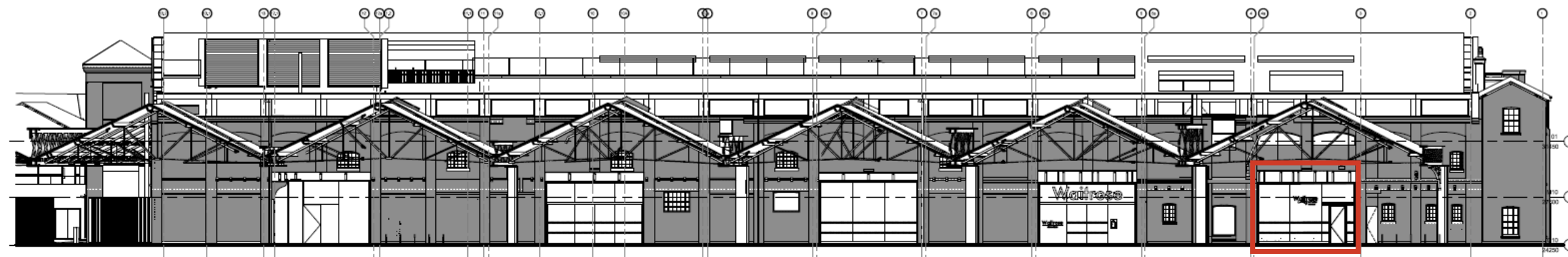
### 3.1 Proposal Scope and Design Philosophy

The proposal uses the large window openings in the facade to accommodate the required escape width. This requires a new corridor to be built in order to reach the opening, which would decrease the size of the existing cafe. The new corridor would be formed with a suspended ceiling to create a tunnel, instead of being full height and meeting the protected ceiling.

Note: Based on the original pre-application document, the elevation had to change slightly, due the position of an existing manhole internally. This has resulted in the proposed corridor widening from 1590mm to 2058mm. Therefore, we are proposing to have glazing side panels on each side of the new MOE, due to the widening of the corridor.



Existing West Elevation



Proposed West Elevation



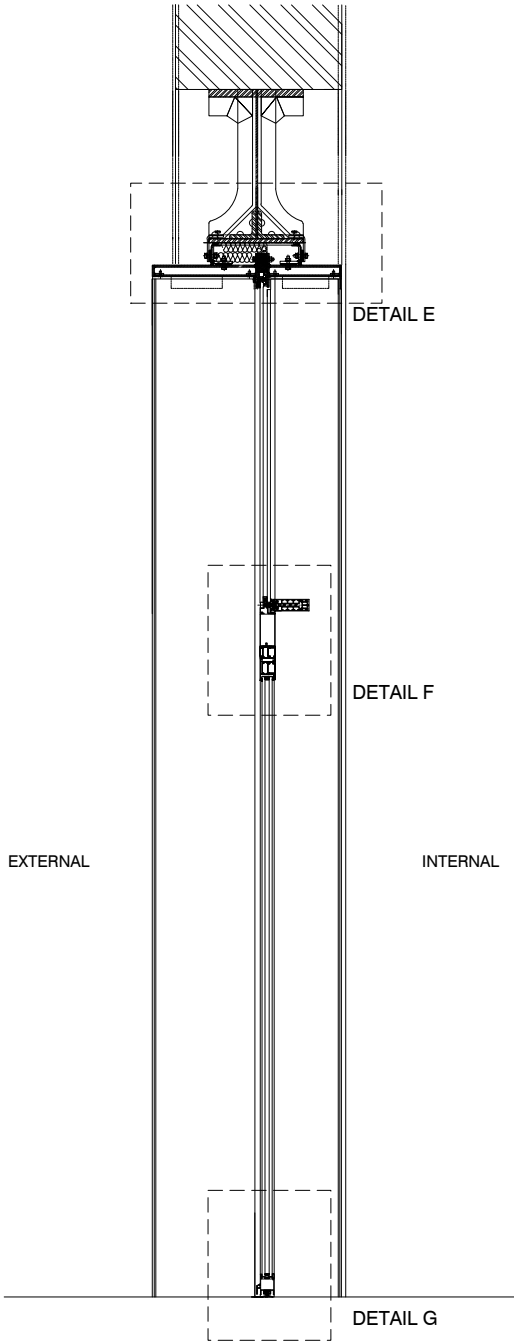
3.2 Detailed Drawing of Proposed Door



1 DETAILED ELEVATION OF PROPOSED DOOR  
1 : 10



3 DETAILED PLAN OF PROPOSED DOOR  
1 : 10



2 DETAILED SECTION OF PROPOSED DOOR  
1 : 10

NOTE: READ IN CONJUNCTION WITH DRAWING  
NUMBER XXXXX-BAR-CR-XX-DR-T-31141 FOR  
DETAILED DRAWING OF FRAMING / TRANSOM

### 3.3 Sustainability & MOE

JLP are committed to introducing greater fire safety standards to all JLP and Waitrose Stores where necessary. The proposal will also allow the Cookery School to function independently, as the current method of entering and exiting is solely through the store entrance. This will allow the main functions of the store to be shut off when only the Cookery School is occupied, cutting down significantly on any energy usage. Additionally, the introduction of the additional pathway into the Cookery School will allow for a possibility of community good, in the manner of later scheduled cooking lessons. The current opening and closing times of the Store affects the operation hours of the Cookery School.

