

DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
08.04.2022	DRAWING FOR CLIENT			
08.08.2022	DRAWING PLANING SUBMISSION			
11.01.2023	PLANNING SUBMISSION			

**NOTES:**

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
3. DO NOT SCALE UP TO BE USED IN CONSTRUCTION WITH ALL ENGINEER'S DRAWINGS
4. THE DRAWING IS THE PROPERTY OF BEN ADAMS ARCHITECTS & ENGINEERS AND IS TO BE KEPT AS SUCH AS POSSIBLE
5. WHEN THIS DRAWING IS ISSUED IN DWG FORMAT IT IS AN UNCONTROLLED VERSION UNLESS THE RECIPIENT TO REPEAL THEIR OWN RECORDS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE
6. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATION OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

--- SITE BOUNDARY

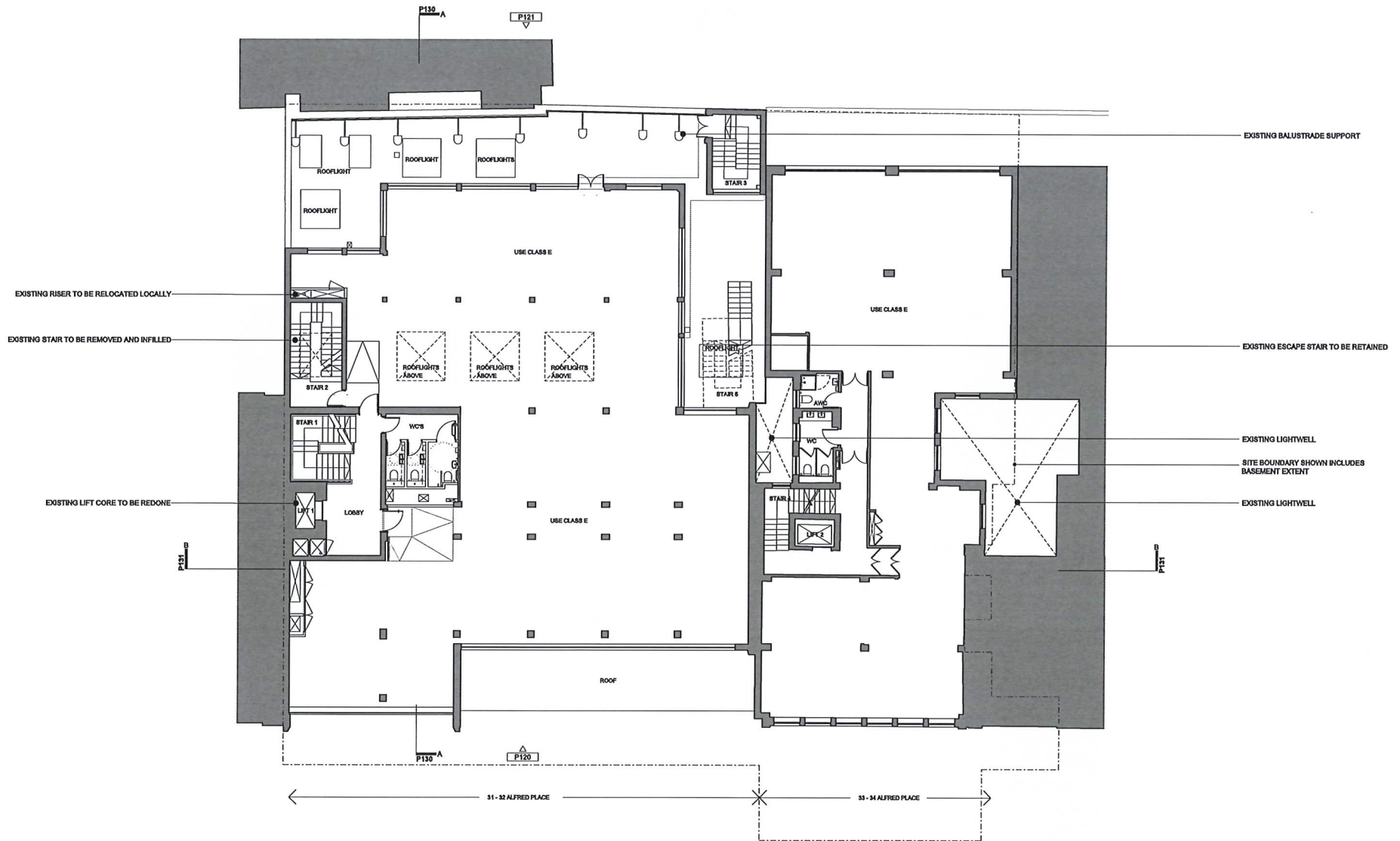
**Ben Adams Architects**

15th Floor, 15 Abchurch Lane, London EC4N 3DF

Tel: +44 (0)20 7424 1000  
 Email: info@benadamsarchitects.co.uk  
 Website: www.benadamsarchitects.co.uk

