

Our ref: CTIL_242202
The Chief Planning Officer

17/12/2024

Camden Borough Council
Development Management
Camden Town Hall Extension
Argyle Street
London
WC1H 8EQ

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Dear Sir/Madam,

PROPOSED BASE STATION INSTALLATION AT CTIL_242202 ROOFTOP OF ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

Cornerstone is the UK's leading mobile infrastructure services company. We acquire, manage and own over 20,000 sites and are committed to enabling best in class mobile connectivity for over half of all the country's mobile customers. We oversee works on behalf of telecommunications providers and wherever possible aim to:

- promote shared infrastructure
- maximise opportunities to consolidate the number of base stations
- significantly reduce the environmental impact of network development

Cornerstone are in the process of progressing suitable sites in the New Oxford Street area for radio base stations that will improve service provision for Vodafone. We aim to work with you to progress a proposal that is both acceptable to your authority and meets our customer's technical network requirements. This approach accords with Cornerstone's Best Practice Commitments to ensure consultation with Local Planning Authorities and other appropriate key stakeholders.


As part of Cornerstone's continued network improvement program, there is a specific requirement for a radio base station at this location to restore full 2G and 4G coverage and capacity and provide new 5G service provision ensuring that this area of New Oxford Street reinstates access to the latest technologies. The site provider at Castlewood House served the operator with a notice to quit to enable his plans to redevelop the site to come to fruition. The original site has been decommissioned and is now off air.

There is currently no coverage for Vodafone in this busy location within the capital. There is therefore an urgent need to provide replacement coverage as soon as possible, as the operator's customers are unable to utilize their handheld devices in this cell area contrary to the operator's legal requirements to provide a service and the customers reasons for purchasing their handheld devices. A replacement installation in this location will ensure that the latest high quality 2G and 4G service provision is maintained and enhanced in and around New Oxford Street.

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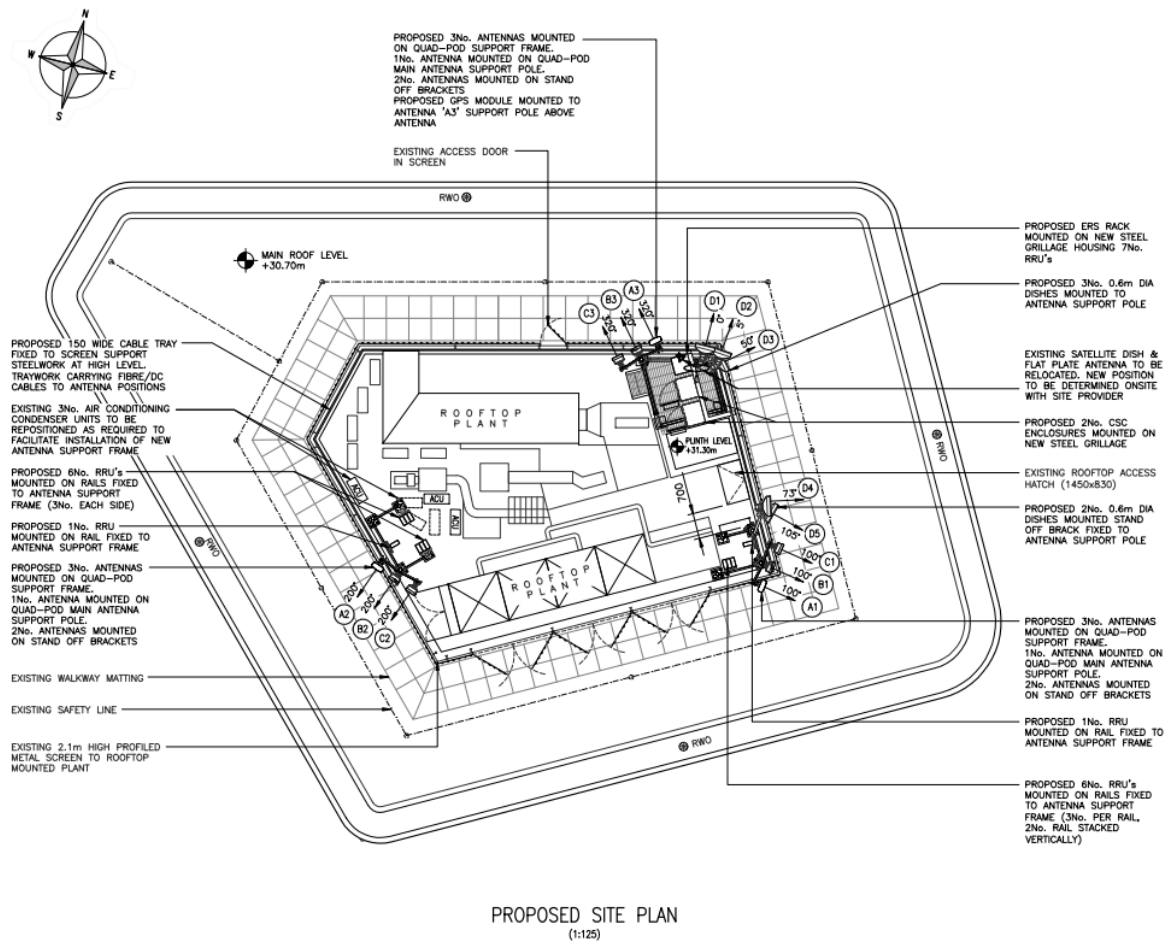
Cornerstone Planning Consultation Letter to LPA V.2 – 15/04/2021

