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Heritage and Design & Access Statement

Flat 3, 34 Museum Street, London, WC1A 1LH

Supporting document for planning & listed building application.

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Wednesday 26 February 2025

This report has been prepared by Paul Tierney for and on behalf of client under care of Tierney Architects Limited

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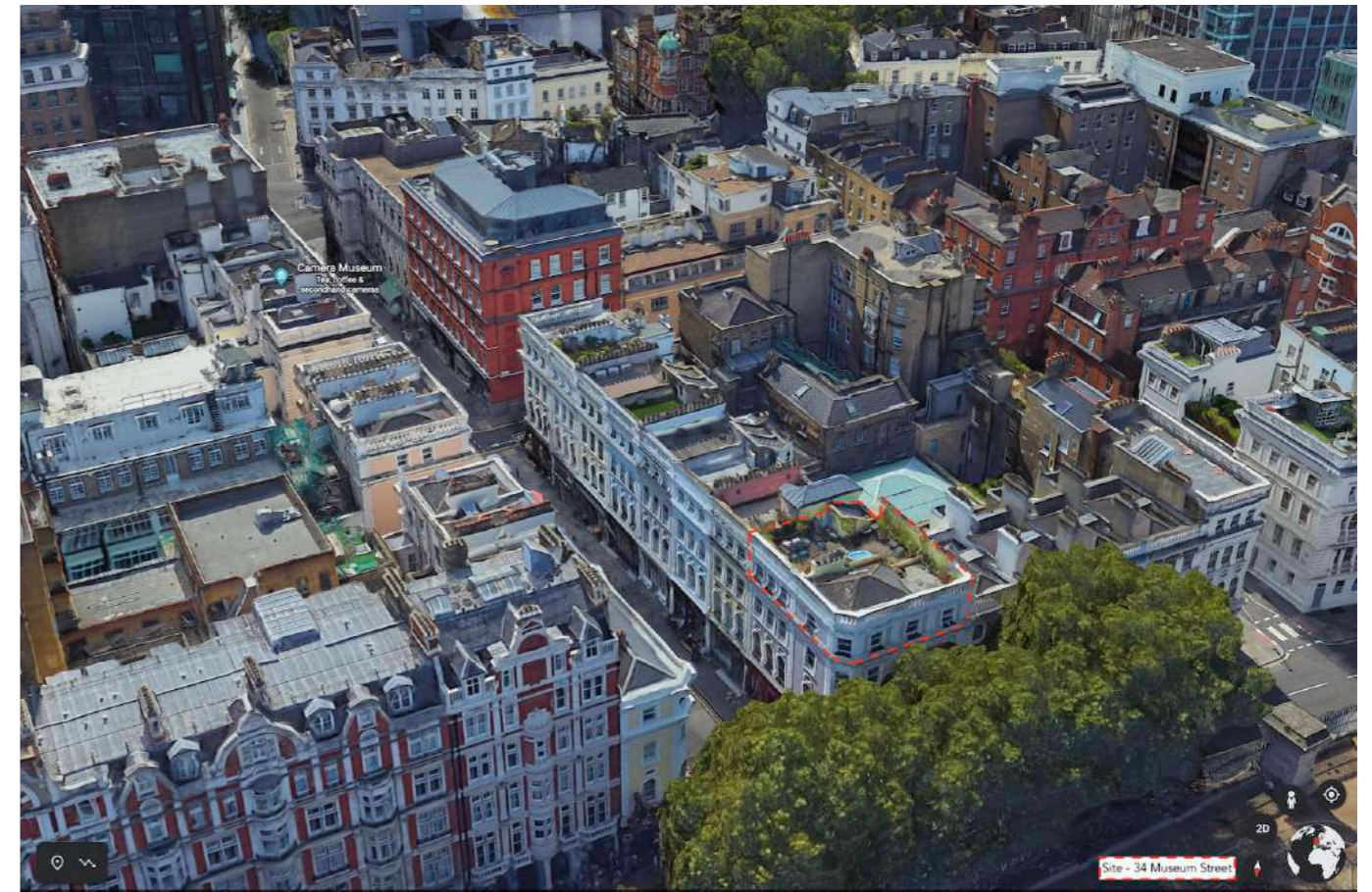


Fig. 1. Site Location

1. Introduction

1.1. Summary of Proposed works.

The works primarily consist of demolishing existent roof-top structure and replacing with new similar in scale and mass as the existing roof structure at No. 33 Museum Street (Figs. 2 & 3). Some internal works are required to make-good the connection to the main flat. The existing decking surrounding the existing roof structure will need to be removed and made-good where necessary along the junction with new structures. It is proposed that the existing roofing membrane is inspected and repaired like-for-like where required.

1.2. Heritage Statement.

In summary, the property was converted from residential and B1 Class use to three self contained flats in early/mid 1990's. The proposed changes resulted in the loss of a virtually all original internal features and fabric. It should also be noted that the property falls under two separate listings - Nos. 43-48 Great Russell Street & The Plough (No. 27), 27-34, Museum Street. This Design & Access Statement has been developed in conjunction with the Schedule of Work and Heritage Statement which maps design development and the historic alterations previously undertaken at the property.

1.3. Heritage Asset.

Grade II Listed Building - List Entry Nos.: 1130381 & 1322088

Within a conservation area - Bloomsbury

1.4. Architectural and Historical Significance.

Nos. 43-48 Great Russell Street.

Nos 43-48 Great Russell Street, a row of six houses with shops at ground-floor level. Nos. 44-47 date from around 1720 with refronting and outer buildings (Nos. 43 & 48) by William Finch Hill, probably with E L Paraire, added mid 19th century displaying lively French Renaissance influence. This layered group of buildings is reflective of the development of this part of Bloomsbury providing significant historic interest.

The Plough (27) Nos. 27-34 Museum Street.

This is a public house and 7 terraced houses with shops build 1855-64 by William Finch Hill. The building is Stucco fronted with rusticated pilaster strips separating each house and at angles in a modified French Renaissance style over 4 storeys with 3 windows to each house.