**JOB NO:** 21-01F  
**SCALE:** 1:200 @ A3 1:100 @ A1  
**STAGE:** PLANNING

**DRAWING NAME:** EXISTING GROUND FLOOR PLAN  
**PROJECT NAME:** ALFRED PLACE  
**DRAWING NO:** P100/B



REV.	DATE	DESCRIPTION
-	24.04.2022	DRAFT SB/E FOR CLIENT
A	08.06.2022	DRAFT PLANNING SUBMISSION
B	13.06.2022	PLANNING REVISION

REV.	DATE	DESCRIPTION

**NOTES:**

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS
4. WORK SHALL BE IN ACCORDANCE WITH THE DRAWINGS
5. REPORT ANY ERRORS, CONTRADICTIONS & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
6. WHEN THE DRAWING IS REVISED IN LINDA FORMAT IT IS AN UNCONTROLLED VERSION DESIGNED TO ENABLE THE RECIPIENT TO REPAIR THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION SUPPLIED AT TIME OF ISSUE. ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

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**Ben Adams Architects**

1021 9311000  
100, Church Street  
London, SE1 2 8P

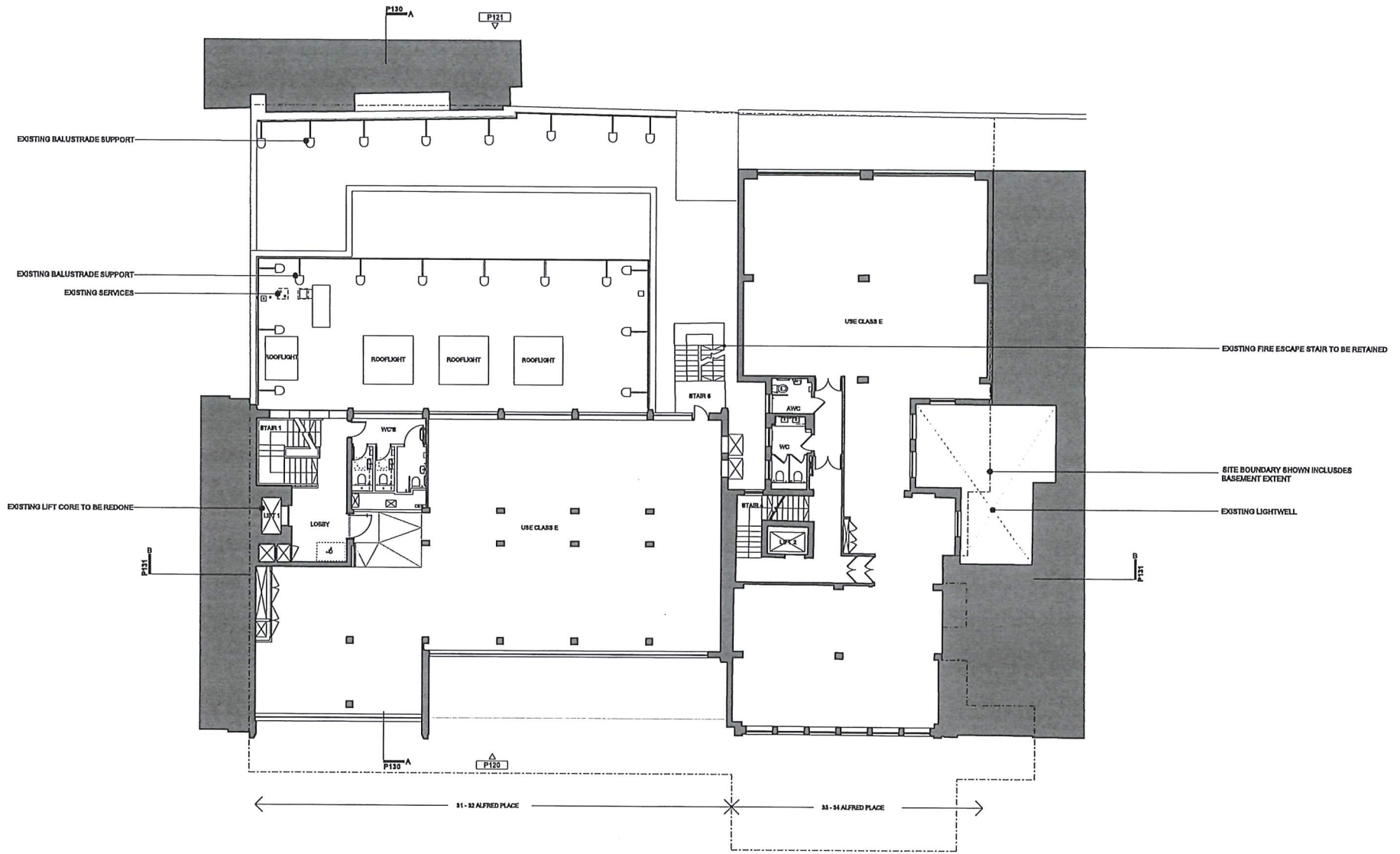
Ben@benadams.co.uk  
1-800-444-1000  
+44 (0)20 7464 1000

