

INTERNAL WALLS

3mm Skim
12.5mm Plasterboard
100mm Kingspan acoustic insulation to habitable rooms
50x100mm Timber studs @ 400mm Centres
12.5mm Plasterboard
3mm Plaster skim

To provide min ½ hour fire rating

Appropriate water resistant board to be used to Bathroom areas
Damp membrane to Bathroom areas

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Damp membrane to Bathroom areas

WINDOWS / GLASS

Replace windows as shown with white painted timber windows to match existing.
Rear windows (to bay) extended to Ground. All new windows to be fitted with cavity closers and integral DPM. Emergency egress windows for escape to habitable rooms. To ensure emergency egress with unobstructed operable area of 0.33m2 and at least 450mm high and wide. Trickle Vents. To achieve 1.4 W/(m2K). Any glazing in critical locations to be safety glazing in accordance with BS 6206

INTERNAL DOORS

White painted heritage timber doors throughout. White painted architraves and skirting throughout. Client to provide skirting, architrave, door and ironmongery (Architect to advise). Contractor to fit. For areas of internal glazing use toughened and laminated safety glass to critical areas in accordance with BS 6206

BATHROOMS

Connection of all hot and cold water. All Services to be established prior to commencement of works. Client to supply all finishes and fixtures and contractor to fit. Provision for fully tiled walls and floors, flush threshold walk-in showers, shaver sockets and towel rails.

UTILITY / KITCHEN

Ensure all connections, services and electrics as required. To be coordinated with final Kitchen/Utility designs.

FLOORS

Finishes as indicated. Client to supply. Allow for labour to fit only.

WALLS AND CEILINGS

Skim finish throughout. Decorated to client instruction

STRUCTURE

Structural information indicated in green. All elements to be signed off by Building Control. All structural steel work is to be to the structural engineers design and specification and in accordance with the structural calculations. Appropriate blue brick or concrete padstones are to be provided with a minimum bearing width as stated by the engineer. Steel fabrication is to be in accordance with BS5950 Part 02. The contractor will be responsible for the erection of all steel work to ensure the stability of the structure at all times during construction and for any bracing and/or strutting required. Load-bearing steelwork to be intumescently coated to provide 30 minutes fire resistance or boxed in and incased by 15mm duralume wall board to provide 30 minutes fire resistance.

PLUMBING

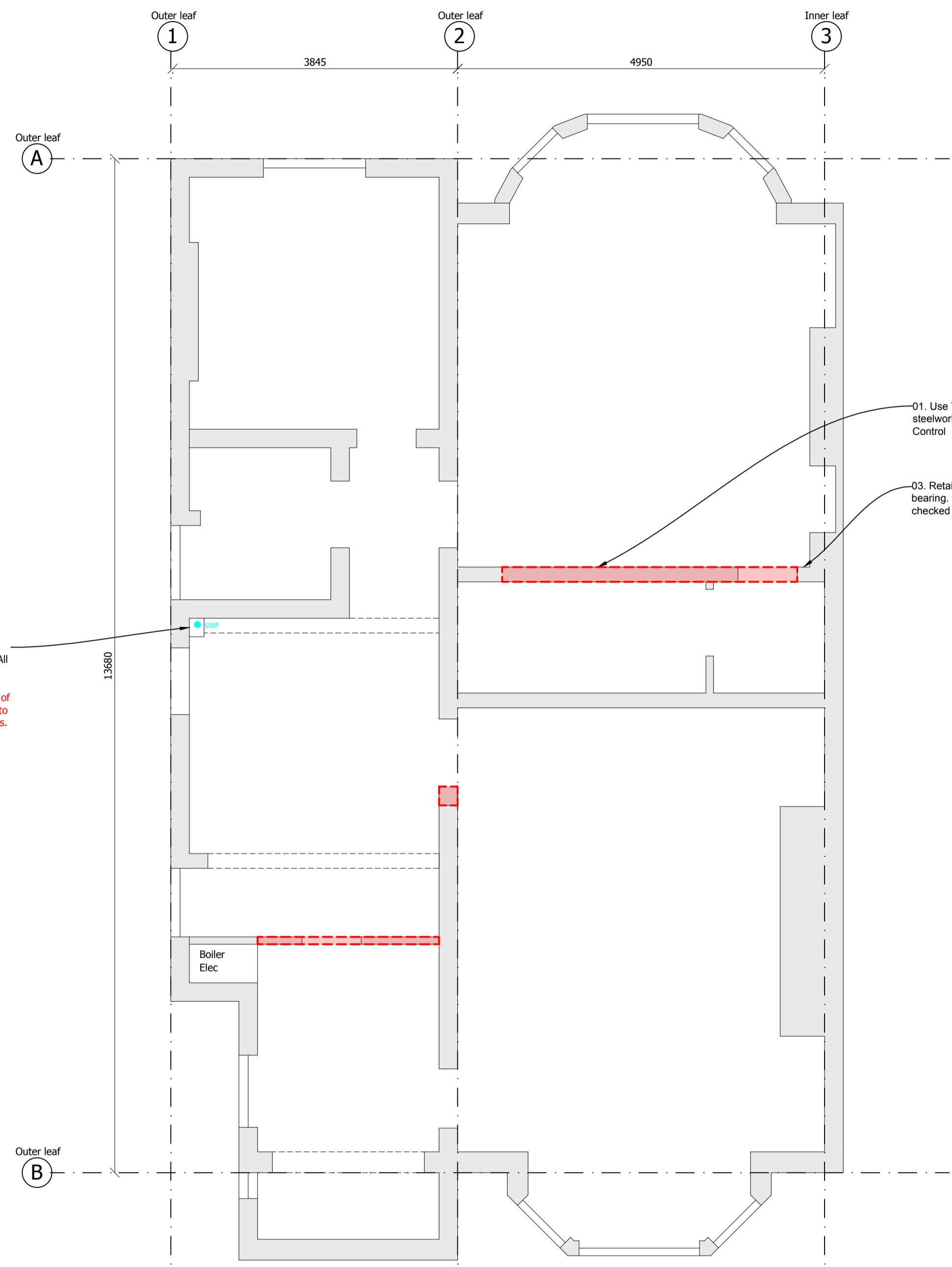
White column radiators to be supplied by client. Indicative Servicing and Plumbing items indicated in light blue. Servicing strategy to be coordinated and organised on site prior to construction. To include location of electrics/ water intakes/ waste pipes/ drainage/ Water Softener/ HWC. Final positions to be coordinated and finalised on site with contractor and client. To meet Building Regs and relevant BS Standards. Plumber to advise on requirements to suit needs. Existing boiler to be checked