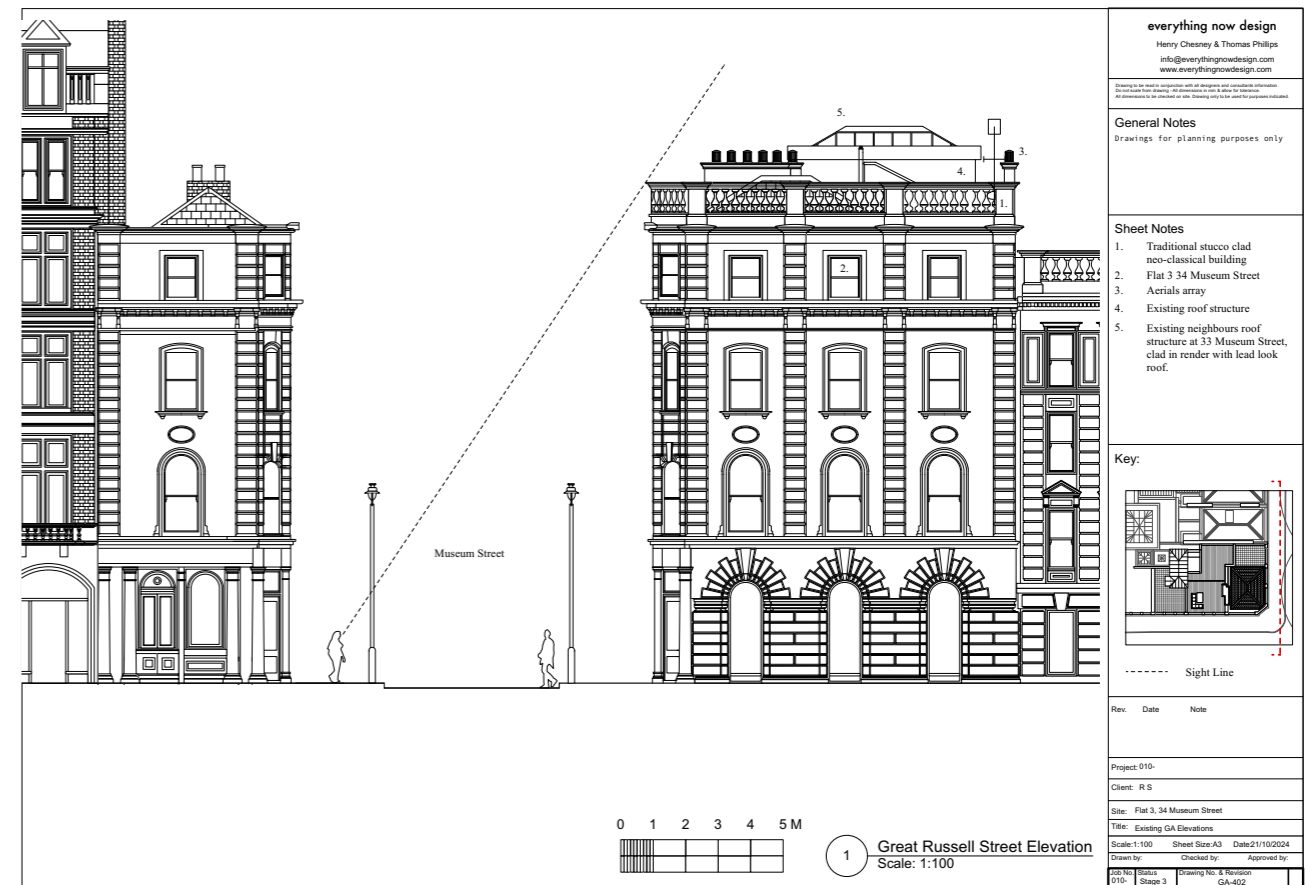


Fig. 2. Existing Elevation from Great Russell Street

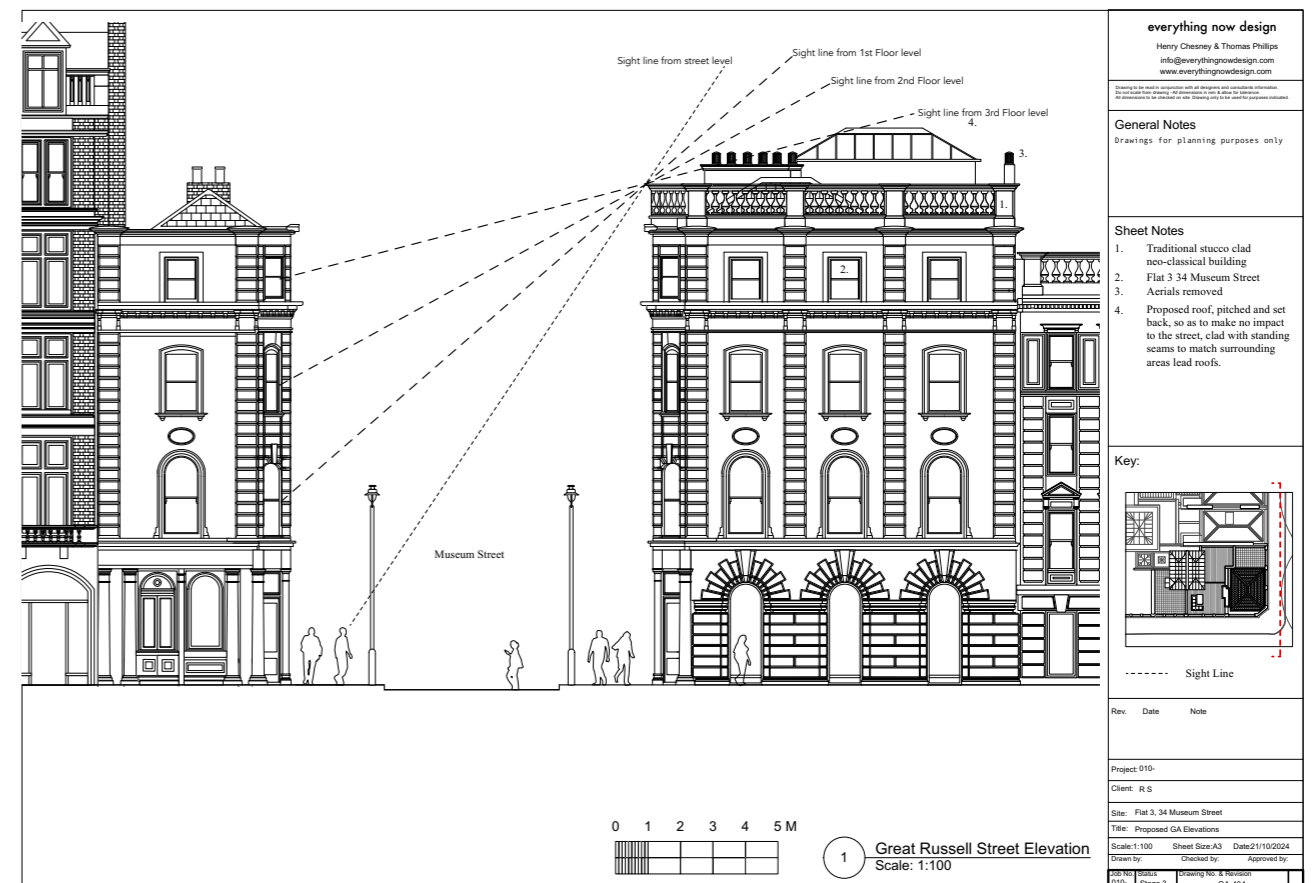


Fig. 3. Proposed Elevation from Great Russell Street

The main historical and architectural significance of both listings refers to the external manifestation and detailings of both groups of buildings. While the interior of Nos. 44-47 Great Russel Street is of special interest, the later corner buildings (Nos. 43 & 48) were only inspected at ground floor shop level and were deemed that no significant historic features have been retained. Similarly with Nos. 27-34 Museum Street, only the interior of The Plough have been deemed to be of significant historic interest.

1.5. Proposed Works.

External

- Demolition of existing roof top structure deemed to have been added after 1993 as part of the developments approved under application 9301257 (Fig. 4).
- Remove existing timber decking added after 1993.
- Erect new timber-framed structure with rendered finish with painted plane timber door & frame, and heritage slimline double-glazed timber windows (Fig.5) similar in scale and location as existing - structure to line-through with existing at No. 33 Museum Street approved in 2006 (Application 2006/3458/L).
- Add standing seam zinc roof to new roof structure finished in a natural zinc colour (Fig. 5) - fascia, soffit and rainwater goods finished to match.
- Re-flash existing roofing membrane with new structure and repair primary roofing membrane to match existing.
- Sustainably sourced natural finish ash timber decking (Fig. 7) - proposed to be sourced from tress felled to protect against forests from ash die-back.
- General making good and redecoration of parapet walls using same materials and building techniques as existing.

Internal

- Repair of existing finishes forming stair walls from flat 3 to roof level - stairs wholly with flat 3 and do not form any part of the communal stairwell. It is understood that all finishes have been replaced after 1993 as part of the developments approved under application 9301257 (Figs. 8 & 9).
- Making good of existing stairs to the roof added after 1993 as par of the developments approved under application 9301257.
- Redecorating of walls and ceiling within stairs from flat 3 to roof level.

It is intended that all materials are transported to and from the site via a crane or external access tower (permits pending) in a bid to eliminate risk of damage to the common parts of the building - the existing parapet will be enclosed in plywood to protect it in this location.



Fig. 4. Photo of existing roof structure adjacent to existing roof structure at No. 33



Fig. 6. Sample finish to standing seam zinc roof

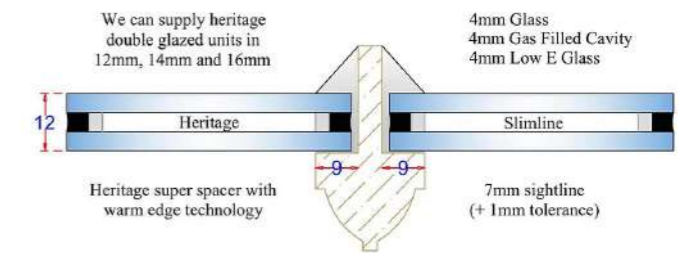


Fig. 5. Typical heritage slimline double-glazing detail



Fig. 7. Natural Ash decking sustainably sourced

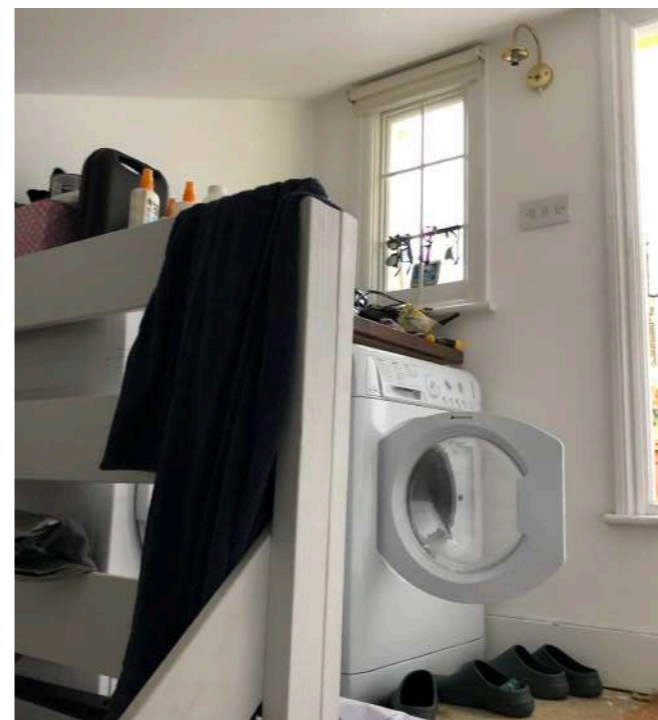


Fig. 8. Photo showing interior of existing roof extension

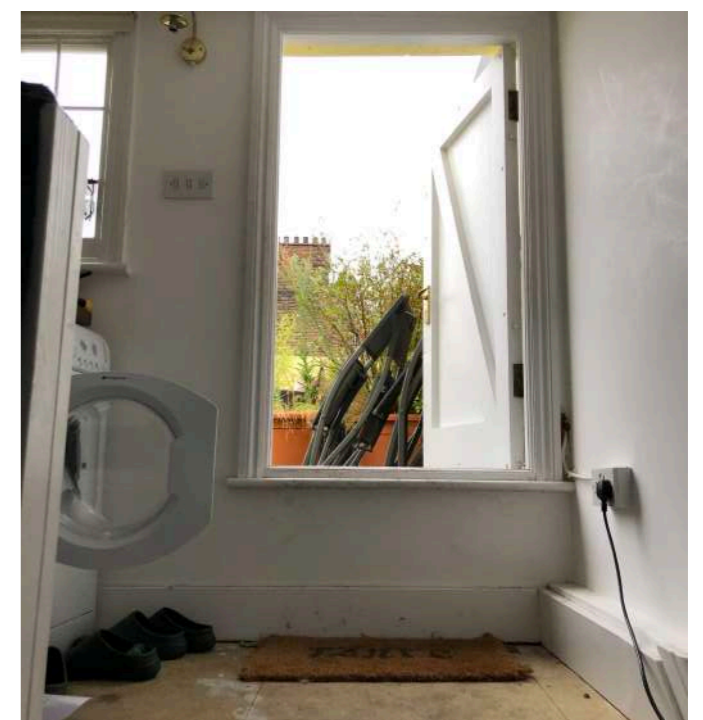


Fig. 9. Photo showing access to roof

Full details of the proposed works and justification for have been document in the accompanying Schedule of Work.

1.6. Impact on Significance.

External

- The proposed roof extension will not be visible from the street and therefore not impact on the setting of any surrounding listed buildings (Figs. 10 & 11).
- The proposed roof extension will be of timber construction and therefore easily removable without impacting or damaging original building fabric.
- The proposed timer structure has been designed to be easily removed at any time without impacting on the original building fabric.
- The materials have been carefully selected and detailed so-as to remain sympathetic to the host building while reflecting existing materials and finishes. The existing structure is in a poor state of repair, therefore the proposed changes are considered to be a positive contribution to the building and surrounding area as a whole when viewed by the occupants of flat 3.
- General making good of existing parapet walls is deemed to be good maintenance and repair helping to preserve the original fabric.

Internal

- The proposed internal works will have no impact on the setting of this or any other neighbouring listed building.
- The flat was created after 1993 as part of the developments approved under application 9301257. As a result of these works, a lot of original fabric would have been lost with quite a lot of replica architectural detailing added. These evolutionary changes have not been accurately documented or recored. However, as the stairs to the roof top are a modern addition and are deemed to be a secondary space, the architectural detailing in this area should be modest and subservient to the principal rooms. All internal changes will be modest and will not impact on the character of the flat.

1.7. Enhancement & Public Benefits

The proposed roof top structure will not be visible from the street and may only be viewed from neighbouring rooftop structures or roof terraces. The current roof structure is in a poor state of repair and is not in keeping with the current roof scape. The proposed structure in terms of bulk, style and architectural detailing has been meticulously designed to harmonise with surrounding structures and remain subservient to the host building. The resulting proposal preserves and enhances the roof scape with some public benefit - albeit limited to neighbours with similar roof top access and provisions.

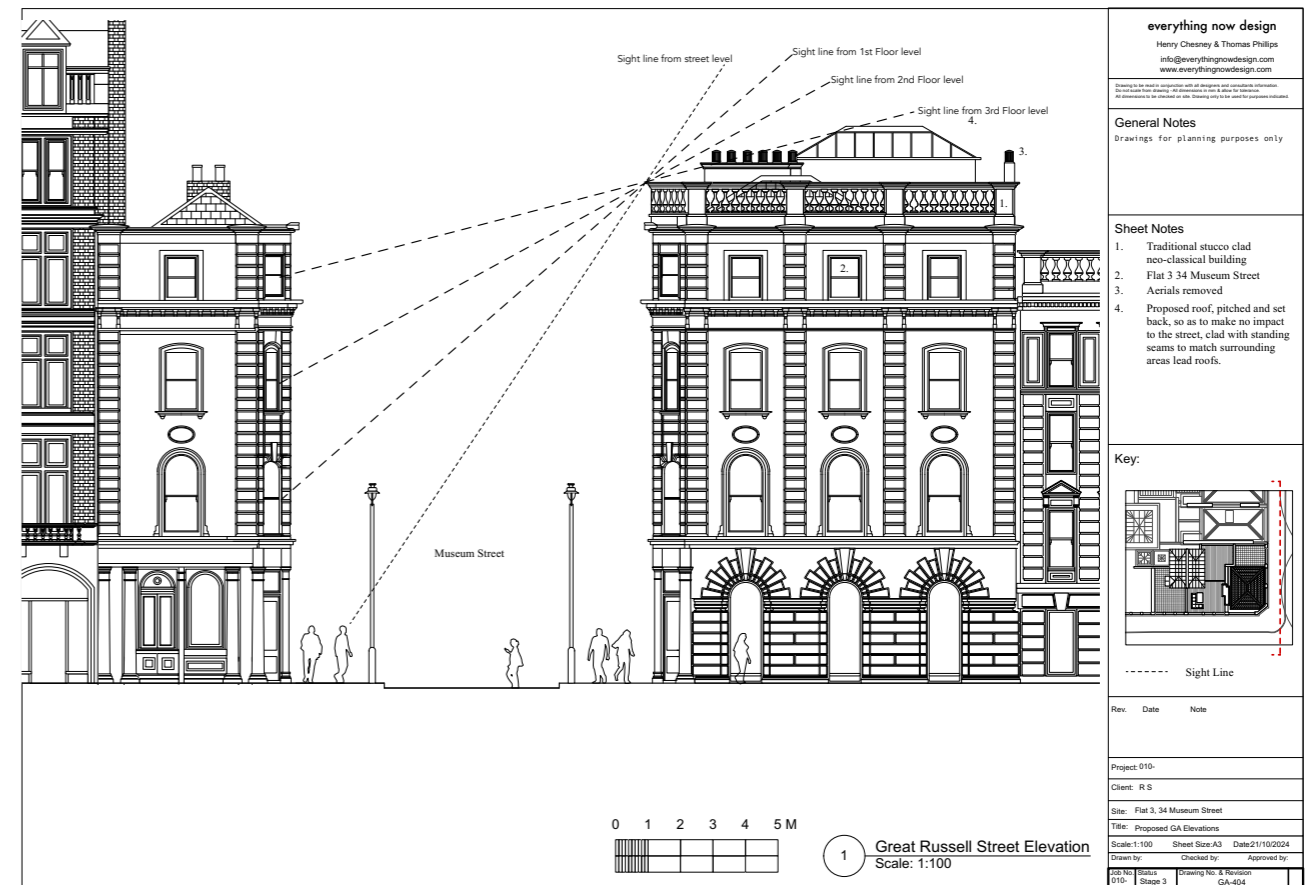


Fig. 10. Proposed section showing sight-lines from street level



Fig.11. View of entrance gates to British Museum obscured largely by mature trees (Photos taken late October 2024)