**JOB NO:** 21-015  
**SCALE:** 1:200 @ A3 1:100 @ A1  
**STAGE:** PLANNING

**DRAWING NAME:** EXISTING FIRST FLOOR PLAN

**PROJECT NAME:** ALFRED PLACE

**DRAWING NO:** P101/B



DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
26.04.2023	DRAFT BMR FOR CLIENT			
06.04.2023	DRAFT PLANNING SUBMISSION			
16.04.2023	PLANNING SUBMISSION			

REV.	DATE	DESCRIPTION

**NOTES:**

1. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED.
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS.
4. DO NOT SCALE FROM THIS DRAWING.
5. REPORT ANY ERRORS, CONFLICTS, OMISSIONS & AMBIGUOUS TO THE ARCHITECT AS SOON AS POSSIBLE.
6. WHERE THE DRAWING IS SUBJECT TO AN UNCONTROLLED VERSION ISSUED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT THE TIME OF ISSUE.
7. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

--- SITE BOUNDARY

**Ben Adams Architects**

**DRAWING NAME:** EXISTING SECOND FLOOR PLAN

**PROJECT NAME:** ALFRED PLACE

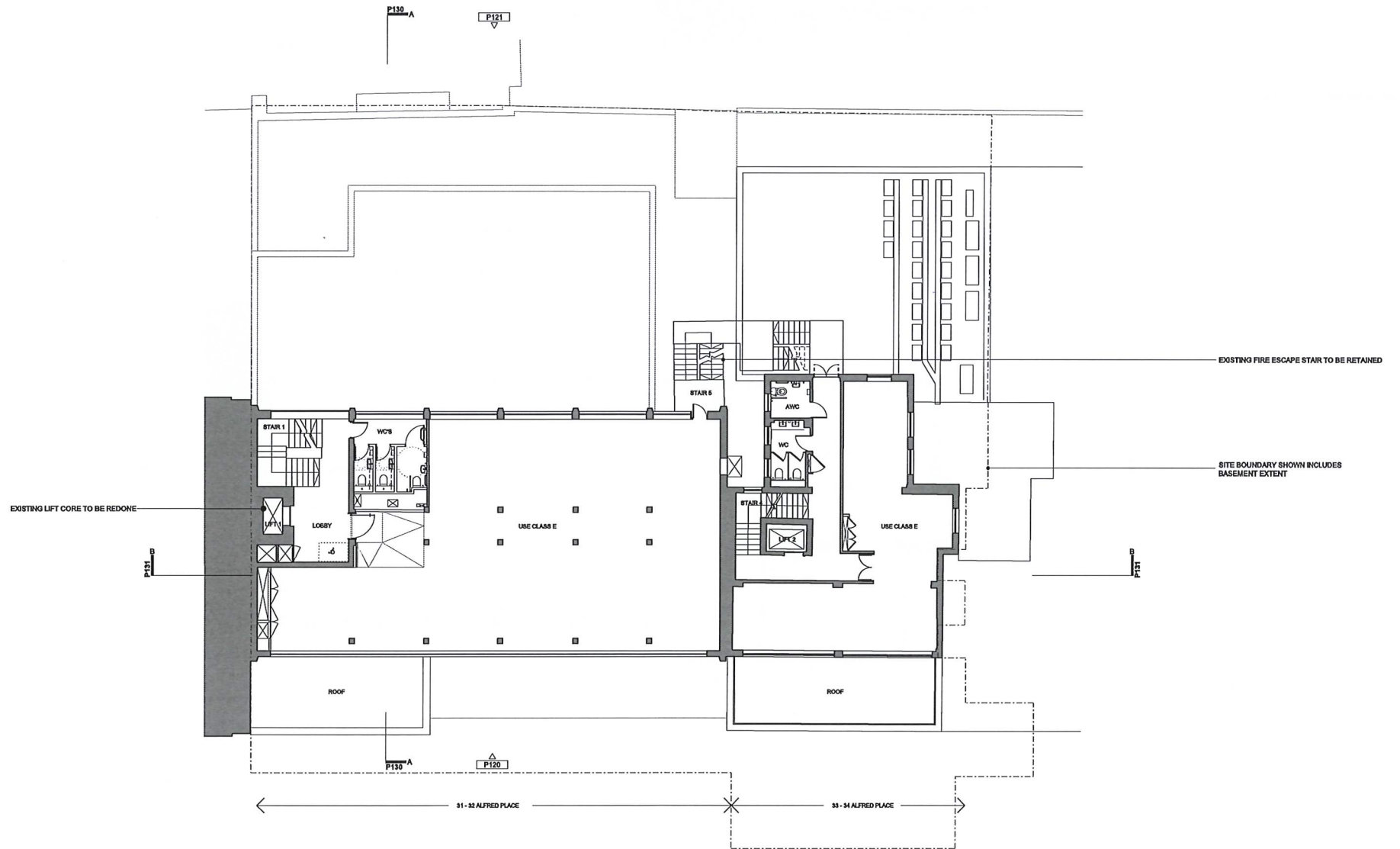
**JOB NO:** 21-0115

**SCALE:** 1:200 @ A3 1:100 @ A1

**STAGE:** PLANNING

**DRAWING NO:** P102/B





REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
-	20.04.2023	DRAFT TABLE FOR CLIENT			
A	06.06.2023	DRAFT PLANNING SUBMISSION			
B	13.06.2023	PLANNING SUBMISSION			

**NOTES:**

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2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS
4. DO NOT SCALE FROM THIS DRAWING
5. REPORT ANY ERRORS, CONTRADICTIONS, & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
6. WHEN THIS DRAWING IS ISSUED IN DWG FORMAT IT IS AN UNCONTROLLED VERSION DESIGNED TO ENABLE THE SUBMITTER TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE
7. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