PLUMBING
All Radiators to be replaced throughout to plumber recommendations. Radiator locations are indicative. To be agreed on site to building regulations.

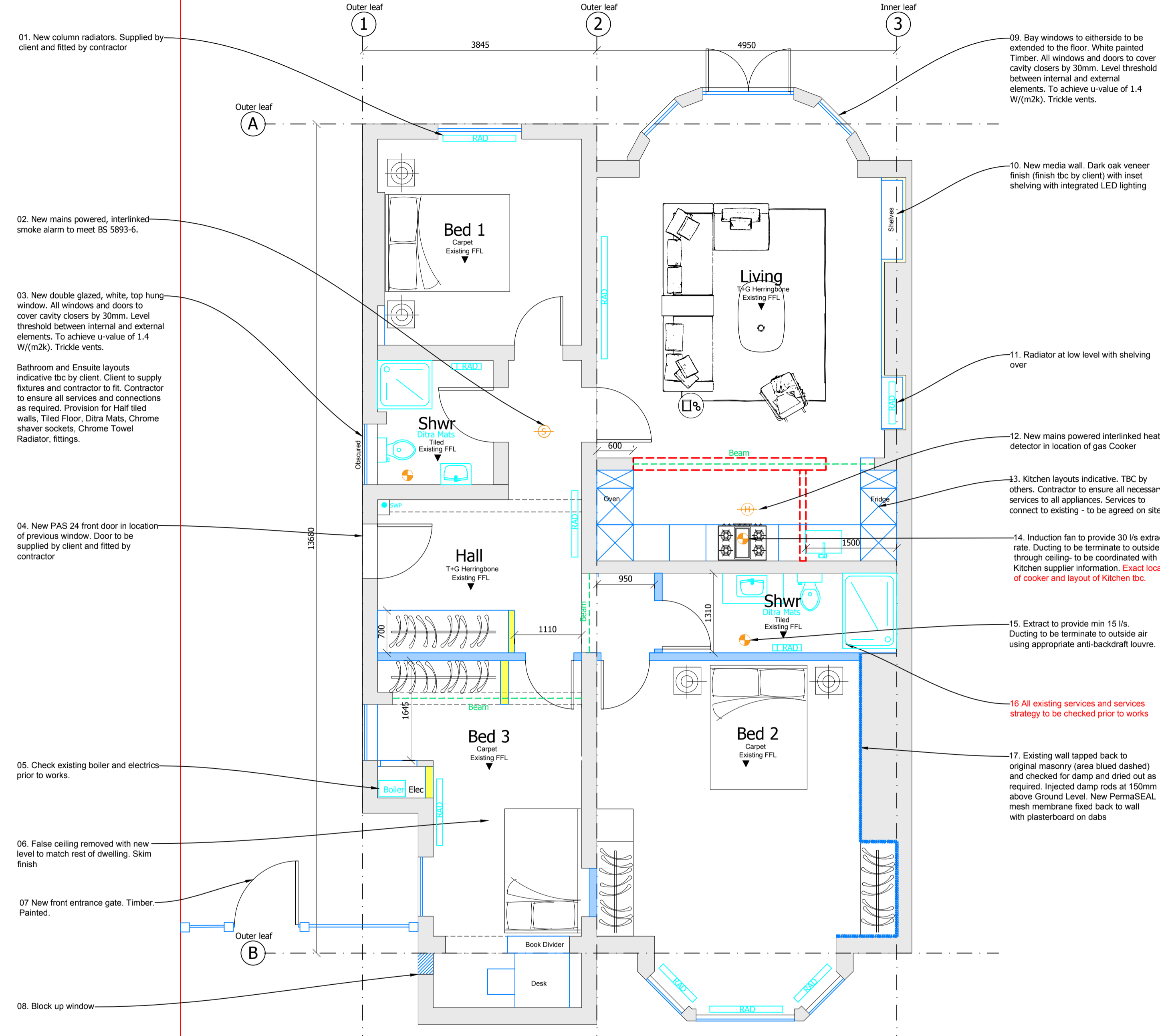
DRAINAGE

Servicing strategy to be established on site prior to commencement of works. Use existing outlets as far as feasible.