While the above is intended to benefit the public, all of the proposed alterations have been carefully curated so-as to enhance the enjoyment of this building. One of the core design principles we identified at the outset was to prevent decay and damage to any original building fabric. The existing roof structure presents opportunity for damp and mould growth so it was determined that the existing structure should be replaced rather than carryout simply patch-repair. By doing so the applicant will be able to more effectively manage heating and ventilation of the flat and roof structure reducing the chance of damp or mould occurring and ultimately protecting the original fabric. By responding in such a manner, we feel that the resulting changes greatly enhance the enjoyment of the building ensuring it remains as-is for the foreseeable future.

2. Location

2.1. The Property.

The property is a top-floor corner flat located at the junction between Great Russell Street and Museum Street (Fig. 12) and is within the Bloomsbury Conservation area. Nos 43-48 Great Russell Street, is comprised of a row of six houses with shops at ground-floor level and Nos. 27-34 Museum Street is a row of 7 terraced houses and public house with shops build 1855-64 by William Finch Hill. Both groups of buildings are Grade II listed.

The building underwent major works and was converted from residential and B1 Class use to three self contained flats in early/mid 1990's - virtually all of the original internal detailing has been lost with replica detailing added using modern materials. It is believed these faux details were added as part to the conversion works but no record of this could be found.

2.2. Relevant Policies & Design Guidance.

The following policies were considered relevant when designing and detailing the proposed works:

- Planning (Listed Buildings and Conservation Areas) Act 1990.
- National Planning Policy Framework.
- The London Plan 2021.
- Camden Local Plan Policy D1 - Design.
- Camden Local Plan Policy D2 - Heritage.
- Camden Local Plan Policy A1 - Managing the impact of development.
- Camden Local Plan Policy CC1 - Climate Change Mitigation.
- Camden Local Plan Policy CC2 - Adapting to Climate Change.
- Camden Planning Guidance (CPG) - CPG Home Improvements (January 2021).
- Neighbourhood Plans.



Fig. 12. Google Street view at junction between Great Russell Street & Museum Street



Fig. 13. Google Earth view of existing structure at No. 33 Museum Street

- Camden Planning Guidance on Design.
- Bloomsbury Conservation Area Appraisal and Management Strategy Adopted 2011.

2.3. Relevant Planning History.

2022/5041/P. Flat 3, 34 Museum Street London, WC1A 1LH

Demolish existing roof-top structure and erect a new roof extension. **Refuse**

2018/3801/P. Museum House 23-26 Museum Street London WC1A 1JT

Variation of condition 2 (development in accordance with approved plans) granted under reference 2014/4117/P dated 11/03/2014 for 'Erection of a 5th floor roof extension for use as a self-contained flat (Class C3) with roof terrace and cycle storage at lower ground floor', namely for the erection of external duct work, air intake and fans and a new guard rail at rear roof level and a louvre screen to conceal the ductwork. **Granted with warning of Enforcement**

2017/1984/P and 2017/1784/L Flat 3, 34 Museum Street London WC1A 1LH

Replacement of single glazed timber sash window and brick apron at third-floor rear and minor internal alterations including removal of partition walls. **Granted**

2017/1405/L. 29 Museum Street London WC1A 1LH

Installation of 3 No. external heat pump units to flat roof at top of building, and internal units with associated internal and external alterations. Refurbishment of first, second and third floors including various internal alterations. **Granted**

2017/0461/P. Museum House 25 Museum Street London WC1A 1JT

Amendments to the height and width of the lift shaft and repositioning of the rooflight within the flat roof area granted under reference 2014/4117/P dated 11/03/15 for "Erection of a 5th floor roof extension for use as a self-contained flat (Class C3) with roof terrace and cycle storage at lower ground floor." **Granted**

2006/3458/L. 33 Museum Street London WC1A 1LH (Fig. 13)

Internal and external works associated with the conversion of the first, second and third floors to a 3-bedroomed, 3-storey maisonette incorporating the installation of a rooflight at rear first floor roof level and a roof extension at fourth floor level to accommodate a shower room, solar panels and wind turbine. **Granted**

2.4. Planning History Considerations.

2022/5041/P. Flat 3, 34 Museum Street London, WC1A 1LH

Demolish existing roof-top structure and erect a new roof extension.

Consultations:

- Bloomsbury CAAC
 - Application discussed at Advisory Group meeting and, "We have no comments regarding the proposals."
- Neighbour
 - I. "Visible from the British Museum".



Fig. 14. View of site from British Museum obscured from view by mature trees (Photos taken late October 2024)

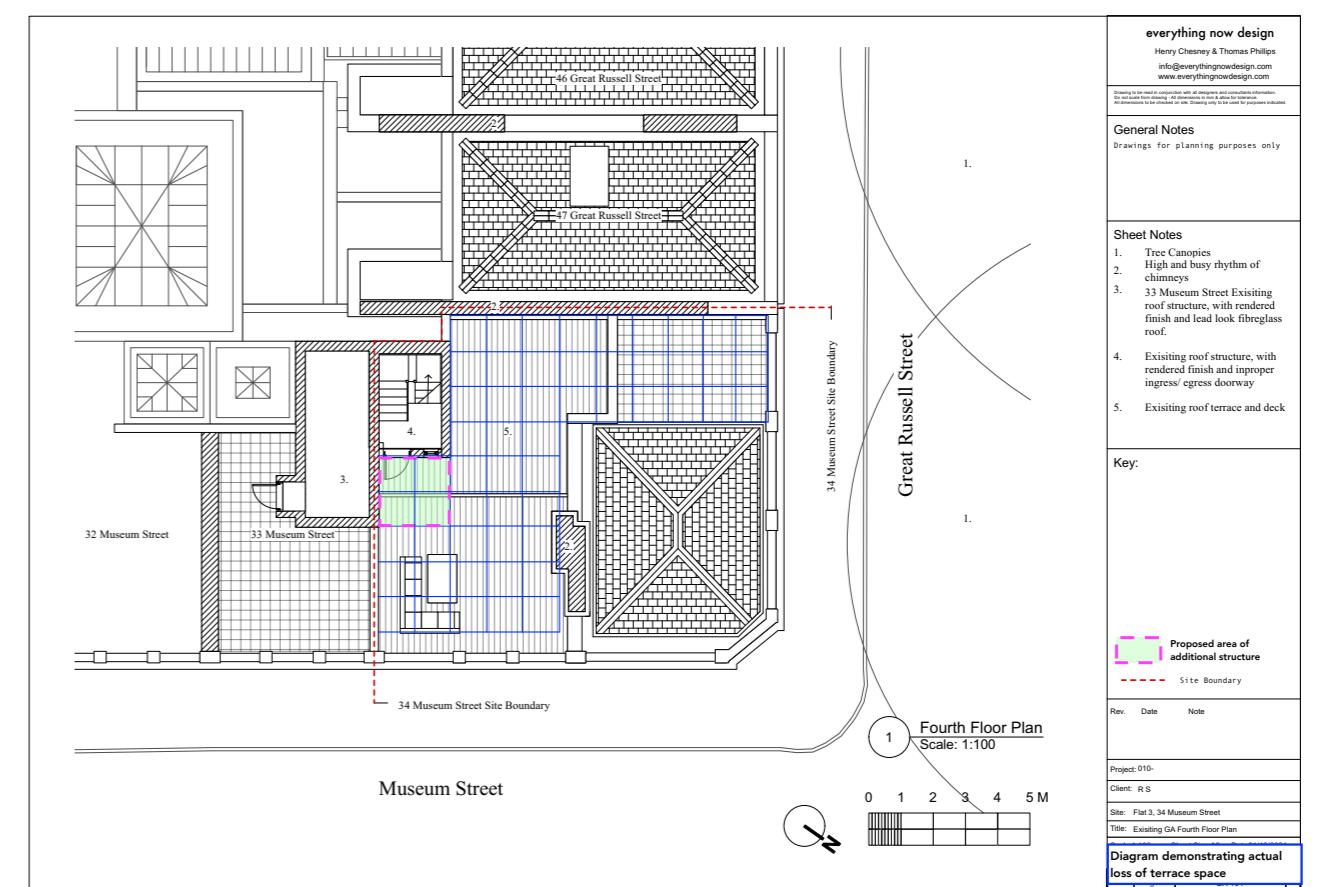


Fig. 15. Roof plan showing existing terrace mapped as a grid for ease of reference

We can confirm the site is not visible from the British Museum (Fig. 14).

II. *“Set a precedent in the area”.*
We should highlight that this is not a planning policy.

III. *“Should keep consistency”.*
We should highlight that the proposed works as in keeping with scale and mass of those previously approved at the adjoining property.

Planning officer's comments:

I. *“Welcomed removal of existing but go concerns over scale of proposal, “The structure on the building next door is already overly substantial, taking up a quarter of the roof, and this proposal would be even larger...”*

Correction, the proposed roof addition at No. 34 was actually marginally smaller than that at No. 33 as this does not have a side dormer addition. Fig. 15 shows the total area being added to the existing structure. The proposed structure will occupy less than 16% of the total terrace/flat roof area as opposed to 25% as suggested. The proposed roof structure matches the width of the existing roof structure and simply finishes flush with the gable wall of the roof structure at No. 33 facing Museum Street (Fig. 16).

II. *“The building contains sliding doors, a bay window and is seemingly used for kitchen, office and access purpose.”*

These comments have been taken on board and the design altered accordingly. The bay window has been removed and sliding doors omitted completely. The existing doors and windows will simply be relocated to the new facade and replaced with new to meet current building regulations but finished to match existing (Fig. 17). The kitchenette has also been omitted. The proposed structure will remain as a utility and roof access with the added space forming a small study area.

III. *“In regards to historical integrity, “a building of this nature would not normally have an additional habitable room in the form of a pavilion on its roof.”*

The original use of this building has been changed in response to changing societal needs and to the future the building is maintained. The proposed changes do not require the demolition of the listed building and can be easily un-done in future if so needed.

IV. *“In terms of the neighbouring structure, the use of this as a precedent should be discounted as this gained consent in 2006 under a different planning policy context and before the NPPF, with its requirement for public benefits.”*

The proposed changes are intended to restore the balance and symmetry lost as a result of the approved works to No. 33 in accordance with Policy D1. Each pair of properties have mirrored roof additions providing access to roof level - but mirroring the existing structure at No. 33, the proposal will reinstate this rhythm to the townscape.