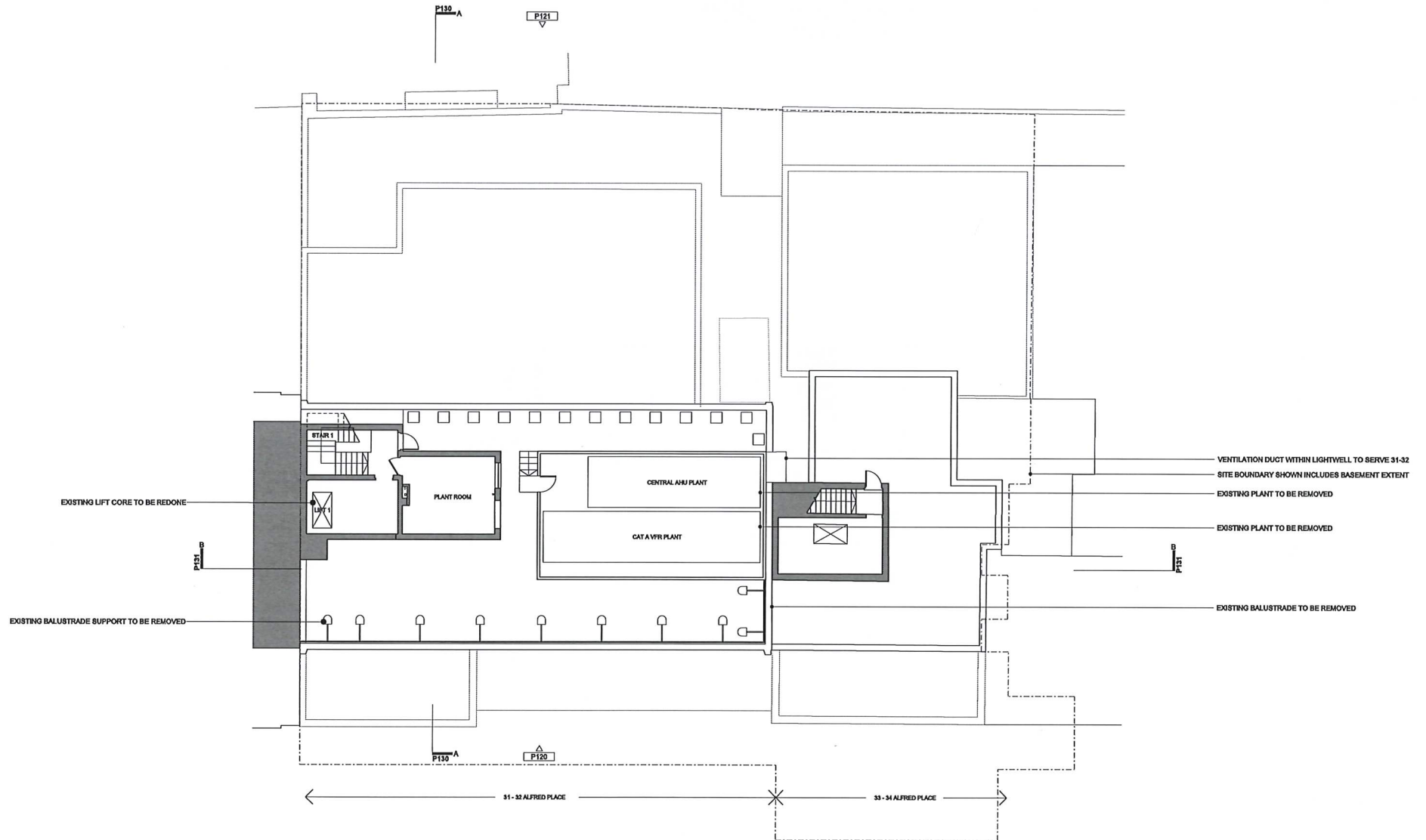
--- SITE BOUNDARY

**Ben Adams Architects**

1101 A33 1000  
Ben Adams Architects Ltd  
48-50 Warwick Road, London SE12 7JF

<b>DRAWING NAME:</b>	<b>EXISTING FIFTH FLOOR PLAN</b>
<b>PROJECT NAME:</b>	<b>ALFRED PLACE</b>
<b>DRAWING NO.:</b>	<b>P105/B</b>

<b>JOB NO.:</b>	<b>21-015</b>
<b>SCALE:</b>	<b>1:200 @ A3 1:100 @ A1</b>
<b>STAGE:</b>	<b>PLANNING</b>



- VENTILATION DUCT WITHIN LIGHTWELL TO SERVE 31-32
- SITE BOUNDARY SHOWN INCLUDES BASEMENT EXTENT
- EXISTING PLANT TO BE REMOVED
- EXISTING PLANT TO BE REMOVED
- EXISTING BALUSTRADE TO BE REMOVED



REV.	DATE	DESCRIPTION
-	26.04.2022	DRAWING MADE FOR CLIENT
A	06.06.2022	DRAWING PLANNING SUBMISSION