Registered Address:
Cornerstone Telecommunications, Infrastructure Limited,
Hive 2, 1530 Arlington Business Park, Theale, Berkshire, RG7 4SA.
Registered in England & Wales No. 08087551.
VAT No. GB142 8555 06

 Cornerstone, Hive 2,
1530 Arlington Business Park,
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This proposal represents a significant narrowing of the tower design previously proposed as part of application LPA ref: 2021/3402/P. This proposal allays the concerns raised in the decision notice of this application. The tower design has been replaced with significantly slimmer and less visually obtrusive tripod support poles.

The operator has reconfigured the technology the site will host, dropping the number of antennas from 9 to 3. This allows for the bulky stub towers to be replaced with the much slimmer tripod frames. The tripod frames will allow for the equipment assimilate in with the surrounding area better than the previously refused design. A comparison showing the design changes in the previous and current proposals is show in Figure 1 and Figure 2.




The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
 Designed in accordance with CTL document: SDN008

Figure 1 – Previous proposed site plan submitted under LPA ref: 2021/3402/P

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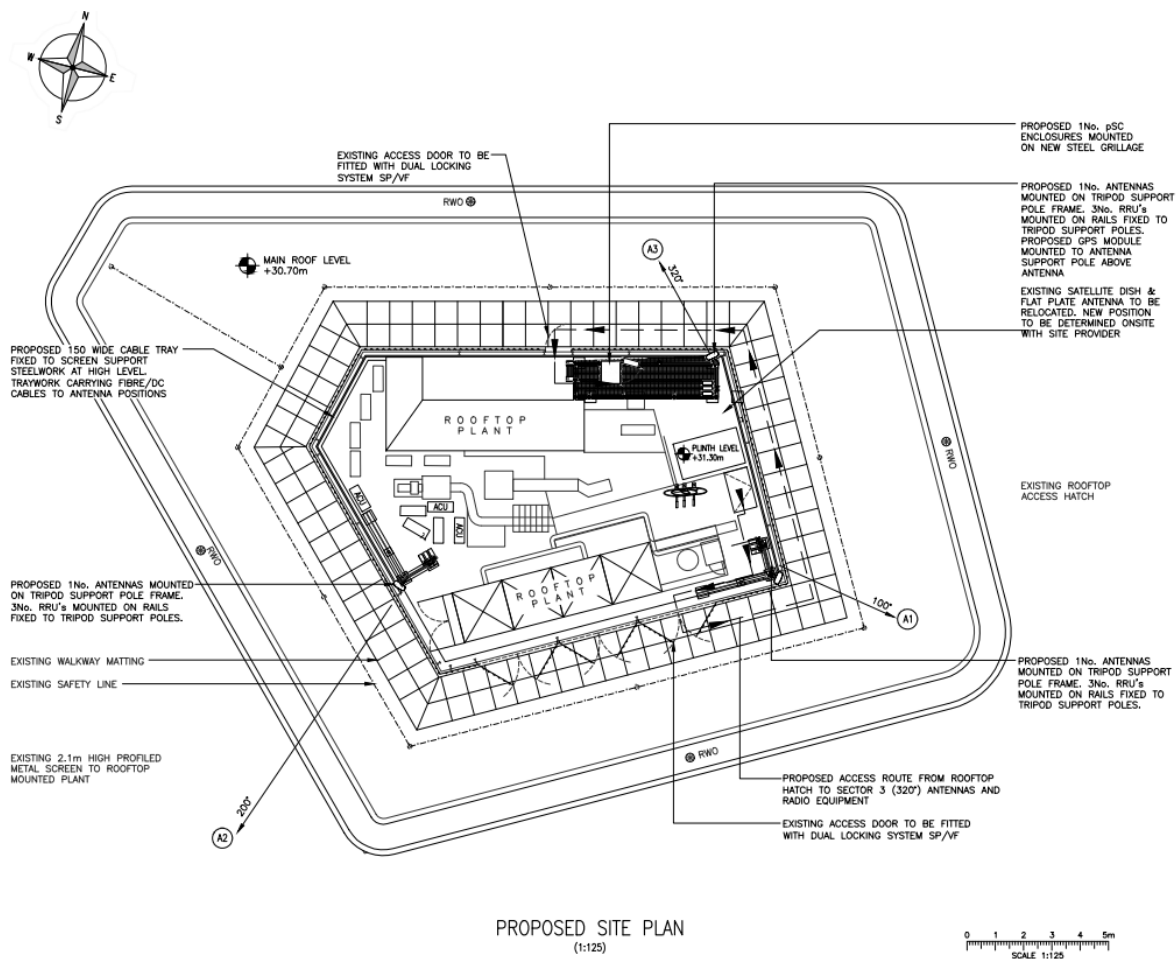


Figure 2 – Proposed site plan as part of this pre-application consultation

Mobiles can only work with a network of base stations in place where people want to use their mobile phones or other wireless devices. Without base stations, the mobile phones and other devices we rely on simply won't work.

