



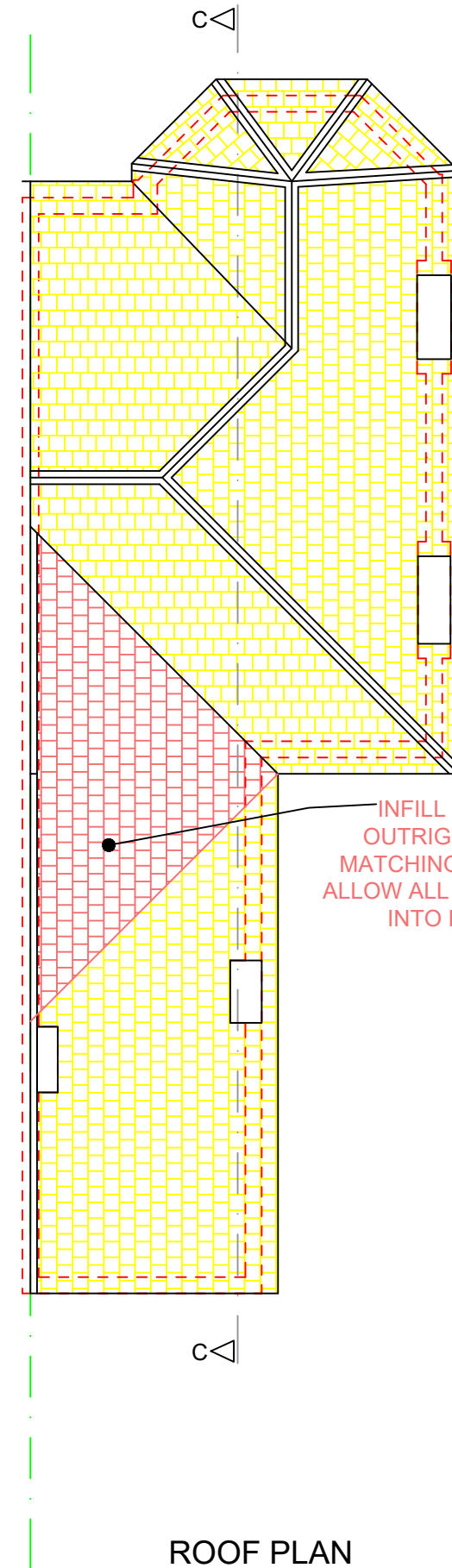
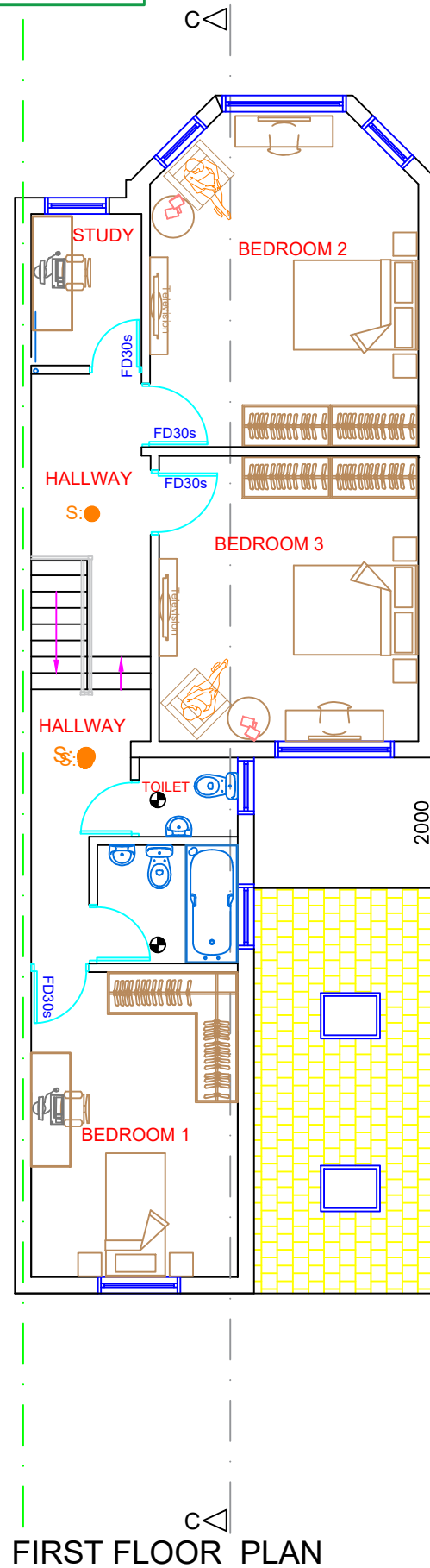
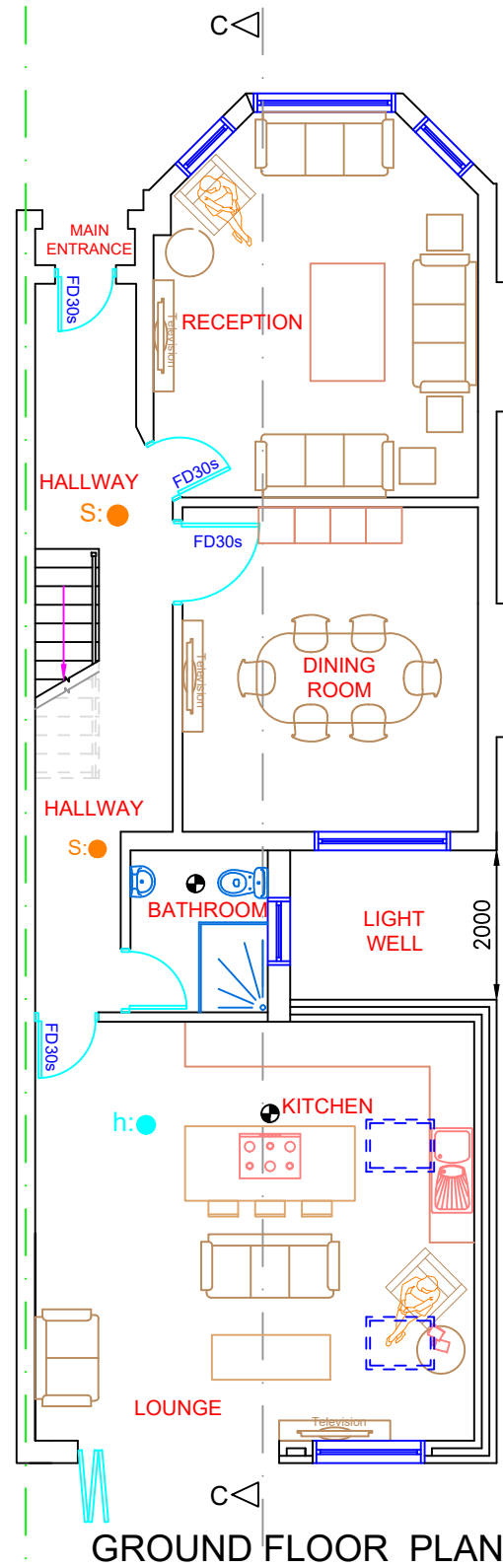
HOMES DESIGN