B	19.06.2022	PLANNING SUBMISSION

REV.	DATE	DESCRIPTION

**NOTES:**

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- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS
- DO NOT SCALE FROM THIS DRAWING
- REPORT ANY ERRORS, CONTRADICTIONS & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
- WHERE THIS DRAWING IS ISSUED IN DWG FORMAT IT IS AN UNCONTROLLED VERSION UNLESS THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE.
- BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

--- SITE BOUNDARY

Ben Adams Architects

1000 N. 10th Street  
Seattle, WA 98109  
USA

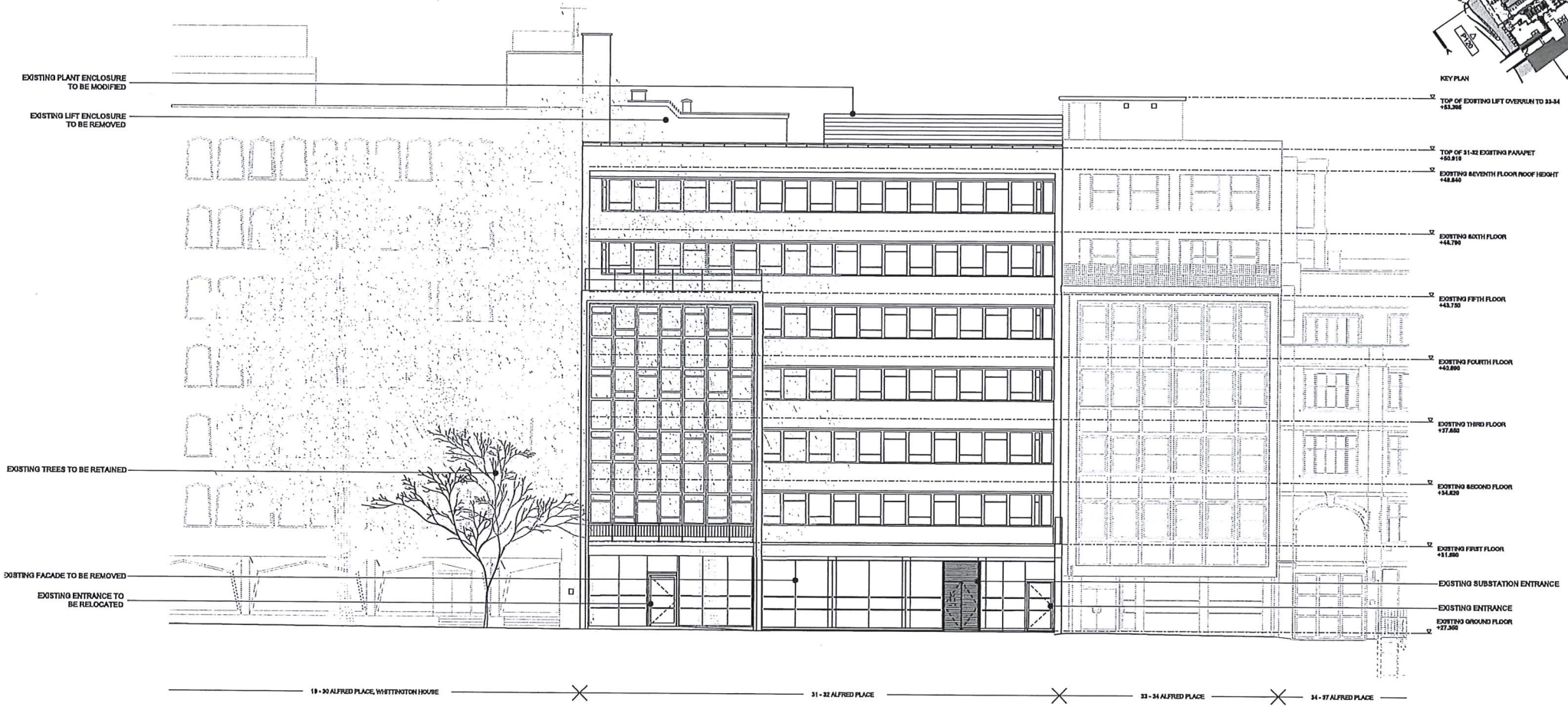
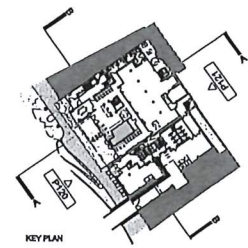
0207 833 1000  
ben@benadams.com  
+44 (0)20 7494 7700