This letter therefore invites the Local Planning Authority, in accordance with planning policy guidance and Best Practice Commitments, to enter into pre-application discussions with regard to our preferred site option prior to a formal planning submission. Several steps in the site identification process have already been undertaken. The Local Planning Authority must register and our records of other potential sites have been reviewed, the policies in the Development Plan have been taken into account and we have examined the inter-operator site sharing database.


Our technical network requirement is as follows:

CTIL_242202 ALBION HOUSE, 55-59 NEW OXFORD STREET

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The site is needed to reinstate and enhance 2G and 4G coverage and capacity for Vodafone to ensure that its customers experience and maintain access to the latest service provision currently available. The installation will also meet the extra demands on the network in this area as more people use internet enabled handheld devices.

The site is needed to restore 2G, 4G and provide new 5G coverage and capacity for Vodafone to ensure that its customers can once again experience access to the latest service provision currently available. This is because the operator needs to find a replacement for its site Castlewood House, which has been decommissioned due to the landlords plans to redevelop this site. The replacement installation will also meet the extra demands on the network in this area as new technologies improve increasing the demand for 4G and 5G technology.

The Government recognises that widespread coverage of mobile connectivity is essential for people and businesses. People expect to be connected where they live, work, visit and travel. That is why the Government is committed to extending mobile geographical coverage further across the UK, with continuous mobile connectivity provided to all major roads.

The demand for mobile data in the UK is increasing rapidly, and as households and businesses become increasingly reliant on mobile connectivity, the infrastructure must be in place to ensure supply does not become a constraint on future demand.

The preferred Cornerstone option is as follows:

ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

The proposed works comprise the installation of 3 no. antennas on antenna tri-pod supporting frames, 1 no. equipment cabinet and ancillary development thereto including 9 no. Remote Radio Units (RRUs) and 1 no. GPS module.

The operators have chosen this building as it is as near as possible to the original building that provided high quality, advanced communications technology but is no longer available to be used and has been decommissioned. In order to provide equivalent replacement coverage the replacement site needs to be as close as possible to the former site, so it can fill the specific hole in coverage in the operator's network.


The re-designed site will mean the proposed antennas are out of the general eye line of the casual onlooker. The antennas are offset the main roof level, therefore not overlooking the street from the rooftop edge. The majority of the steelwork from the tripod frames will be screened the existing wall. Thus the visual presence of the radio base station will be minimised. This is especially so as the height of the host building is some 30.7m and the top height of the antennas is 36.1m. Therefore the antennas will barely be noticeable once in situ even if the general public were to crane their necks upwards in an unnatural stance to see glimpses of the new antennas.

Indeed, the antennas are to be located on the plant room roof which is set well in from the main roof ridge. Therefore the antennas will be further shielded from external vantage points at ground level. The area is already established with rooftop antennas as Castlewood House nearby had the operator's equipment on it, up until recently. The proposed antennas will

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appear very similar to these. The building mass of Albion House, 55-59 New Oxford Street will also ensure that the antennas will not be overly visible from ground level.

The proposed rooftop antennas will be located on the plant room roof of Albion House, on the north, south and west elevations to provide 360 degree coverage. They will be arranged in to groups of 3 tripod support frames. This will avoid clipping issues from the rooftop of the host building, as well as preventing the rooftop from being sterilised by ICIRP issues.

The RRUs are very small for telecommunications equipment approximately the size of a shoe box. They will be located behind the proposed antennas in each of the three locations on the plant room roof. Given their position on the tripod frames they will not be visible once in situ.