V. *It has been demonstrated that the extension would not be visible from the street;*

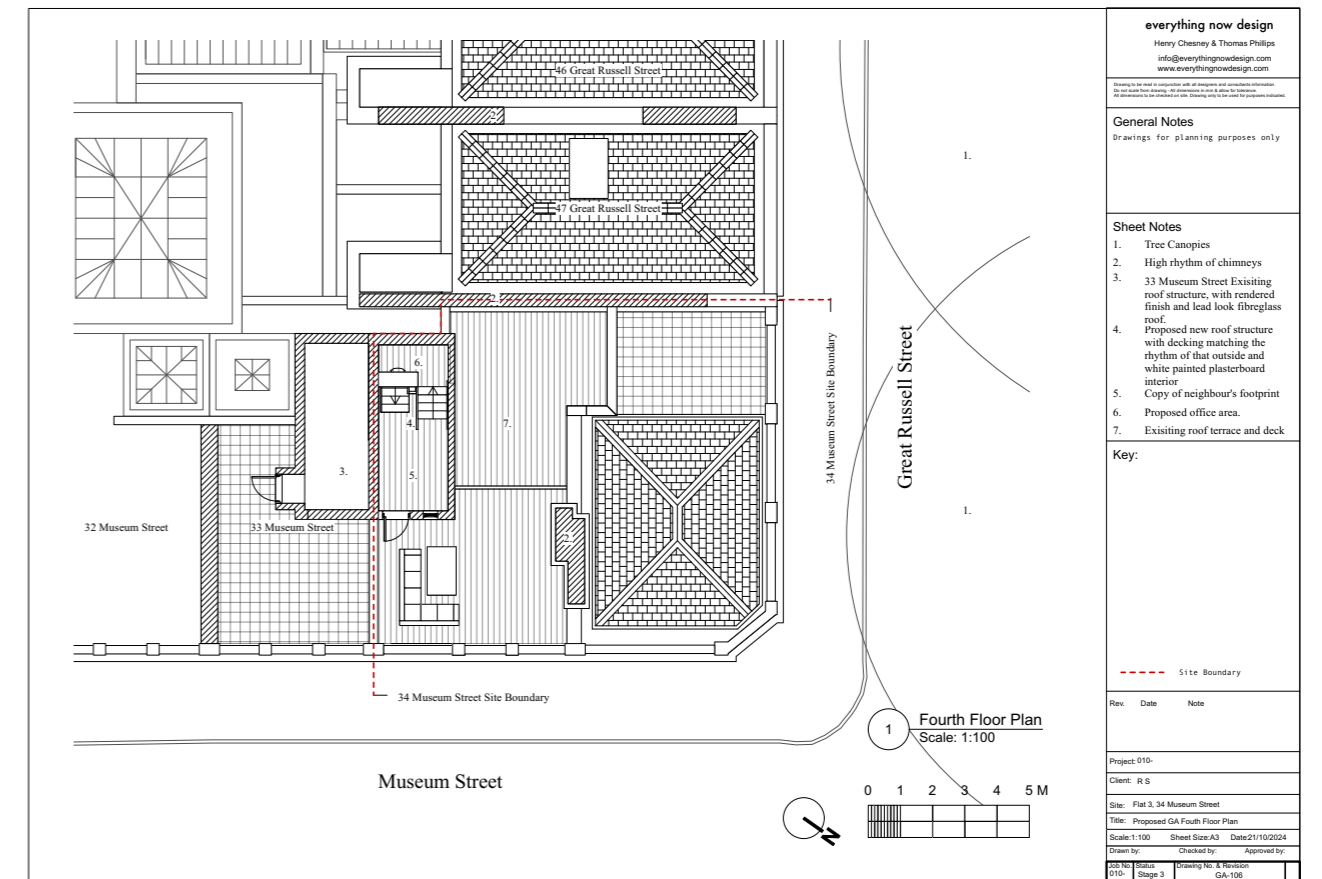


Fig. 16. Proposed floor plan.

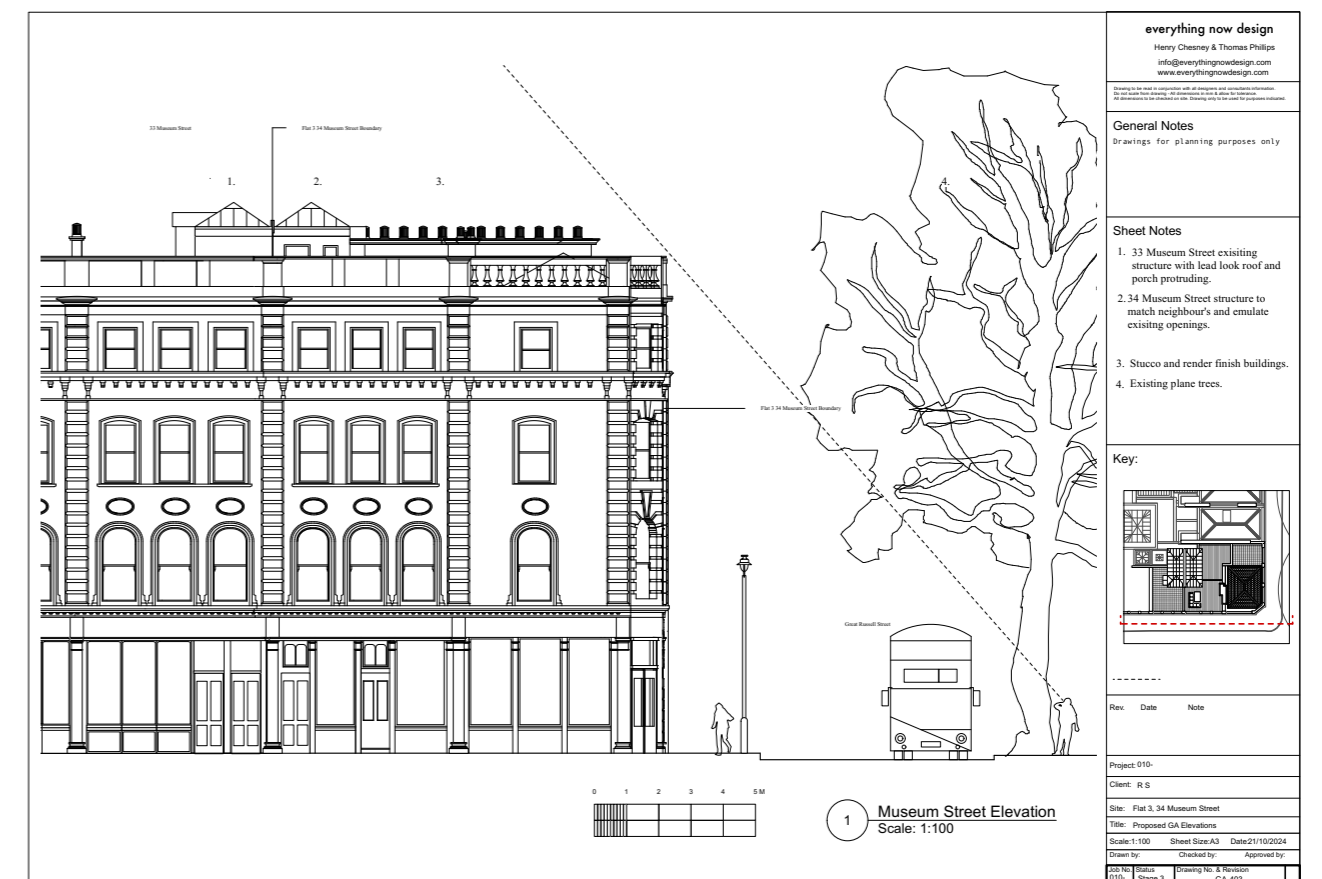


Fig. 17. Proposed Museum Street elevation.

however, "visibility from surrounding buildings and the host building itself need to be considered."

The attached photos demonstrate that the proposed roof addition will not be visible from street level or public spaces within the ground of the British Museum.

The proposed elevations demonstrate that the roof addition would not be visible from ground, 1st, 2nd or 3rd floor levels of adjoining properties. There is no record of roof terraces having been approved at adjoining properties so the site will not be visible from adjoining properties.

Due to the setting of the roof alterations, these would largely be visible from the host building which is accessed solely by the applicant.

VI. *Internal alterations and external works to the terrace, flashing, etc are largely considered acceptable.*

Duly noted and reflected in proposed works.

VII. *The guidance provided in NPPF Section 16, "Para 202 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use'."*

Correction, this is paragraph 208. The public benefit has been demonstrated in compliance with Policy D1.

VIII. *"In terms of amenity, to the front the extension would not impact any amenities as this continues the existing arrangement. Because the building follows a similar scale of the building at no. 33 there would be no impact on this side and because of the end of terrace nature and lack of visibility there would be no impact to the other side either. It is not considered that neighbouring properties would be unduly affected due to noise."*

Duly noted and reflected in proposed works.

3. Design

3.1. Character of Area.

The Museum Street area has a very distinctive grain and street pattern consisting of a tight grid of streets containing small, intimately-scaled blocks of development. The area was developed in the later 17th century and retains its early street pattern. During the mid 19th century many of the terraces were rebuilt and re-fronted, reflected by a variety of elevational treatments. The differing character of the area relates to the hierarchy of streets of a range of widths, uses and levels of pedestrian and vehicular use.

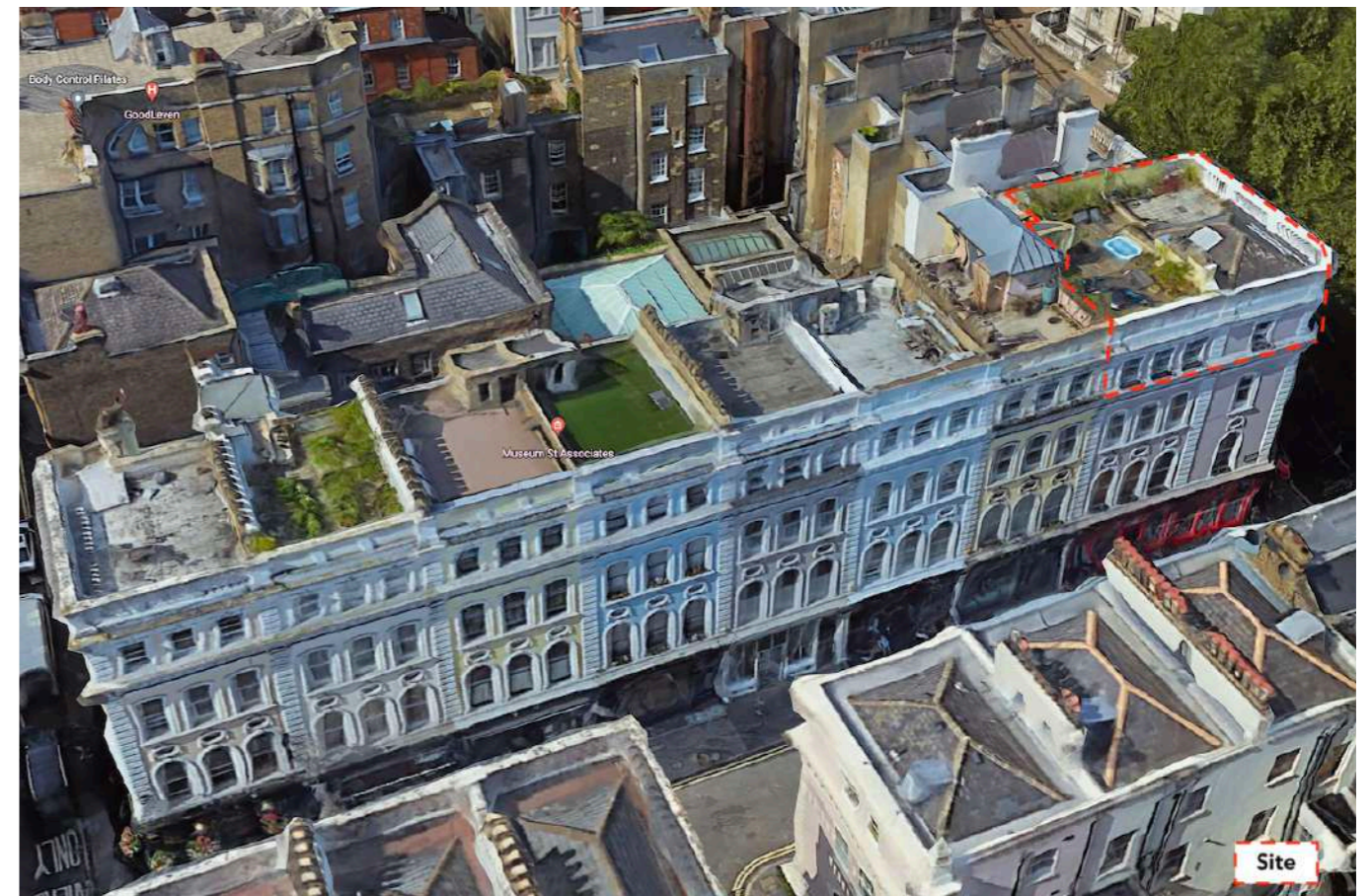


Fig. 18. Google Earth view showing facade detailing

The principal building type on Museum Street the terrace punctuated with a few larger mansion blocks and hotels added later. Shop fronts were added in the 19th century but the plot widths of two or three bays remains. The buildings, typically four storeys, have recessed sash windows which reduce in height on successive upper floors before being capped by a continuous parapet line.