40 WISE LANE
MILL HILL
LONDON NW7 2RE
MOB: 07946 872537

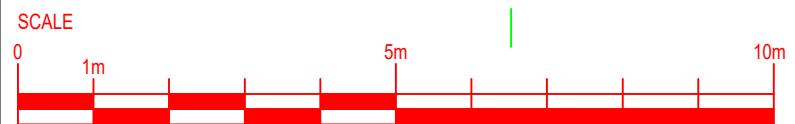
www.homesdesignltd.co.uk

title	PROPOSED PLANS	
project	187 FORDWYCH ROAD - LONDON NW2 3HN	
drawing no	ABC449/3000 rev B	
drawn by	R. L	contract no. ABC449
scale	1:100 @ A3	date 01/2025

- h: ● HEAT DETECTORS TO ALL KITCHEN AREAS & CONNECTED TO SMOKE DETECTOR'S CIRCUIT
- S: ● SMOKE DETECTOR SYSTEM CONNECTED TO INDEPENDENT CIRCUIT & BRITISH STANDARDS
- MECHANICAL EXTRACT FANS. KITCHEN WITH (30L/s) & BATH AREAS TO BE 15L/s EXTRACT FAN FITTED TO LIGHT SWITCH WITH 15MINUTES OVER RUN IN ACCORDANCE TO APPROVED DOC-F