Alternative site options considered and rejected are as follows:

- **Rooftop – Castlewood House, 77-91 New Oxford Street, London, WC1A 1DG NGR E: 529984 N: 181402**
This is the NTQ site where the operator was originally located. An NTQ was served, the site has been decommissioned and is currently off air. This site is no longer available hence the need for a replacement site.
- **Rooftop – St Giles in the Fields Church, High Street, London, WC2AH 8LG NGR E: 529961 N: 181267**
This building is too low to provide the necessary coverage to the target coverage area. The surrounding tall buildings would prevent the antennas from being effective and an additional installation would still be required. There is also insufficient space in the church spire to accommodate a radio base station.
- **Rooftop – Centre Point, New Oxford Street, London, WC1A 1DD NGR E: 529873 N: 181371**
This site is being redeveloped and it is also listed. Therefore the site is unavailable to the operators. Due to its listed status the preferred option would also have less impact as it is not a designated heritage asset.
- **Rooftop – Fairgate House, New Oxford Street, London, WC1A 1HB NGR E: 529983 N: 181435**
The building is lower than the surrounding properties. Therefore the antenna signal would be blocked. This site is therefore not suitable.
- **Rooftop – Burtons, 118/132 New Oxford Street, London, WC1A 1HL NGR E: 529850 N: 181399**
This property is listed and therefore would have a greater impact on the character and appearance of a heritage asset than the preferred option which is not statutorily protected. The site also borders the next cell. A radio base station in this location would interfere with the existing radio base stations operation causing it not to work as effectively. This would be detrimental to the operation of the network in this area. As the site is on the edge of the search area it would not provide as good a coverage as the preferred option. This site has therefore been discounted for these reasons.
- **Rooftop – 64-76 New Oxford Street, London, WC1A 1BS NGR E: 530025 N: 181455**

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A site in this location would not provide significant uplift in coverage due to the operators existing network configuration. As such, it would not provide the necessary coverage to the target coverage area for Vodafone. It has therefore been discounted for this reason.

- **Rooftop – Prospect House, 92-112 New Oxford Street, London, WC1A 1HH NGR E: 529938 N: 181429**

This property would not provide as good coverage to the operator compared to the preferred option due to its height and location. It has therefore been discounted as it would not provide the necessary coverage to the target coverage area.

We look forward to receiving your comments on the preferred option identified above and alternatives discounted. We would also like to take this opportunity to extend an invitation to meet with you to discuss the proposal and undertake a tour of the options considered, should you consider this to be beneficial.

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We would be grateful if you could advise us of any pending telecommunications applications or recent planning decisions in this particular area so these can be evaluated.

Finally, we would be interested in any local stakeholders or groups that you consider would like to know more about our proposals.

We enclose a copy of our Consultation Plan and welcome your suggestions.

We look forward to receiving your response within 14 days of the date of this letter.

Should you have any queries regarding this matter, please do not hesitate to contact me (quoting cell number CTIL_242202)

Yours faithfully




Jordan Malthouse
Graduate Planner
Clarke Telecom Ltd

Tel: +44 (0)161 785 4500

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Fax: +44 (0)161 785 4501

Email: jordan.malthouse@clarke-telecom.com

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Our ref: CTIL_242202

31/01/2025

Jeannine Manuel School
FAO Chair of Governors
43-45 Bedford Square
WC1B 3DN
London

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Email: contact@jmanuel.uk.net

BY EMAIL

Dear Sir / Madam,

PROPOSED BASE STATION INSTALLATION AT CTIL_242202 ROOFTOP OF ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

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The proposals relate to the installation of 3 no. antennas and ancillary development thereto including 9 no. Remote Radio Units (RRUs).

The operators have chosen this building as it is as near as possible to the original building that provided high quality, advanced communications technology but is no longer available to be used and has been decommissioned. In order to provide equivalent replacement coverage the replacement site needs to be as close as possible to the former site, so it can fill the specific hole in coverage in the operator's network.

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We would welcome your views (within 14 days of the date of this letter) before we finalise the proposal and submit the planning application to the Local Planning Authority.

Should you have any queries regarding this matter, please do not hesitate to contact me (quoting cell number [CTIL_242202])

Yours sincerely


joshua fiteni

Joshua Fiteni Bsc MTPL MRTPI
Planning Lead for Clarke Telecom Ltd
Josh.Fiteni@Clarke-Telecom.com

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FAO Chair of Governors
Macklin Street
Covent Garden
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WC2B 5NA

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Yours sincerely


joshua fiteni

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Planning Lead for Clarke Telecom Ltd
Josh.Fiteni@Clarke-Telecom.com

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Cornerstone Planning Consultation Letter to Schools V.2 – 15/04/2021

Registered Address:
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Our ref: CTIL_242202

31/01/2025

St Joseph's Catholic Primary School
FAO Headteacher
Macklin Street
Covent Garden
London
WC2B 5NA

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Email: admin@stjosephs.camden.sch.uk

BY EMAIL

Dear Sir / Madam,

PROPOSED BASE STATION INSTALLATION AT CTIL_242202 ROOFTOP OF ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

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Our ref: CTIL_242202

31/01/2025

Turtles Nursey
FAO Manager
47 Dudley Court
36 Endell Street
London
WC2H 9RF

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Email: turtlesnursery1@gmail.com

BY EMAIL

Dear Sir / Madam,

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FAO Chair of Governors
71-75 Shelton Street
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London
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Our ref: CTIL_242202

17/12/2024

Councillor Julian Fulbrook
Member Support
Town Hall
Judd Street
London
WC1H 9JE

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Email: julian.fulbrook@camden.gov.uk

Dear Cllr Vincent

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Cornerstone are in the process of identifying a suitable site in the New Oxford Street area for a radio base station that will improve service provision for Cornerstone. The purpose of this letter is to consult with you and seek your views on our proposal before any planning submission is made. We understand that you are not always able to provide site specific comments, however, Cornerstone are committed to consultation with communities on our mobile telecommunications proposals and as such would encourage you to respond.