The late 18th and early 19th century terraces are faced in stock brick, often with rubbed brick window heads and simple contrasting stucco banding (Fig. 18). Buildings added or refaced in the mid 19th century tend to have a more decorative stucco treatment faced with classically influenced ornamentation such as rusticated quoins, window surrounds, cornicing and balaustrading at parapet level. Many of the Victorian timber shopfronts are retained, providing interest at street level.

The late 19th and early 20th century mansion blocks and hotels have decorative elevational treatments, mostly in brick with contrasting detailing. These buildings have a greater degree of variation at roof level, introducing elements such as steep roof pitches, gables, turrets and domes to give visual interest and focal points in the streetscape. The elevations are given a vertical emphasis by the use of projecting bays. Many of the frontages tend to have ground-floor shopfronts. There is a notable concentration of specialist antiquarian bookshops and souvenir shops associated with the presence of the British Museum, which add to the character of the area.

Character area description has been sourced from Camden Council's online data base, Bloomsbury Conservation Area Appraisal and Management Strategy adopted 2011.

3.2. Scale.

Our detailed analysis of the area demonstrates how the surrounding rooftops are peppered with rooftop additions of varying scale and orientation (Fig. 19). Using the precedence established at No. 33 (Fig. 17) the proposed structure was developed to complement this existing structure and restore balance and order to the roof-scape.

The existing rooftop structure is somewhat dwarfed by the existing roof addition at No. 33. Prior to developing the proposed design, careful consideration was given to ensure the proposed roof structure remained subservient to the host building and hidden from view at street level and surrounding properties. The siting of this was also important as this must not impact on the surrounding listed buildings.

The resulting design is modest, proportionate to existing structure at No. 33 (Fig. 20) and is obscured from view at street level and adjoining properties - it may be visible from the top floor

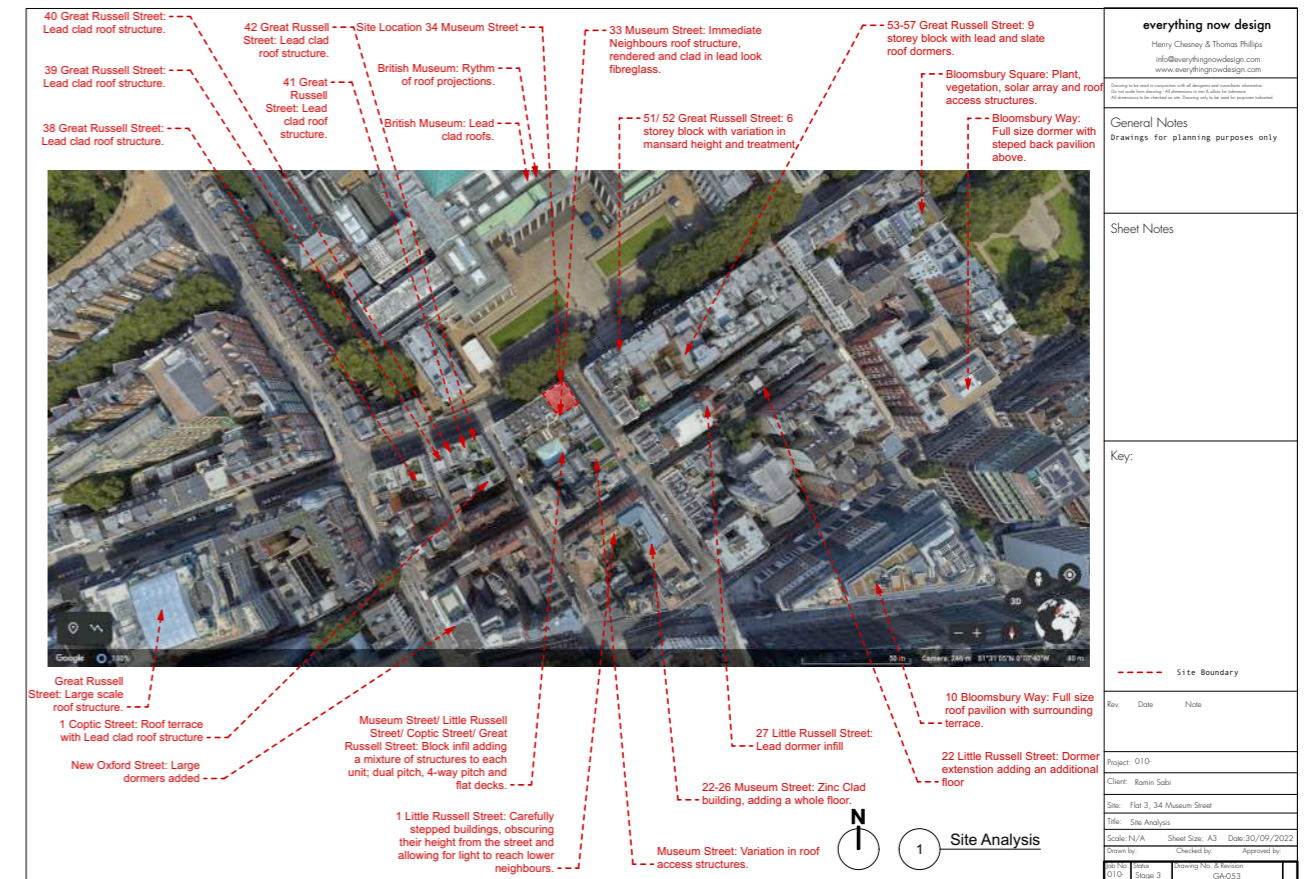


Fig. 19. Site analysis of surrounding rooftop additions

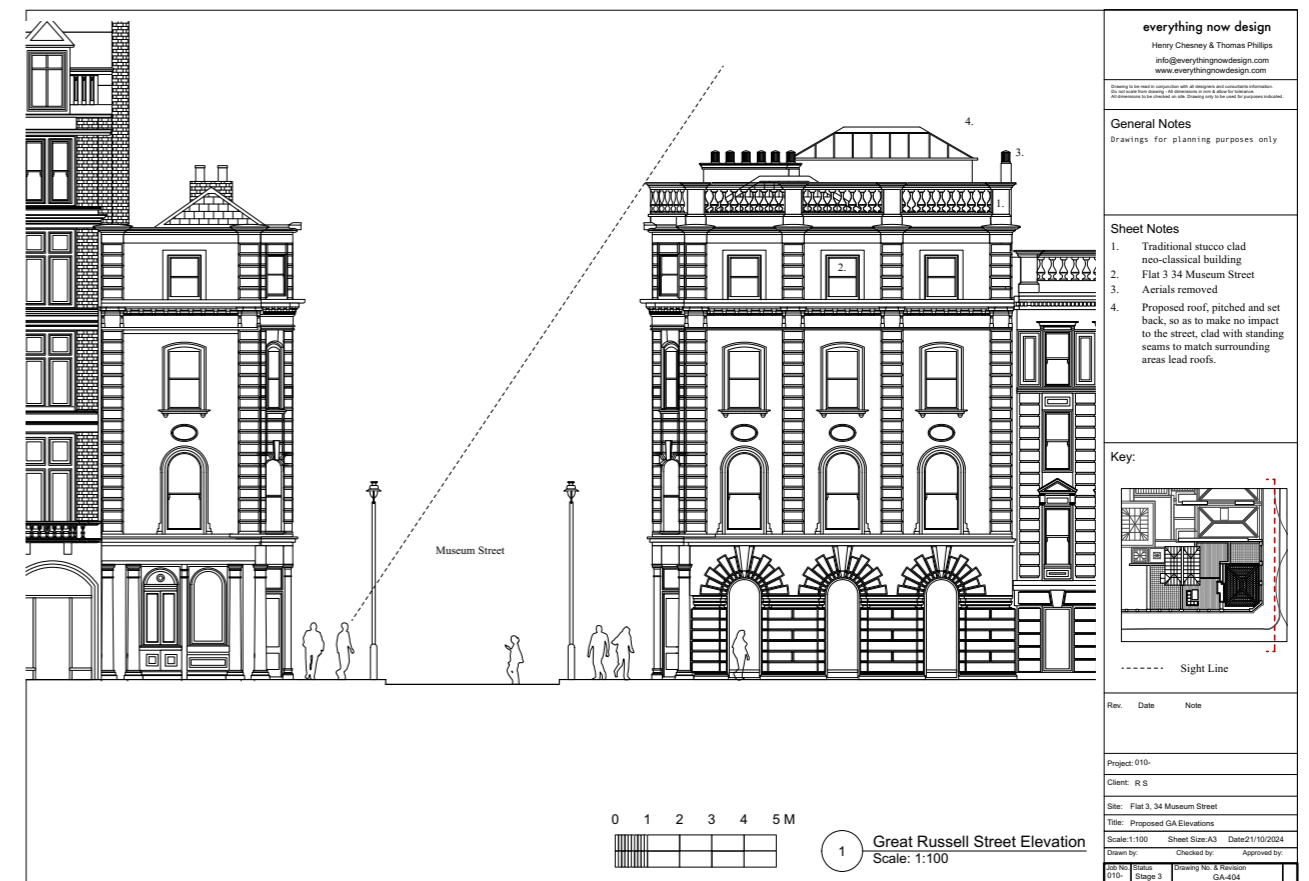


Fig. 20. Proposed elevation from Great Russell Street

or neighbouring roof terraces; however, this does not interrupt views of surrounding listed buildings and is considered to be a significant improvement over the current arrangement.

3.3. Architectural Detail.

The existing structure is painted render with simple concrete coping. The neighbouring roof structure at No. 33 is constructed and finished in a similar manner with a faux standing seam roof formed in fibreglass with deep folded fascia coloured to match (Fig. 21).

In keeping with the existing architectural language, it is proposed the new lightweight structure will be finished in coloured render, natural standing seam zinc roof (Fig. 22) to reflect light-grey/lead finishes to neighbouring structures and painted timber windows.

3.4. Impact on Character & Amenity.

The proposed roof extension will have no impact on the characteristics of the area as this cannot be seen from street level. The roof extension is believed to be sympathetic to the character of the conservation area as there are number of existing roof extension in the surrounding area of varying scale and architectural detailing. The roof extension will be made using similar roof standing seam zinc cladding in keeping with the adjoining, and surrounding structures. The final height of the structure will be in keeping with that at No. 33 and will have no impact on the ridge line of this group of buildings.

The proposed structure has been positioned so-as not to impact on the amenity currently enjoyed at any neighbouring property which has been supported by comments raised by the planning case officer in repose to application 2022/5041/P. It is felt that these works will improve the use of the rooftop terrace and help preserve the building for many years to come.