INFILL ROOF AREA BETWEEN REAR OUTRIGGER ROOF AND MAIN ROOF IN MATCHING ROOF TILES TO MAIN ROOF TO ALLOW ALL SURFACE WATER TO DISCHARGE INTO EXISTING OUTLET SYSTEMS





40 WISE LANE
MILL HILL
LONDON NW7 2RE
MOB: 07946 872537
www.homesdesignltd.co.uk

title	PROPOSED SIDE ELEVATIONS	
project	187 FORDWYCH ROAD - LONDON NW2 3HN	
drawing no	ABC449/3001 rev B	
drawn by	R. L	contract no. ABC449
scale	1:100 @ A3	date 01/2025

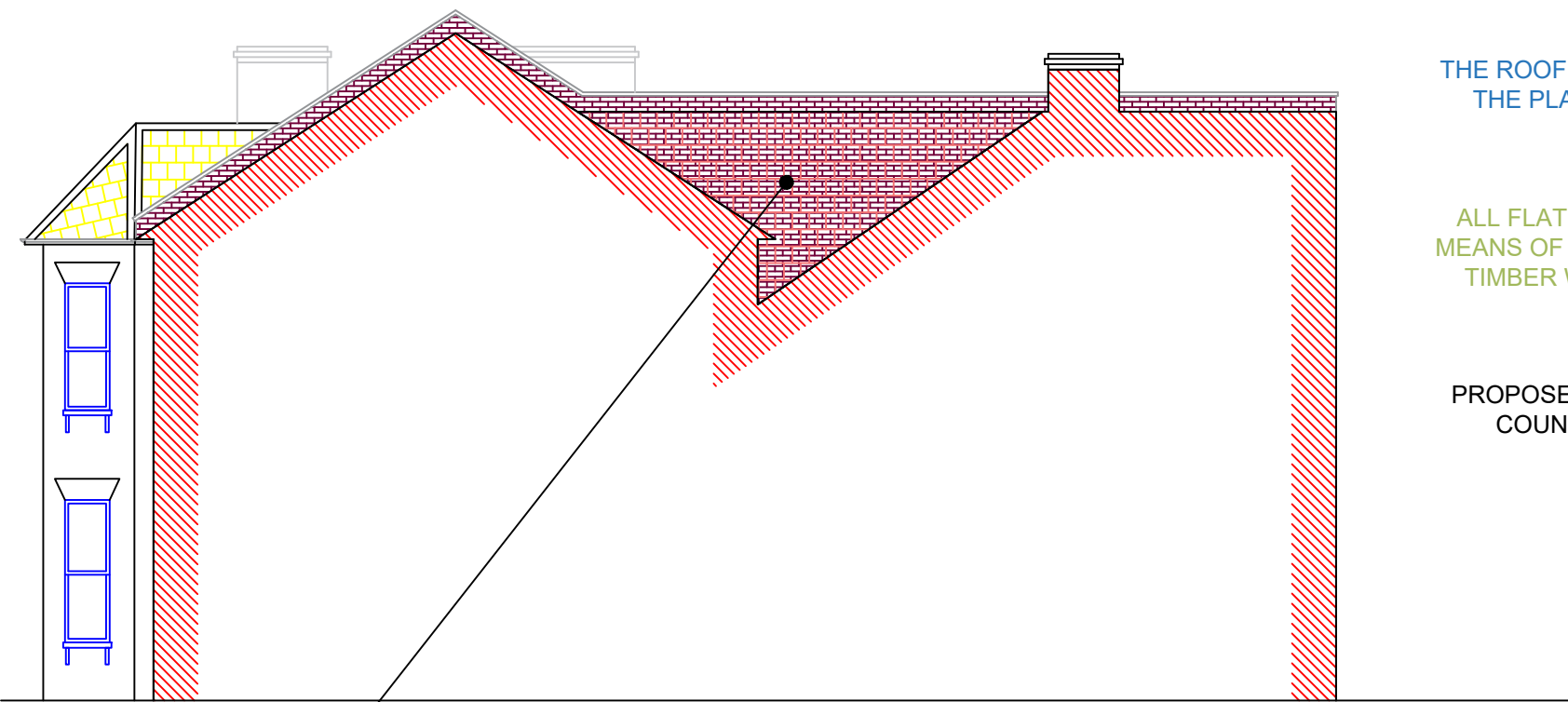
ALL MATERIAL USED FOR THE NEW DORMER TILES MUST MATCH EXISTING ROOF TILES FINISH. THE GROUND FLOOR REAR EXTENSION ROOF TO BE FLAT & FELTED WHILST THE SIDE ROOF IN MATCHING BROWN CLAY TILES TO MAIN ROOF. ALL NEW WINDOWS TO HAVE MATCHING MATERIAL IN COMPLIANCE WITH EXISTING SITE CONSTRAINTS