As part of Cornerstone's continued network improvement program, there is a specific requirement for a rooftop installation at Albion House, 55-59 New Oxford Street to replace the nearby radio base station which was lost on at Castlewood House. The site provider at Castlewood House served the operator with a notice to quit to enable his plans to redevelop the site to come to fruition. The original site has been decommissioned and is now off air. There is currently no coverage for Vodafone in this busy location within the capital. There is therefore an urgent need to provide replacement coverage as soon as possible, as the operator's customers are unable to utilise their handheld devices in this cell area contrary to the operator's legal requirements to provide a service and the customers reasons for purchasing their handheld devices. An installation in this location will ensure that the latest high quality 2G and 4G service provision is maintained and enhanced in and around New Oxford Street.

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Cornerstone Planning Consultation Letter to Councillors - Standard V.3 – 15/04/2021

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Mobiles can only work with a network of base stations in place where people want to use their mobile phones or other wireless devices. Without base stations, the mobile phones, and other devices we rely on simply won't work.

Please find below the details of the proposed site and the alternative site options :

CTIL_242202 ALBION HOUSE, 55-59 NEW OXFORD STREET

The site is needed to reinstate and enhance 2G and 4G coverage and capacity for Vodafone to ensure that its customers experience and maintain access to the latest service provision currently available. The installation will also meet the extra demands on the network in this area as more people use internet enabled handheld devices.

The preferred Vodafone option is as follows:

ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

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This proposal represents a significant narrowing of the tower design previously proposed as part of application 2021/3402/P. This proposal allays the concerns raised in the decision notice of this application as the tower design has been replaced with significantly slimmer and less visually obtrusive tripod support poles.

The operator has reconfigured the technology the site will host, dropping the number of antennas from 9 to 3. This allows for the bulky stub towers to be replaced with the much slimmer tripod frames. The tripod frames will allow for the equipment assimilate in with the surrounding

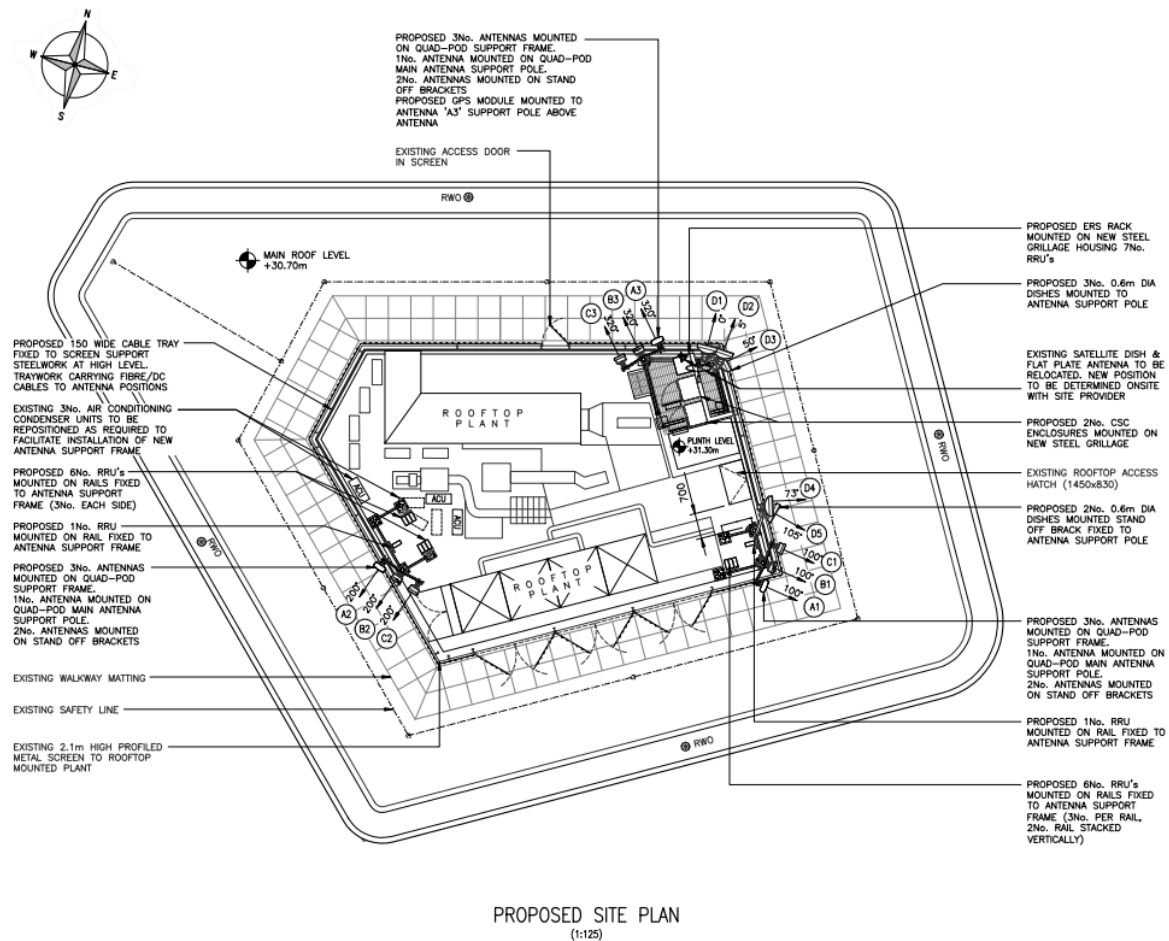
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area better than the previously refused design. A comparison showing the design changes in the previous and current proposals is show in Figure 1 and Figure 2.