Proposed works in blue Demolition in red dash



EX Existing Lower Ground Floor Plan
Scale 1:50



G Proposed Lower Ground Floor Plan
Scale 1:50

- 01. New column radiators. Supplied by client and fitted by contractor
- 02. New mains powered, interlinked smoke alarm to meet BS 5893-6.
- 03. New double glazed, white, top hung window. All windows and doors to cover cavity closers by 30mm. Level threshold between internal and external elements. To achieve u-value of 1.4 W/(m2k). Trickle vents.
Bathroom and Ensuite layouts indicative tbc by client. Client to supply fixtures and contractor to fit. Contractor to ensure all services and connections as required. Provision for Half tiled walls, Tiled Floor, Ditra Mats, Chrome shaver sockets, Chrome Towel Radiator, fittings.
- 04. New PAS 24 front door in location of previous window. Door to be supplied by client and fitted by contractor
- 05. Check existing boiler and electrics prior to works.
- 06. False ceiling removed with new level to match rest of dwelling. Skim finish
- 07. New front entrance gate. Timber. Painted.
- 08. Block up window

- 09. Bay windows to either side to be extended to the floor. White painted Timber. All windows and doors to cover cavity closers by 30mm. Level threshold between internal and external elements. To achieve u-value of 1.4 W/(m2k). Trickle vents.
- 10. New media wall. Dark oak veneer finish (finish tbc by client) with inset shelving with integrated LED lighting
- 11. Radiator at low level with shelving over
- 12. New mains powered interlinked heat detector in location of gas Cooker
- 13. Kitchen layouts indicative. TBC by others. Contractor to ensure all necessary services to all appliances. Services to connect to existing - to be agreed on site
- 14. Induction fan to provide 30 l/s extract rate. Ducting to be terminate to outside air through ceiling - to be coordinated with Kitchen supplier information. Exact location of cooker and layout of Kitchen tbc.
- 15. Extract to provide min 15 l/s. Ducting to be terminate to outside air using appropriate anti-backdraft louvre.
- 16. All existing services and services strategy to be checked prior to works
- 17. Existing wall tapped back to original masonry (area blue dashed) and checked for damp and dried out as required. Injected damp rods at 150mm above Ground Level. New PermaSEAL mesh membrane fixed back to wall with plasterboard on dabs

OTHER

The Contractor is to obtain the designer's prior consent and Building Control Officer's authorisation before changing any construction or substituting any materials or products specified with others. It is the Contractor's responsibility to reject and refuse to take delivery of any materials delivered to site where these are not of an acceptable quality or do not conform to those specified or shown on drawings.

High level Trickle vents to all windows. To provide 8000mm2 of background ventilation to habitable rooms and 4000mm2 to wet rooms. All windows and doors frames to cover cavity closers by 30mm. All openings in accordance with Part K.

Window openings to habitable rooms to be 1/20th of floor area to allow for sufficient purge ventilation

Provide 130,000mm2 of background ventilation to entire dwelling.

Party Wall awards in place prior to works.

Ensure ceiling has ½ hour fire protection (plasterboard) to provide fire separation to above dwelling

Internal finishes and bespoke items (ie media wall) to be coordinated with architect and client

These plans have been drawn for the purpose of planning permission and lawful consents.

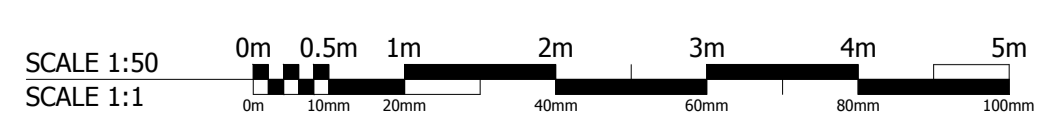
All drawings to be signed off by building control before the commencement of any works.

Any measurements required for construction must not be scaled from this drawing but taken on site.

All structural elements to be signed off by structural engineer and agreed with Building Control prior to the commencement of works.

PRE-COMMENCEMENT

Exact services strategy to be established by contractor before any construction works to commence. To include location and positioning of drains, channels and necessary connecting runs to service all items of house.



pb arc

BUILDING CONTROL

Project: Garden Flat 1, 65 Belsize Park

Drawing: LOWER GROUND

Job Number	Drawing Number	Drawing Revision
A20-014	GAP001	A

Date: 13.01.25 Scale @ A1: 1:50 Drawn: -