ALL WINDOWS TO NEW AREAS TO BE DOUBLE GLAZED AND TRICKLE VENTED AND INSTALLED TO COMPLIANCE WITH PART-N & PART-L OF BUILDING REGULATIONS. ALL FRAMES TO BE SEALED AT EDGES AND WEATHER TIGHT. THE NEW WINDOW FINISHES TO CLIENT SPECIFICATION & INSTRUCTIONS & MATCH EXISTING

THE ROOF LIGHTS PROPOSED IN THE FRONT ROOF SLOPE WILL NOT PROTRUDE MORE THAN 150mm BEYOND THE PLANE OF THE SLOPE OF THE ORIGINAL ROOF WHEN MEASURED FROM PERPENDICULAR WITH THE EXTERNAL SURFACE OF THE ORIGINAL ROOF.

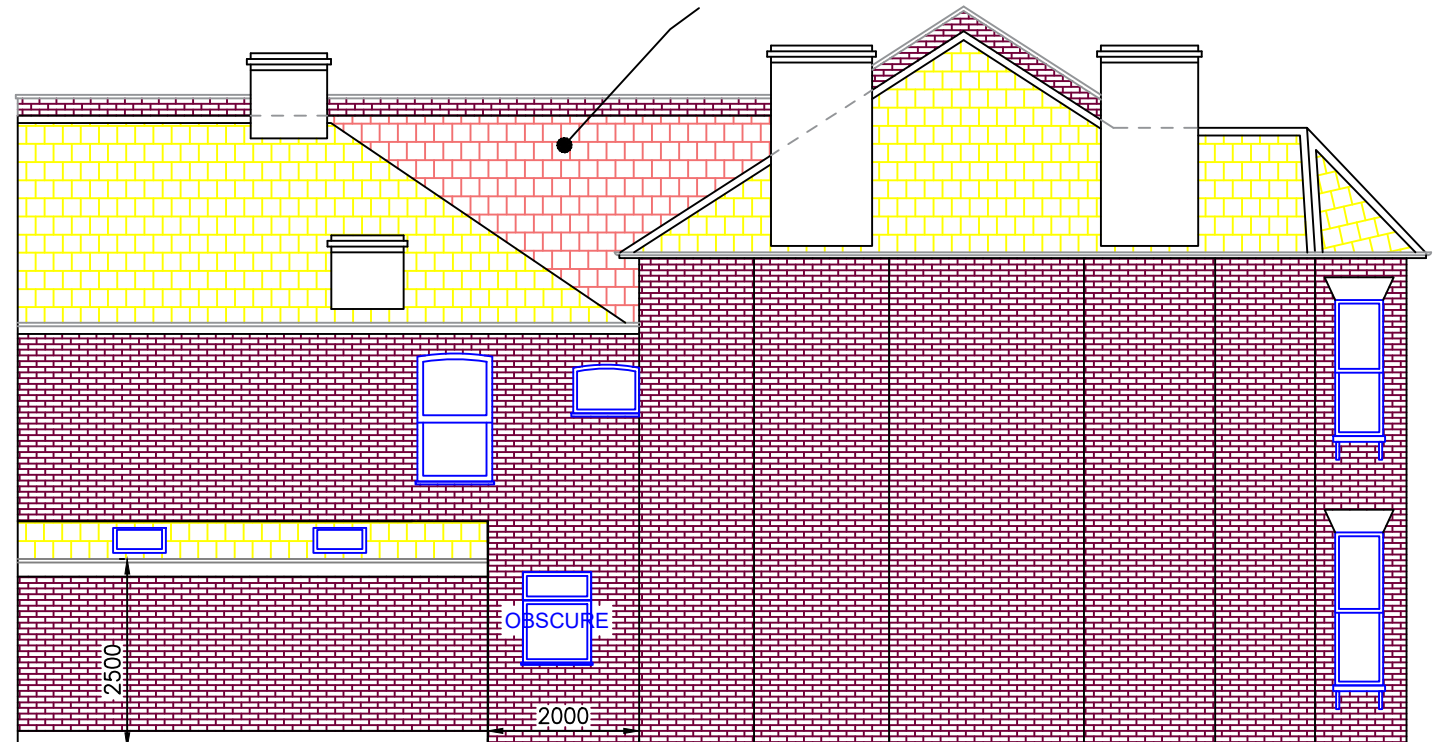
ALL FLAT ROOF AREAS TO HAVE 21mm MARINE PLYWOOD OVER THE FIRRINGS WITH 3-LAYERS OF FELT AS MEANS OF WEATHERING WITH LEAD DRESSING AND SOAKERS AT THE JUNCTION WITH THE ROOF LIGHTS. ALL TIMBER WORKS TO BE TREATED & GRADE SC3 (C16) AND FOR INSULATION REQUIREMENTS IT MUST BE IN COMPLIANCE TO BUILDING GUIDELINES & MANUFACTURER SPECIFICATION