4. Sustainable Design

4.1. High-quality materials & durable detail.

The existing building fabric is deemed to be of solid construction offering virtually no thermal performance. The existing roof structure currently acts as a chimney maximising the release of heat from the main flat below.

The proposed works will consist of a new fully insulated roof structure with slimline double-glazing to all new glazed windows fitted within the new structure. ALL junctions are to be sealed with air-tight tape concealed behind finishes to maintain the original character of the property. The new glazed units will be detailed in keeping with the existing windows.



Fig. 21. Existing roof structures and, boundary treatment & detailing at roof level



Fig. 21. Existing roof structures and, boundary treatment & detailing at roof level

4.2. Flexible & high-quality floor space.

The proposed works have been designed to offer a flexible and high-quality space while retaining the original character. The current rooftop extension is extremely inefficient in use of space which has been addressed in the proposed design. By creating this functional and thermally efficient space we have also greatly improved the quality of flat as a whole.

4.3. Optimising resource & water efficiency.

As the works are limited to the roof area, and in a bid to avoid disturbing any other parts of the building, the applicant is exploring additional landscaping options (not forming part of this application) to facilitate the possibility for rainwater harvesting for reuse across the terrace space.

4.4. Facilitating future services & facilities.

The proposed works include concealed internal service voids to facilitate future upgrade and alteration of existing services without the need to alter the building fabric.

4.5. Minimising need for plant & machinery.

The design has been developed to maximise natural stack ventilation during summer months reducing the need for additional cooling equipment.

5. Summary

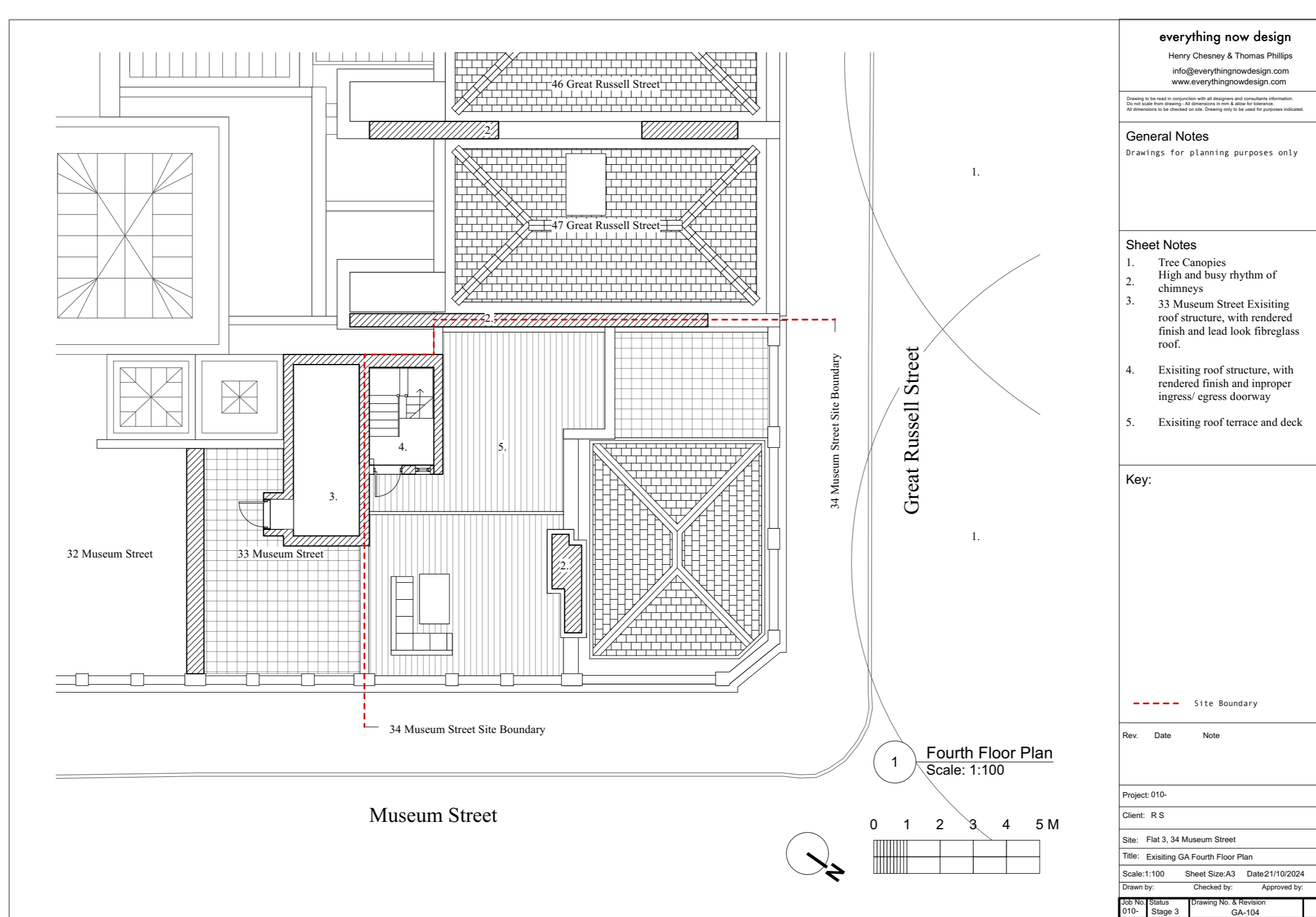
Time, care and attention has been given to study the building and surrounding structures, and through following the policies identified, planning history as well as key architectural details observed in the surrounding area, we feel that the proposed works and resulting design help to preserve and enhance the character of the listed buildings and wider area as a whole.

The proposed works also greatly improve the lifestyle of the applicant, giving them the flexibility of working from home. We are also satisfied that the resulting structure will provide a positive impact on the wider environment both during construction and the life of the building.

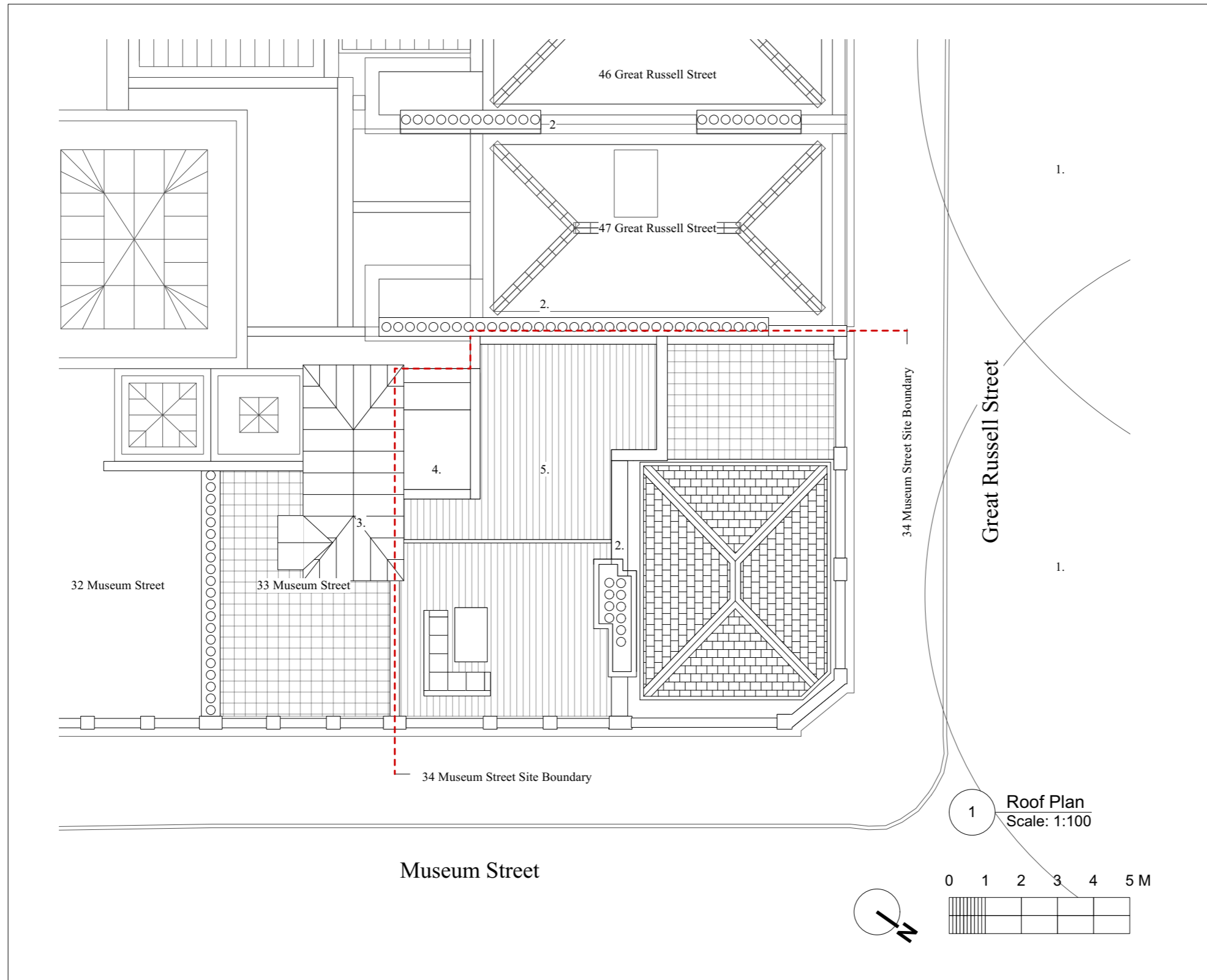
In conclusion, we are satisfied that these works are in accordance with current guidelines.

6. Appendix

6.1. Existing Plans & Elevations



Existing 4th Floor Plan



everything now design

Henry Chesney & Thomas Phillips
 info@everythingnowdesign.com
 www.everythingnowdesign.com

Drawing to be read in conjunction with all designers and consultants information.
 Do not scale from drawing - All dimensions in mm & allow for tolerance.
 All dimensions to be checked on site. Drawing only to be used for purposes indicated.

General Notes

Drawings for planning purposes only

Sheet Notes

1. Tree Canopies
2. High and busy rythm of chimneys
3. 33 Museum Street Existing roof structure, with rendered finish and lead look fibreglass roof.
4. Existing roof structure, with rendered finish and felt roof.
5. Existing roof terrace and deck

Key:

--- Site Boundary

Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

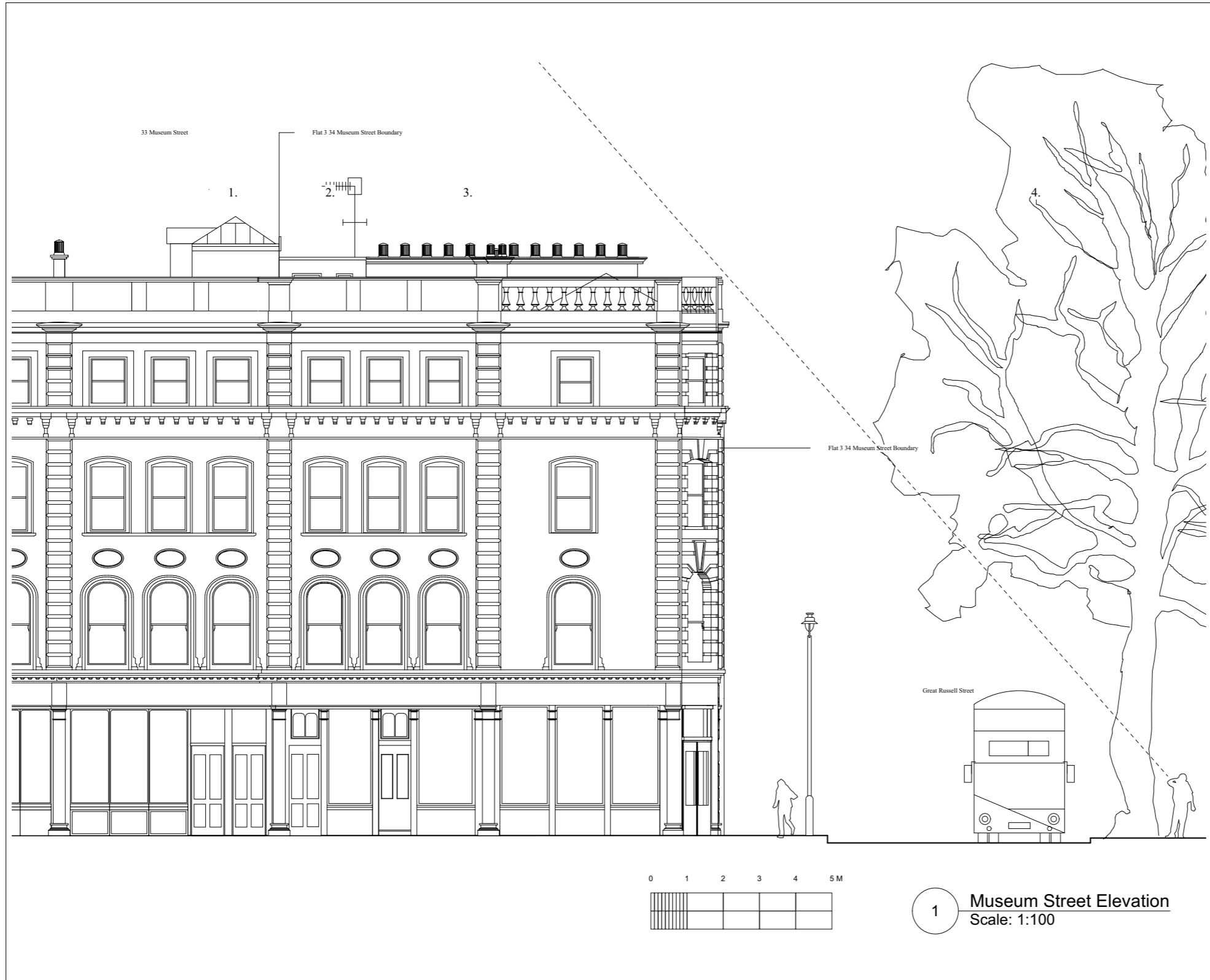
Title: Existing GA Roof Plan

Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No: 010-	Status Stage 3	Drawing No. & Revision GA-107
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Existing Roof Plan

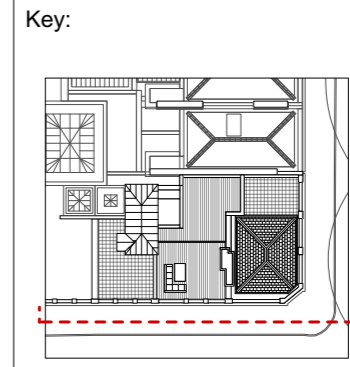


everything now design
 Henry Chesney & Thomas Phillips
 info@everythingnowdesign.com
 www.everythingnowdesign.com

Drawing to be read in conjunction with all designers and consultants information.
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General Notes
 Drawings for planning purposes only

- Sheet Notes**
1. 33 Museum Street existing structure with lead look roof and porch protruding.
 2. 34 Museum Street existing roof structure - monopitch back, with felt roof concrete capping and rendered finish.
 3. Stucco and render finish buildings.
 4. Existing plane trees.



--- Sight Line

Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

Title: Existing GA Elevations

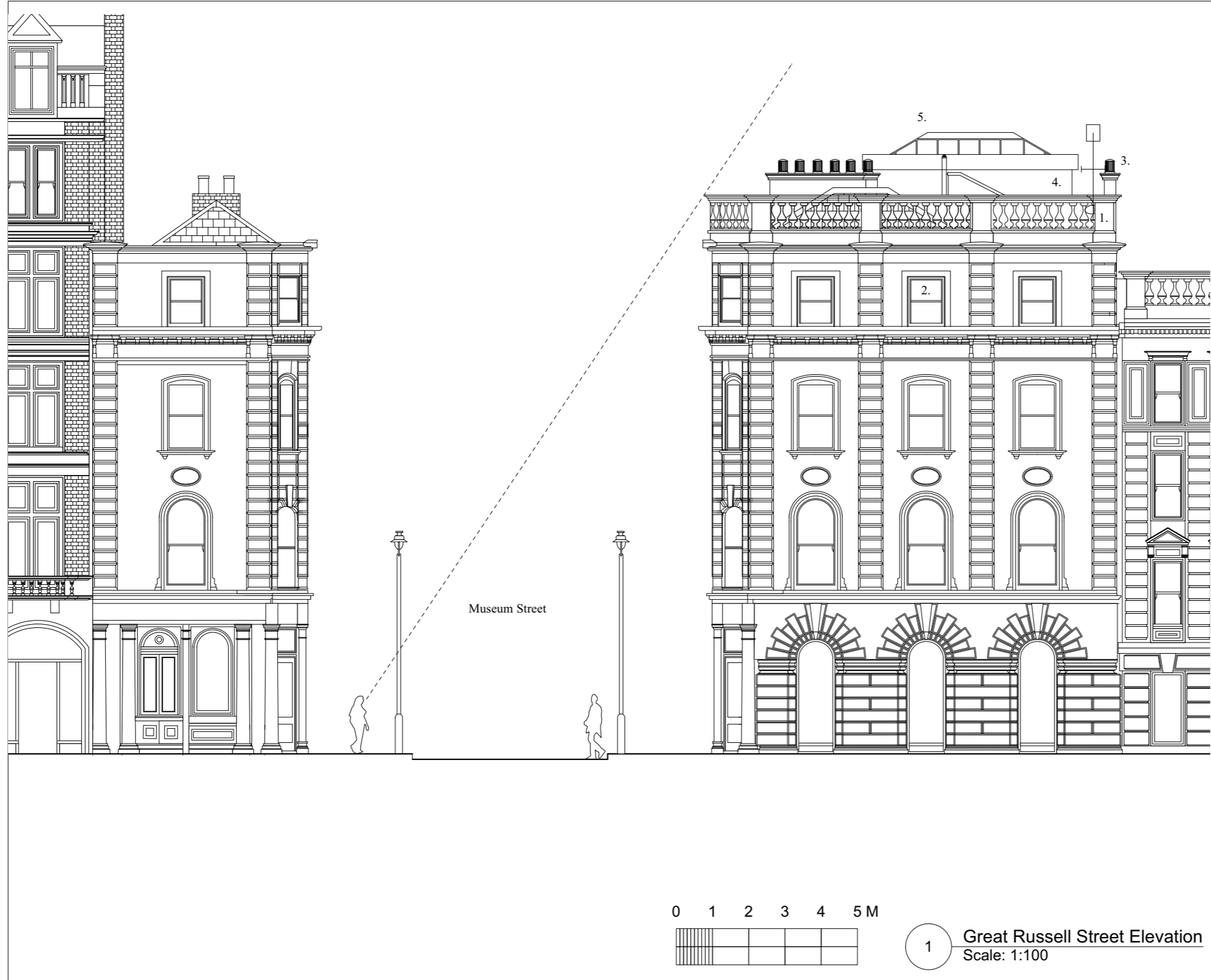
Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No.	Status	Drawing No. & Revision
010-	Stage 3	GA-401

1 Museum Street Elevation
 Scale: 1:100

Existing Museum Street Elevation



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 Do not scale from drawing - All dimensions in mm & allow for tolerance.
 All dimensions to be checked on site. Drawing only to be used for purposes indicated.

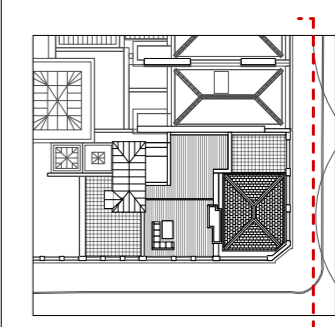
General Notes

Drawings for planning purposes only

Sheet Notes

1. Traditional stucco clad neo-classical building
2. Flat 3 34 Museum Street
3. Aerials array
4. Existing roof structure
5. Existing neighbours roof structure at 33 Museum Street, clad in render with lead look roof.

Key:



----- Sight Line

Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

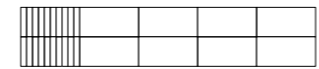
Title: Existing GA Elevations

Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No: 010-	Status Stage 3	Drawing No. & Revision GA-402
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0 1 2 3 4 5 M

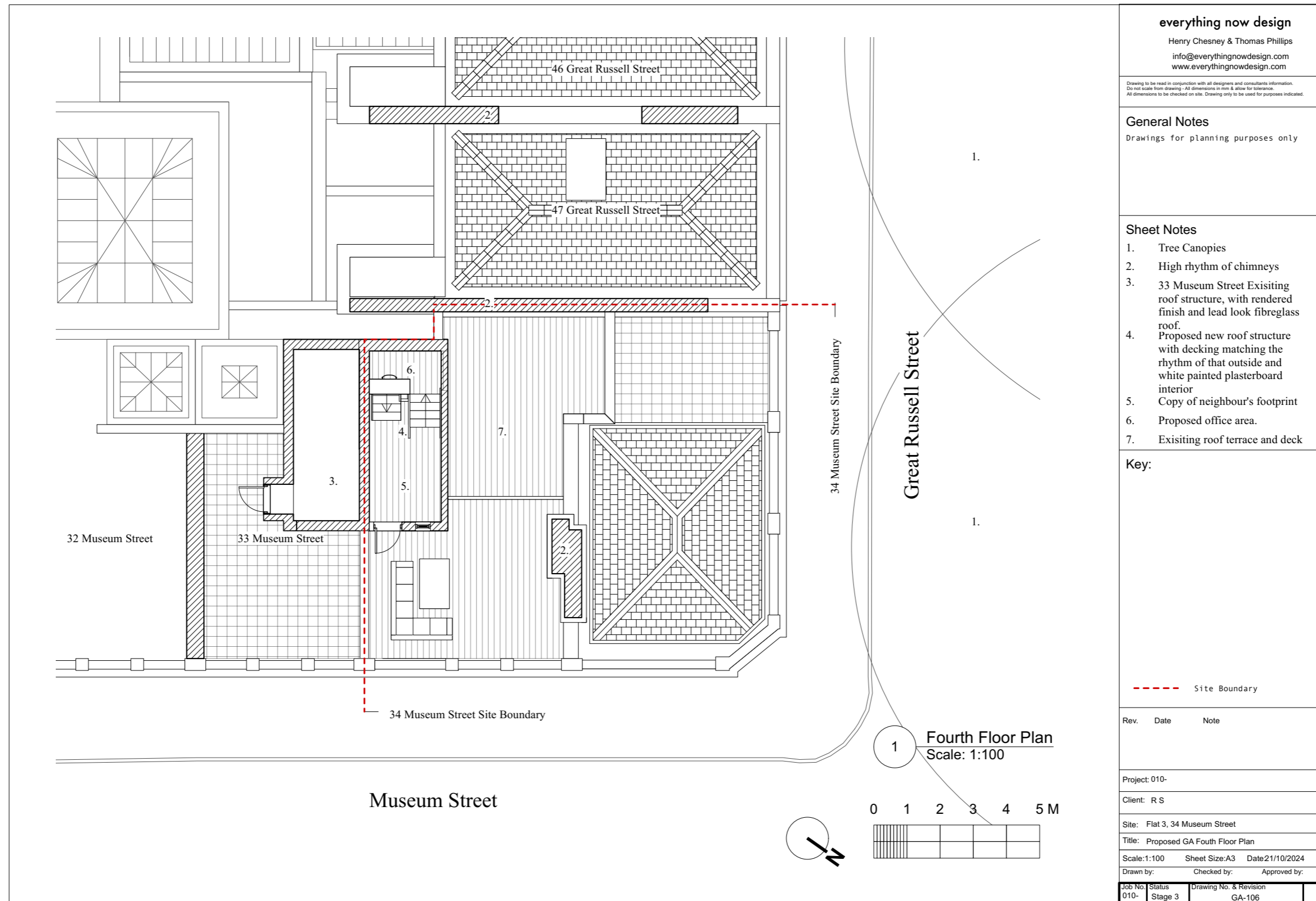


1 **Great Russell Street Elevation**
 Scale: 1:100

Existing Great Russell Street Elevation

6. Appendix

6.2. Proposed Plans & Elevations



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Drawing to be read in conjunction with all designers and consultants information. Do not scale from drawing - All dimensions in mm & allow for tolerance. All dimensions to be checked on site. Drawing only to be used for purposes indicated.