In regards to materiality, the proposal seeks to use similar material and finishes for the intervention. Glass and Aluminium are considered the most widely recyclable materials, and given the existing structure is made from the aforementioned materials, the proposal will seek to follow in the same design ethos and maintain the use of the same widely recyclable materials.

The new shopfront colour is set to match existing RAL 7015.

### 3.4 Schedule of Works

One third part of the existing shopfront on the West Elevation is to be removed carefully by Shopfront contractor.

Replace with new glazing, shopfront sections, and new MOE door with push bar on inside for escape purposes. Door to have Mag lock and alarm contact for security (see separate existing and proposed West Elevation drawings).

Make good all finishes & new finishes to match existing finishes.

All new glazing, shopfront sections and new door to Glazing Contractors detail and design colour to match existing finish RAL 7015.

New threshold to match existing threshold at main entrance to store.

Construct a new 60mins fire rated wall and ceiling to form a new escape corridor for secondary exit from the existing Cookery School.

Decorate wall & ceiling as required to match existing. New services as required to be confirmed by M&E Consultant.

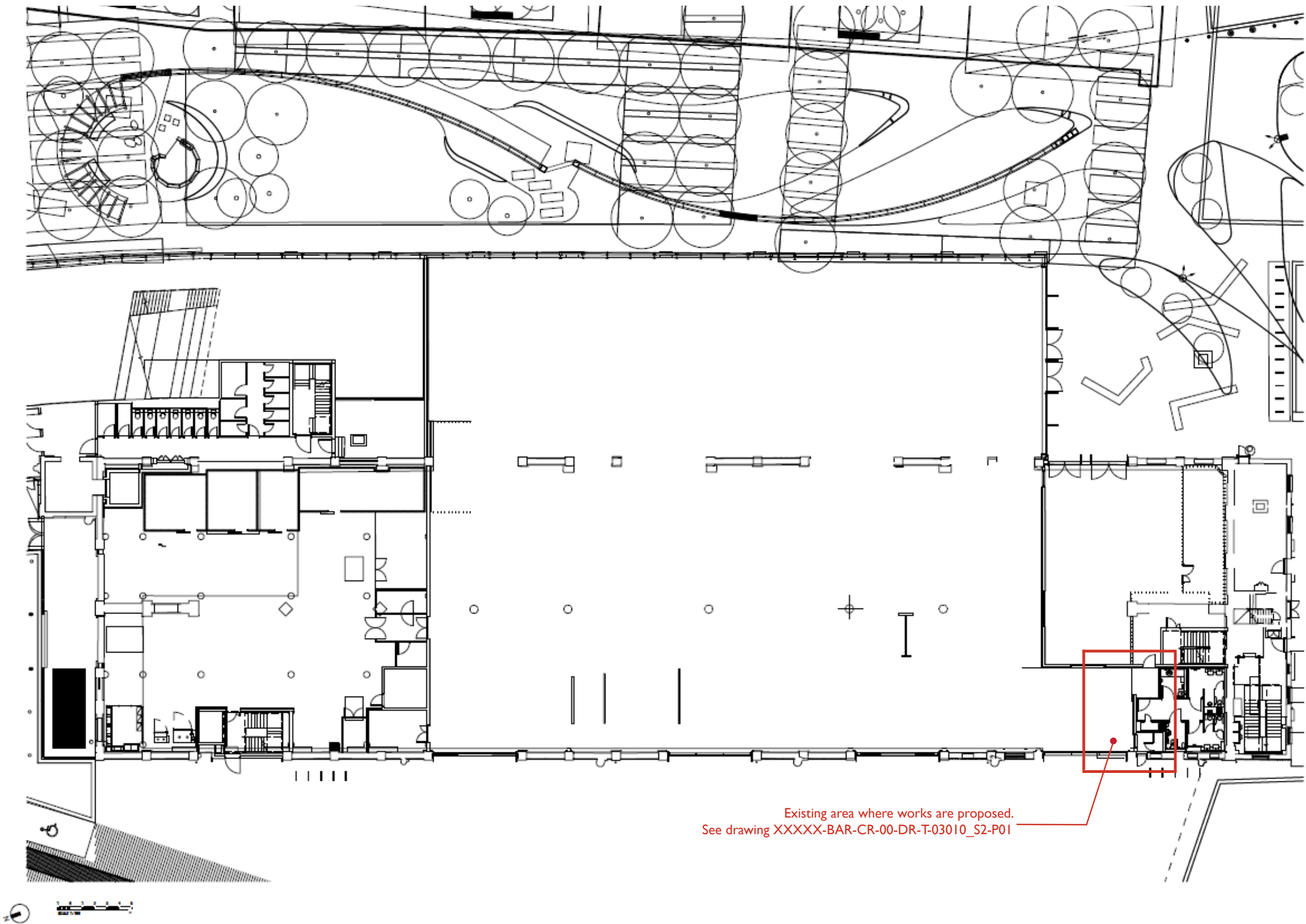
Fit new 60mins fire rated double doors in new wall to Waitrose design, detail & colour finish.