**JOB NO:** 21-015  
**SCALE:** 1:200 @ A3 1:100 @ A1  
**STAGE:** PLANNING

**DRAWING NAME:** EXISTING SEVENTH FLOOR/ ROOF PLAN

**PROJECT NAME:** ALFRED PLACE

**DRAWING NO:** P107/B



REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
-	20.04.2022	DRAFT ISSUE FOR CLIENT			
A	04.08.2022	DRAFT PLANNING SUBMISSION			
B	14.08.2022	PLANNING SUBMISSION			

**NOTES:**

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED
2. THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
3. THE DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
4. DO NOT SCALE FROM THIS DRAWING
5. REPORT ANY ERRORS, CONTRADICTIONS & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
6. WHEN THE DRAWING IS ISSUED IN DWG FORMAT IT IS AN UNCONTROLLED VERSION BEAWARE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT THE DATE OF ISSUE.
7. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

**Ben Adams Architects**

14-15 ALFRED PLACE  
LONDON W1B 4EJ  
020 7463 1000  
info@benadams.co.uk  
www.benadams.co.uk

**DRAWING NAME:** EXISTING ELEVATION A

**PROJECT NAME:** ALFRED PLACE

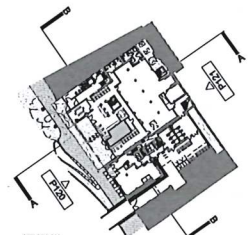
**JOB NO:** 21-015

**SCALE:** 1:200 @ A3 1:100 @ A1

**STAGE:** PLANNING

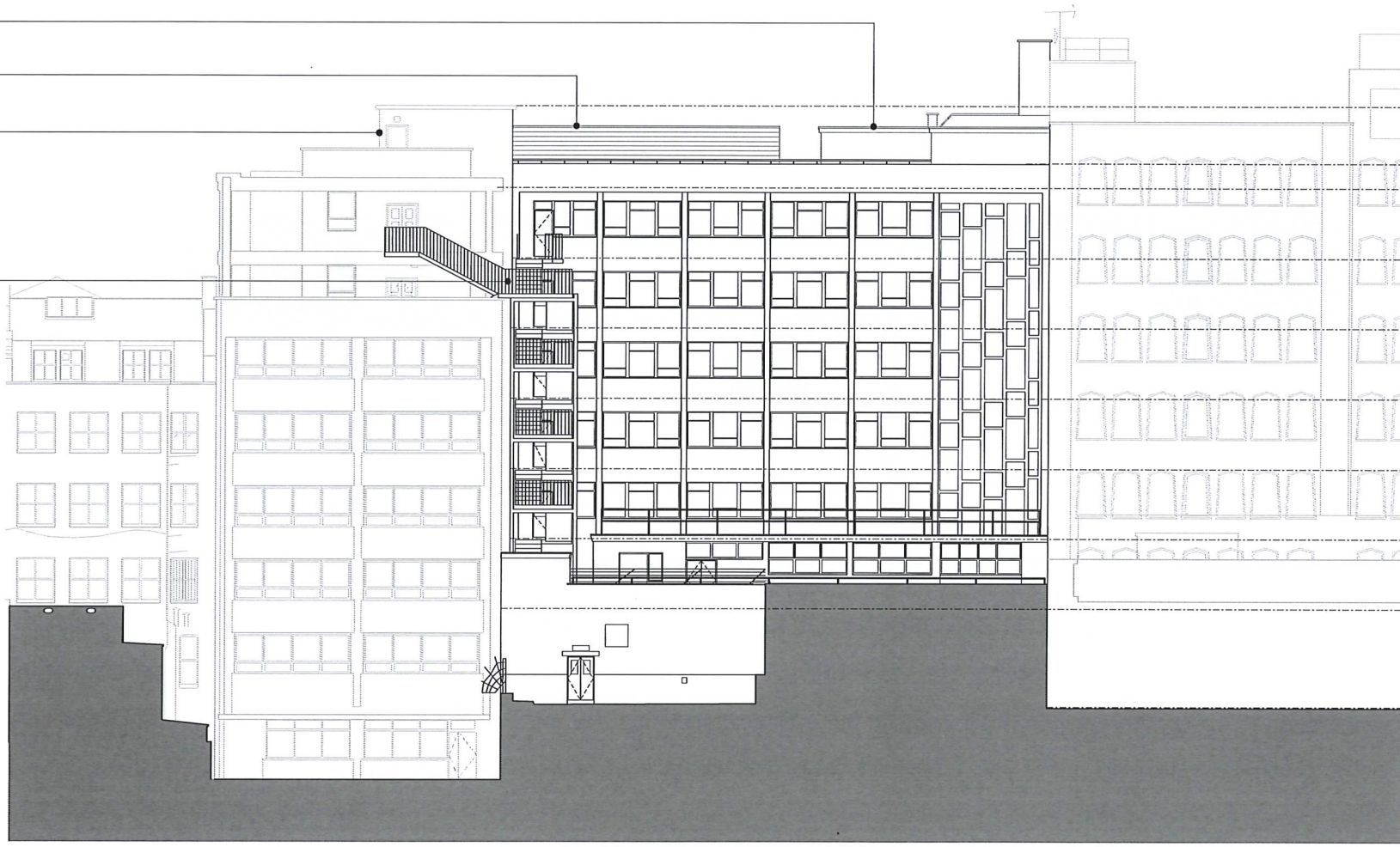