General Notes

Drawings for planning purposes only

Sheet Notes

1. Tree Canopies
2. High rhythm of chimneys
3. 33 Museum Street Existing roof structure, with rendered finish and lead look fibreglass roof.
4. Proposed new roof structure with decking matching the rhythm of that outside and white painted plasterboard interior
5. Copy of neighbour's footprint
6. Proposed office area.
7. Existing roof terrace and deck

Key:

--- Site Boundary

Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

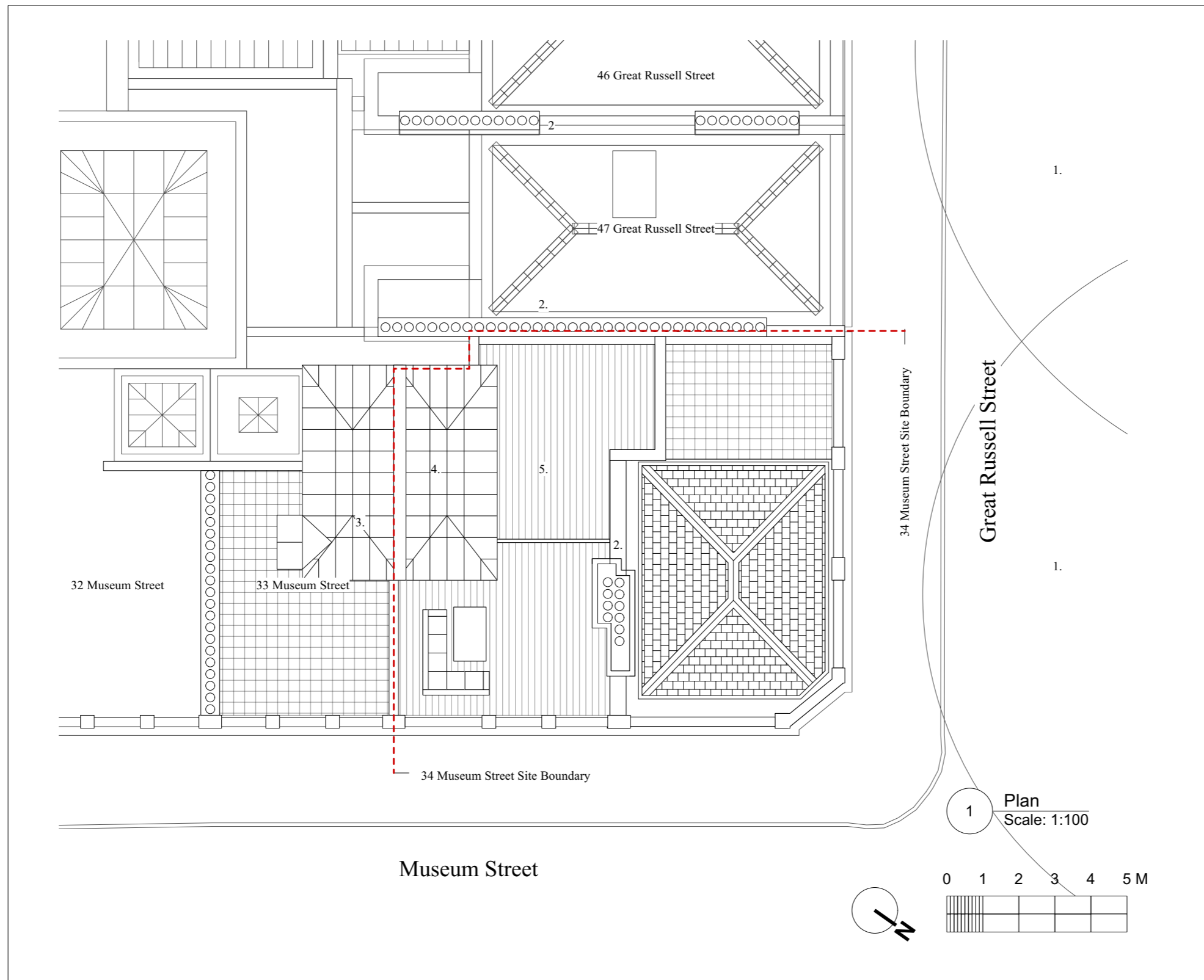
Title: Proposed GA Fourth Floor Plan

Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No.	Status	Drawing No. & Revision
010-	Stage 3	GA-106

Proposed 4th Floor Plan



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General Notes

Drawings for planning purposes only

Sheet Notes

1. Tree Canopies
2. Busy rhythm of chimneys
3. 33 Museum Street Existing roof structure, with rendered finish and lead look fibreglass roof.
4. Proposed roof plan, finished in standing seams to match the look of 33 Museum Street's structure, and the wider area's roof finishes.
5. Existing roof terrace and deck

Key:

--- Site Boundary

Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

Title: Proposed GA Roof Plan

Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No: 010-	Status: Stage 3	Drawing No. & Revision: GA-109
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Proposed Roof Plan



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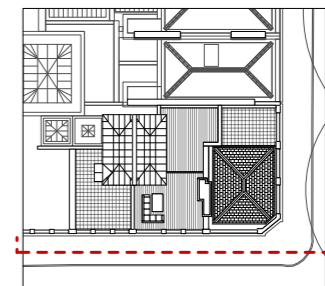
General Notes

Drawings for planning purposes only

Sheet Notes

1. 33 Museum Street existing structure with lead look roof and porch protruding.
2. 34 Museum Street structure to match neighbour's and emulate existing openings.
3. Stucco and render finish buildings.
4. Existing plane trees.

Key:



Rev.	Date	Note

Project: 010-

Client: R S

Site: Flat 3, 34 Museum Street

Title: Proposed GA Elevations

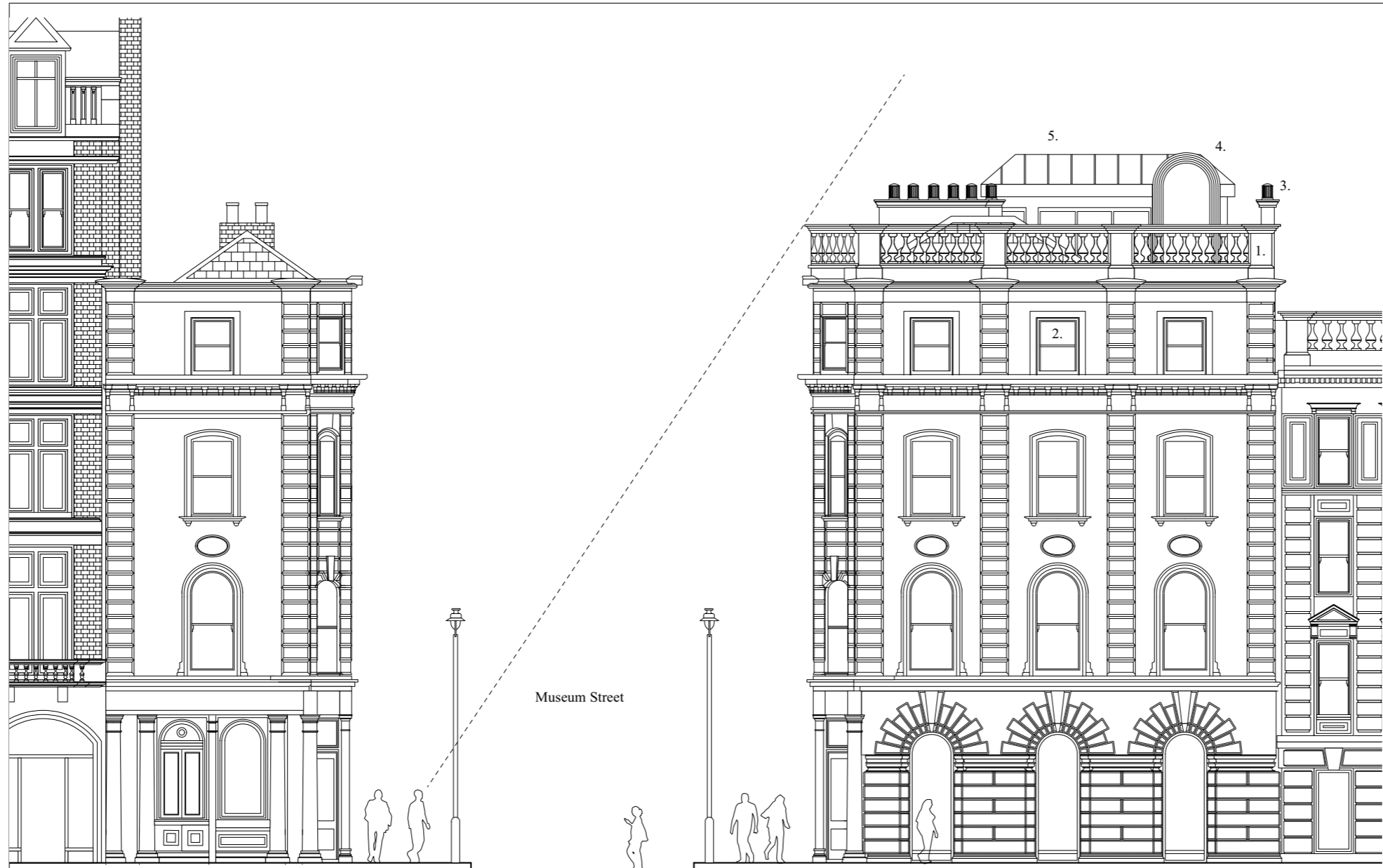
Scale: 1:100 Sheet Size: A3 Date: 21/10/2024

Drawn by: Checked by: Approved by:

Job No.	Status	Drawing No. & Revision
010-	Stage 3	GA-403

1 Museum Street Elevation
 Scale: 1:100

Proposed Museum Street Elevation



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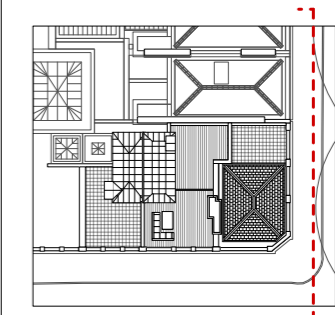
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Drawing to be read in conjunction with all designers and consultants information.
 Do not scale from drawing - All dimensions in mm & allow for tolerance.
 All dimensions to be checked on site. Drawing only to be used for purposes indicated.

General Notes
 Drawings for planning purposes only

- Sheet Notes**
1. Traditional stucco clad neo-classical building
 2. Flat 3 34 Museum Street
 3. Aerials removed
 4. New barrel window emulating those on the first floor.
 5. Proposed roof, pitched and set back, so as to make no impact to the street, clad in zinc to match surrounding areas lead roofs.

Key:



----- Sight Line

Rev.	Date	Note

Project: 010-

Client: Ramin Sabi

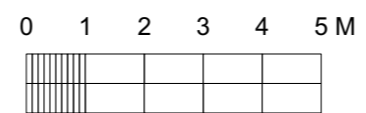
Site: Flat 3, 34 Museum Street

Title: Proposed GA Elevations

Scale: 1:100 Sheet Size: A3 Date: 30/09/2022

Drawn by: _____ Checked by: _____ Approved by: _____

Job No.	Status	Drawing No. & Revision
010-	Stage 3	GA-404



1 Great Russell Street Elevation
 Scale: 1:100

Proposed Great Russell Street Elevation