The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
Designed in accordance with CTL document: SDN0008

Figure 1 - The previous proposal

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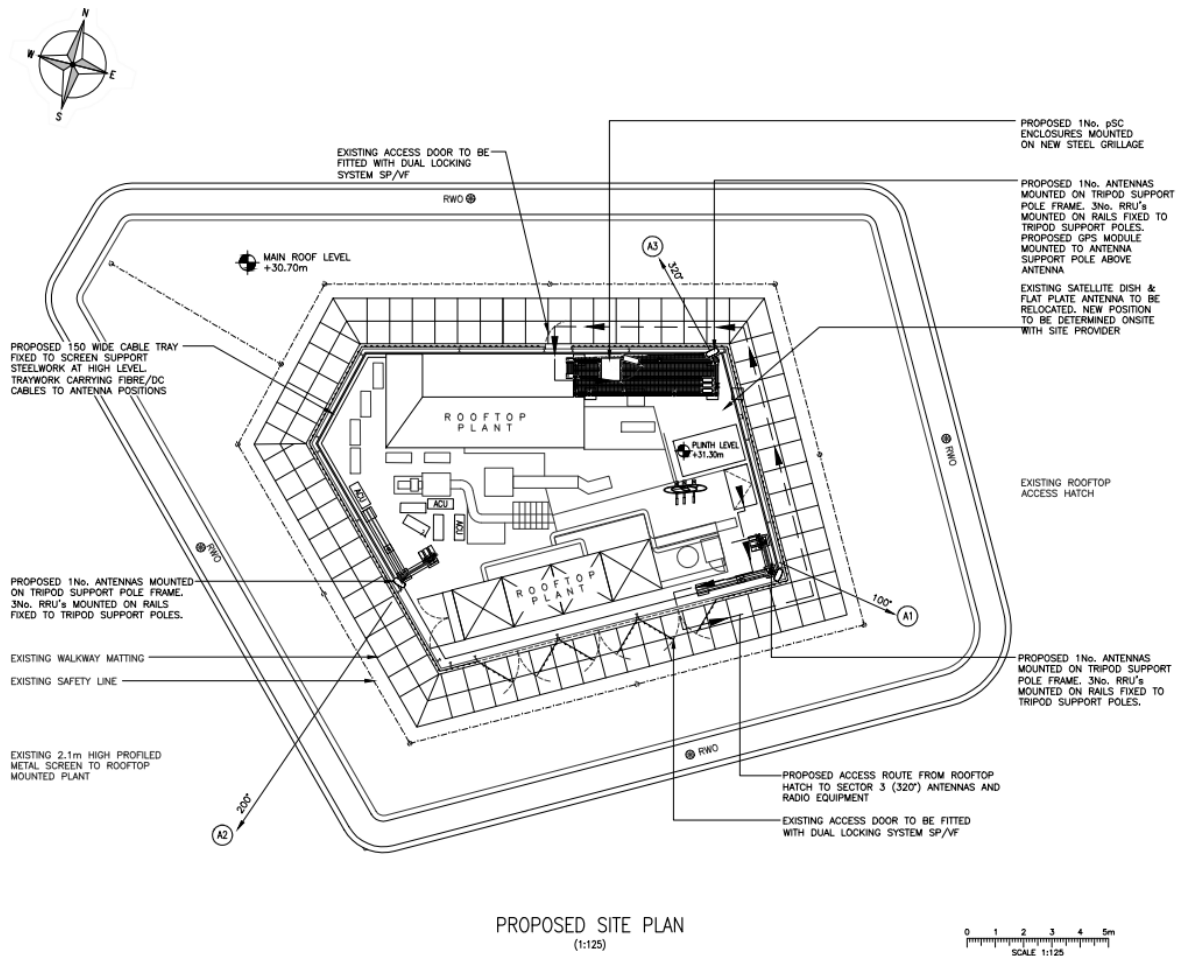


Figure 2 - The current proposal

The RRUs are very small for telecommunications equipment approximately the size of a shoe box. They will be located behind the proposed antennas in each of the three locations on the plant room roof. Given their position set back from the roof edge over 30m above ground level they will not be visible once in situ.