**DRAWING NO:** P120/B





- KEY PLAN
- TOP OF EXISTING LIFT OVERRUN TO 33-34 +53.295
  - TOP OF 31-32 EXISTING PARAPET +50.810
  - EXISTING SEVENTH FLOOR ROOF HEIGHT +49.840
  - EXISTING SIXTH FLOOR +46.790
  - EXISTING FIFTH FLOOR +43.790
  - EXISTING FOURTH FLOOR +40.690
  - EXISTING THIRD FLOOR +27.650
  - EXISTING SECOND FLOOR +14.620
  - EXISTING FIRST FLOOR +11.590
  - EXISTING GROUND FLOOR +27.300

- EXISTING LIFT ENCLOSURE TO BE REMOVED
- EXISTING PLANT ENCLOSURE TO BE MODIFIED
- EXISTING LIFT ENCLOSURE TO BE RETAINED
- EXISTING ESCAPE STAIRS TO BE RETAINED



25 STONE STREET      33 - 34 ALFRED PLACE      31 - 32 ALFRED PLACE      18 - 30 ALFRED PLACE, WHITTON HOUSE



REV.	DATE	DESCRIPTION	REV.	DATE	DESCRIPTION
-	28.04.2022	DRAFT ISSUE FOR CLIENT			
A	06.06.2022	DRAFT PLANNING SUBMISSION			
B	13.06.2022	PLANNING SUBMISSION			

**NOTES:**

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS
4. DO NOT SCALE FROM THIS DRAWING
5. REPORT ANY ERRORS, CONTRADICTIONS & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
6. WHEN THIS DRAWING IS ISSUED BY JUNG BRONKHORST IT IS AN UNCONTROLLED VERSION ISSUED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE.
7. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

KEY:

