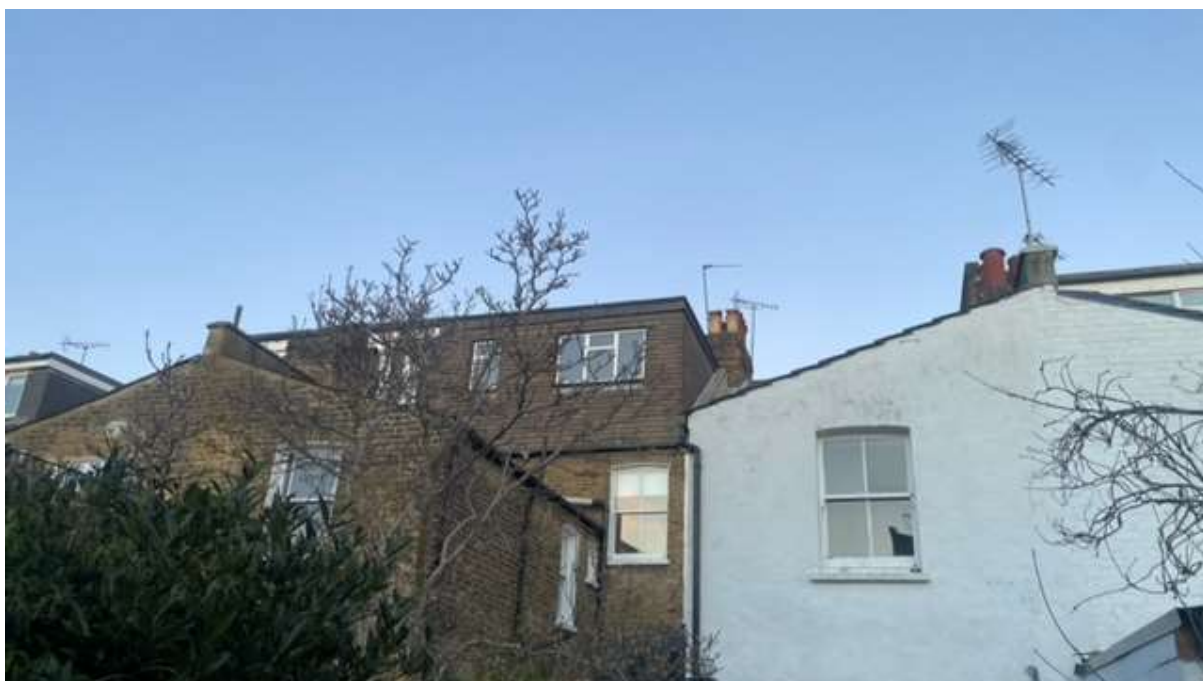


# Design Access/ Planning & Heritage Statement with Photographic Montage

29 Solent Road, London, NW6 1TP



Front elevation



Rear Elevation to outrigger



Rear Elevation to main house on 1<sup>st</sup> floor

## Design Statement

### Introduction

This Statement has been prepared on behalf of our client to support their application for the replacement windows to the front and rear of their property.

The property is in the London Borough of Camden and is not listed or in a conservation area.

The application site comprises a mid-terraced 4 bedroomed house over 3 floors.

The proposed works involve the replacement of 11 timber windows with Upvc as identified within the planning drawings submitted in a style to replicate the existing sash windows.

### **Location Plan of NW6 1TP**



Site location plan

### Access Statement

To remain as existing.

## Heritage Statement

### Overview:

This heritage statement has been prepared to accompany the planning application for replacing the existing timber windows with uPVC like for like layout.

The property is situated at 29 Solent Road, NW6 1TP and is located within the Camden area. The property is not within a conservation area.

The current windows are timber framed sash type and are single glazed.

### Historical context:

The property is a mid-terraced Victorian property built between 1870-1900 and is situated in a street of very similar properties.

The property is not within a conservation area or is listed.

The external façade of the building has been painted with rendered white details and traditional timber sash windows.

### The proposal:

This heritage statement supports a planning application to replace the existing timber sash windows with double-glazed Upvc ones.

The existing windows need replacement primarily because of their poor thermal performance, security issues, and overall condition.

The proposed new windows will be double-glazed, significantly improving their thermal performance and providing a more comfortable living environment for the residents.

The proposed new windows will maintain the existing layouts and new materials will be of similar visual appearance to existing materials.

### Heritage impact assessment:

Some properties on Solent Road have already had their windows replaced with uPVC windows. While maintaining a similar appearance, material, and fenestration is typically important to preserve local character, the significant changes already made to the road suggest that replacing the windows with matching style would be the most suitable option.

Installing new uPVC double-glazed windows is not expected to significantly impact the local coherent visuals, as some properties have already been updated.

To mitigate negative impact the proposed windows will closely match the design and colour of the existing and the fenestration will also match existing.

The proposed works will not impact the scale of the existing building.

Landscaping will remain unaffected by this proposal.