Existing non fire rated walls around customer toilets to be upgraded to 60mins fire rating.

Replace existing non fire rated door with 60mins new fire rated door to Waitrose design, detail & colour finish.

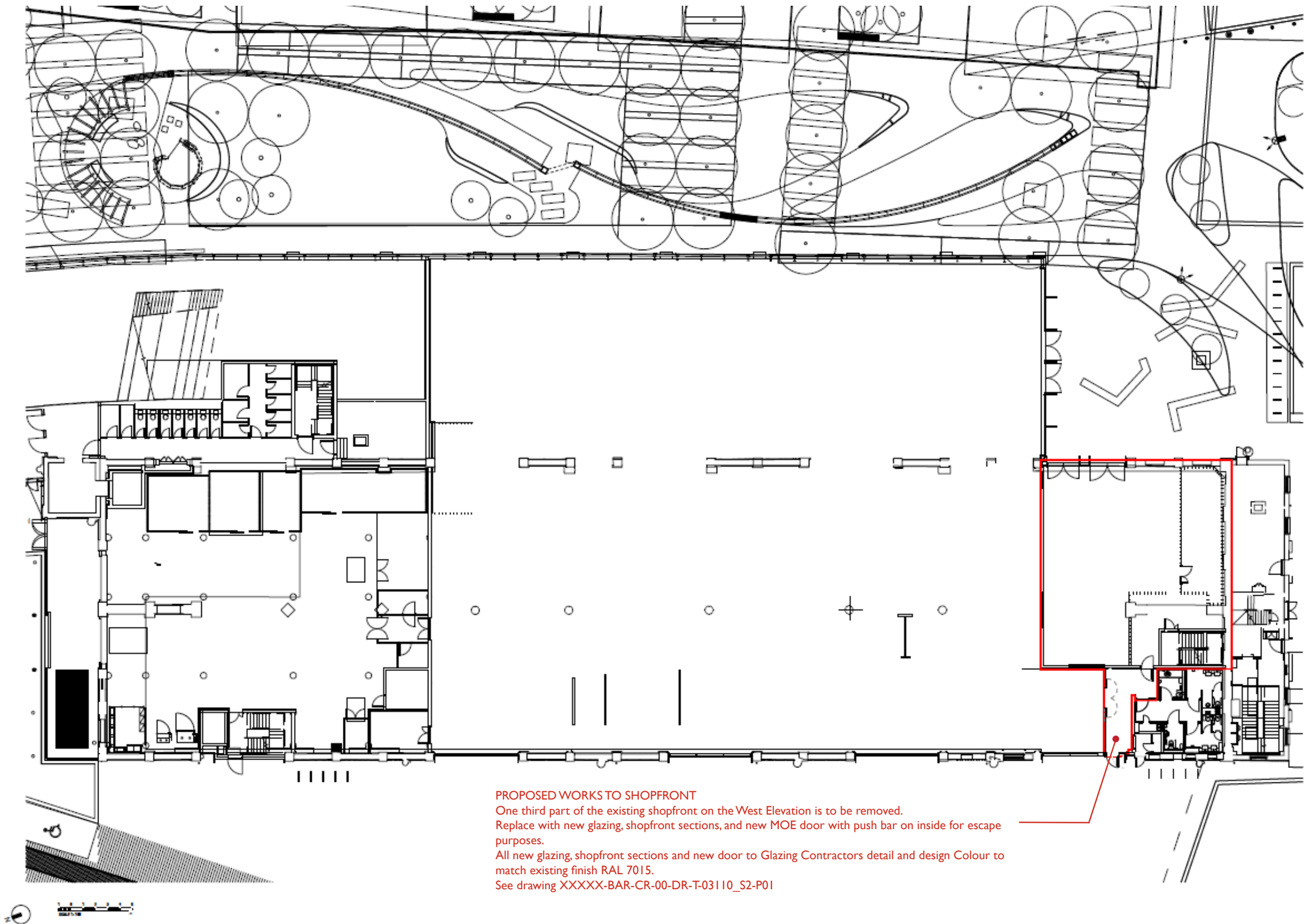


3.5 Existing Ground Floor Plan



3.6 Proposed Ground Floor Plan

**Key**  
 Extent of Proposal





## 4. CONCLUSION

To reiterate and re-emphasise, the proposal in this document seeks to provide a dedicated escape corridor for the Cookery School unit, whilst being sensitive to the existing historic building. The proposed works are minor in scale and have been carefully designed to respect the architectural character and historical significance of this landmark structure whilst ensuring the MOE meets its functional requirements. The elevation changes are very minor and will not affect the existing look of the existing historical building. The proposed alterations will not detrimentally affect the architecture or the plan of the existing building and its context.