Ben Adams Architects

1027 A33 1000  
Ben Adams Architects Ltd  
48-50 Sturges Court, London, SE1 2JF

**DRAWING NAME:** EXISTING REAR ELEVATION

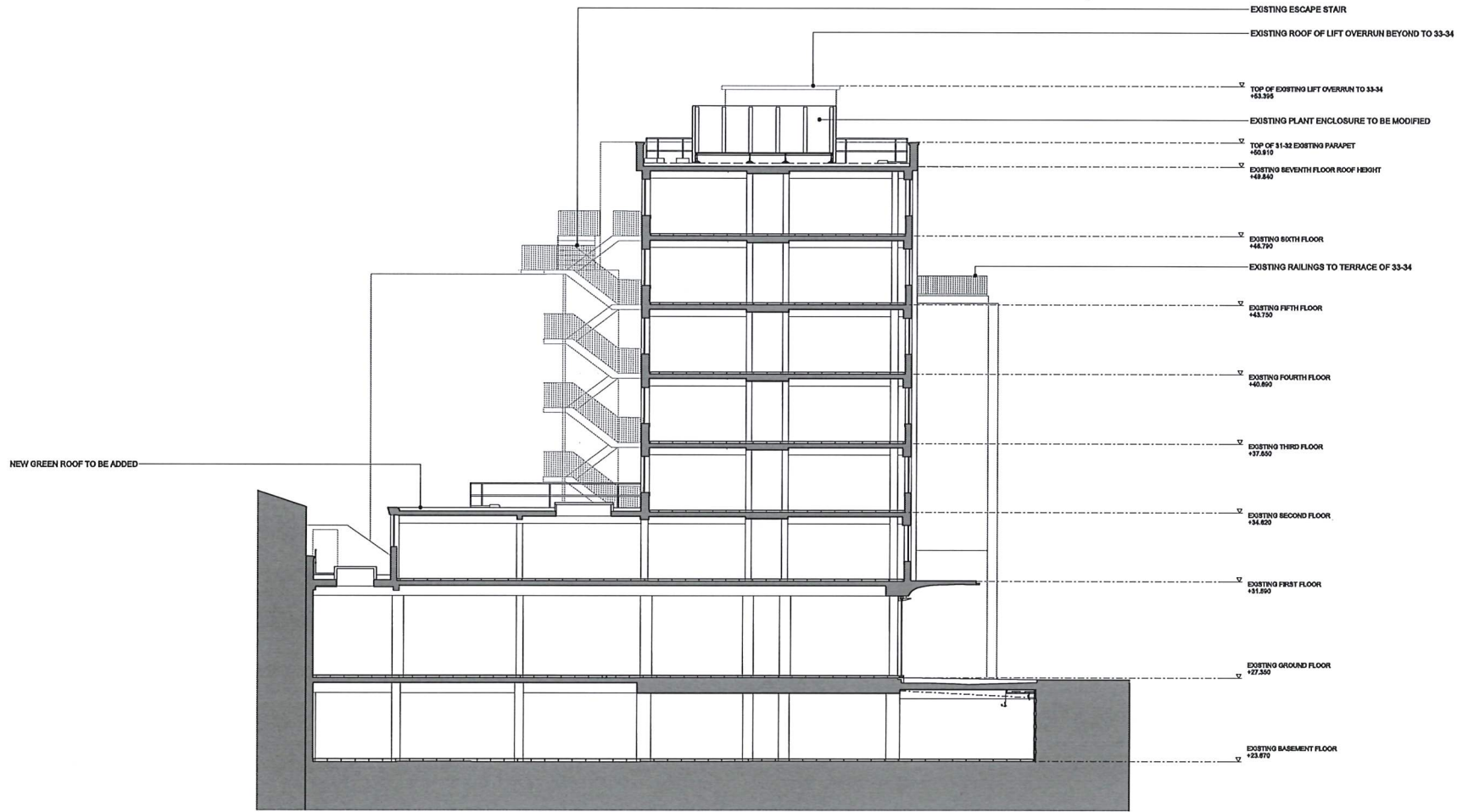
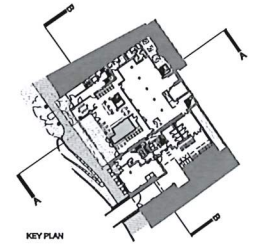
**PROJECT NAME:** ALFRED PLACE

**JOB NO:** 21-015

**SCALE:** 1:200 @ A3 1:100 @ A1

**STAGE:** PLANNING

**DRAWING NO:** P121/B



NEW GREEN ROOF TO BE ADDED



REV.	DATE	DESCRIPTION
-	24.04.2023	DRAFT BIBLE FOR CLIENT
A	08.08.2023	DRAFT PLANNING SUBMISSION
B	13.04.2023	PLANNING SUBMISSION

REV.	DATE	DESCRIPTION

**NOTES:**

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- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS
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- REPORT ANY ERRORS, CONTRADICTIONS, & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE
- WHEN THIS DRAWING IS ISSUED IN DWG FORMAT IT IS AN UNCONTROLLED VERSION (BASED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLELY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE)
- BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY REVISIONS OR ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS.

**KEY:**

**Ben Adams Architects**

11-12 ALFRED PLACE  
LONDON, SE1 1LF

020 7424 1000  
020 7424 1001  
020 7424 1002

**DRAWING NAME:** EXISTING SECTION AA

**PROJECT NAME:** ALFRED PLACE

**JOB NO:** 21-015

**SCALE:** 1:200 @ A3 1:100 @ A1

**STAGE:** PLANNING

**DRAWING NO:** P130/B