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This property would not provide as good coverage to the operator compared to the preferred option due to its height and location. It has therefore been discounted as it would not provide the necessary coverage to the target coverage area.

The Local Planning Authority must register and our records of other potential sites have already been reviewed, the policies in the Development Plan have been taken into account and the planning history of the site has been examined.


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Our ref: CTIL_242202

17/12/2024

Councillor Awale Olad
Member Support
Town Hall
Judd Street
London
WC1H 9JE

Clarke Telecom Ltd
Unit E
Madison Place
Northampton Road
Manchester
M40 5AG

Email: awale.olad@camden.gov.uk

Dear Cllr Vincent

PROPOSED BASE STATION INSTALLATION AT CTIL_242202 ROOFTOP OF ALBION HOUSE, 55-59 NEW OXFORD STREET, LONDON, WC1A 1BS NGR E: 530052 N: 181421

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As part of Cornerstone's continued network improvement program, there is a specific requirement for a rooftop installation at Albion House, 55-59 New Oxford Street to replace the nearby radio base station which was lost on at Castlewood House. The site provider at Castlewood House served the operator with a notice to quit to enable his plans to redevelop the site to come to fruition. The original site has been decommissioned and is now off air. There is currently no coverage for Vodafone in this busy location within the capital. There is therefore an urgent need to provide replacement coverage as soon as possible, as the operator's customers are unable to utilise their handheld devices in this cell area contrary to the operator's legal requirements to provide a service and the customers reasons for purchasing their handheld devices. An installation in this location will ensure that the latest

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CTIL_242202 ALBION HOUSE, 55-59 NEW OXFORD STREET

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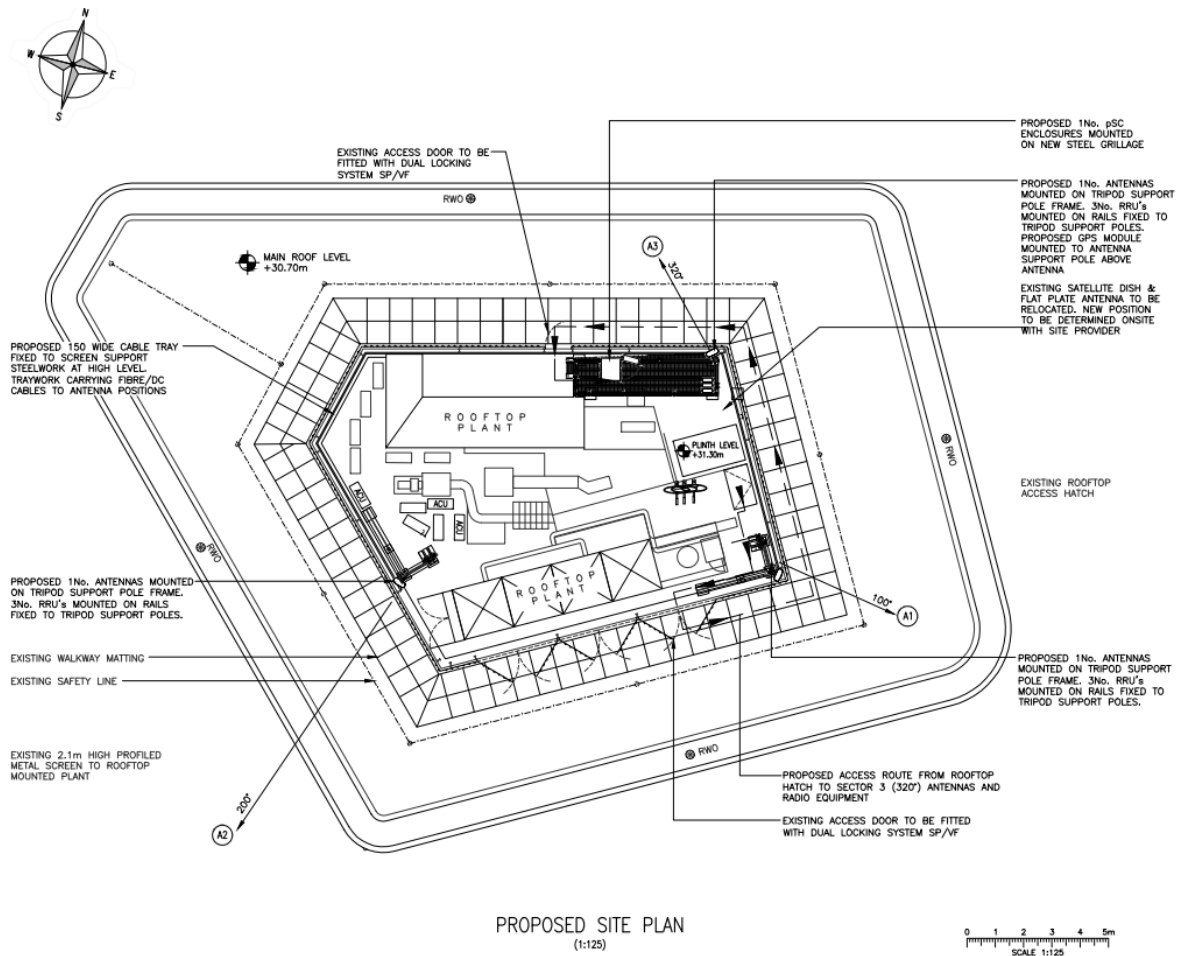


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17/12/2024

Councillor Sue Vincent
Member Support
Town Hall
Judd Street
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WC1H 9JE

Clarke Telecom Ltd
Unit E
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Email: sue.vincent@camden.gov.uk

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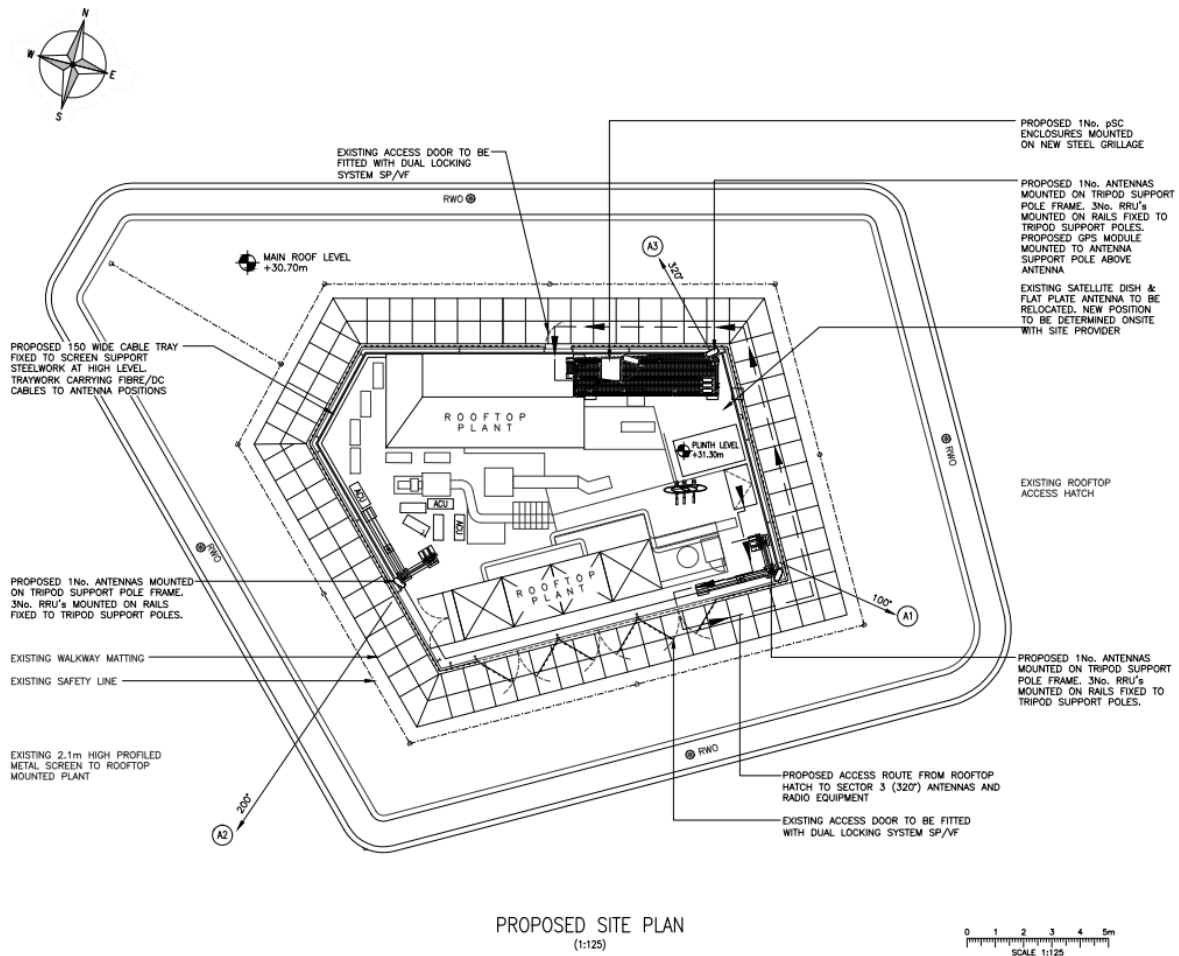


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