PROPOSED REAR - SIDE OUTRIGGER GROUND FLOOR EXTENSION DESIGNED TO COMPLIANCE WITH BRENT COUNCIL SPD-2 RESIDENTIAL EXTENSION POLICIES UNDER COMPLIANCE OF FIGURE-7 OF L-SHAPED EXTENSION POLICIES

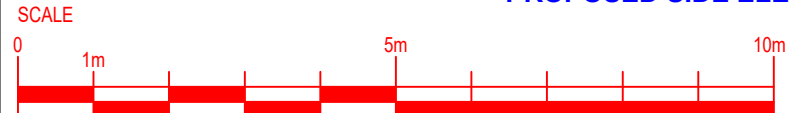


RIGHT (PARTY WALL SIDE) ELEVATION

INFILL ROOF AREA BETWEEN REAR OUTRIGGER ROOF AND MAIN ROOF IN MATCHING ROOF TILES TO MAIN ROOF TO ALLOW ALL SURFACE WATER TO DISCHARGE INTO EXISTING OUTLET SYSTEMS



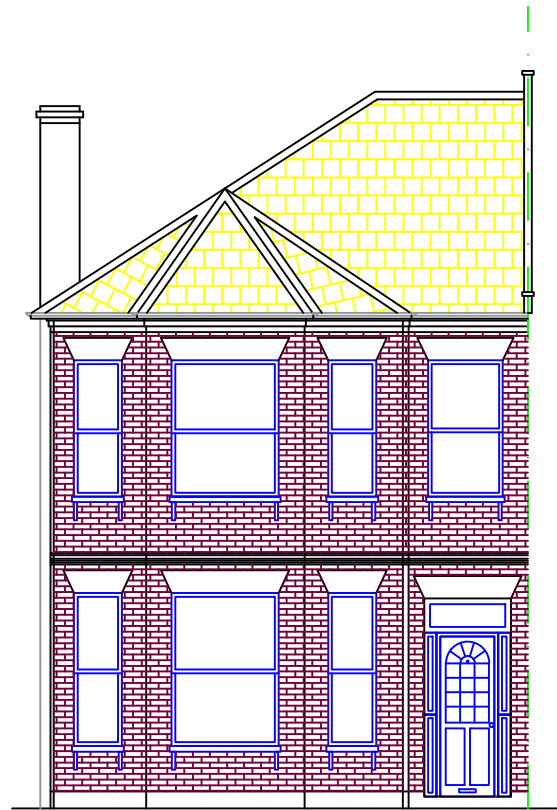
LEFT (FLANK SIDE WALL) ELEVATION
PROPOSED SIDE ELEVATION WINDOW TO BE IN OBSCURE GLAZING AND ONLY TOP OPENING SET AT 1.7m ABOVE FFL





40 WISE LANE
MILL HILL
LONDON NW7 2RE
MOB: 07946 872537
www.homesdesignltd.co.uk

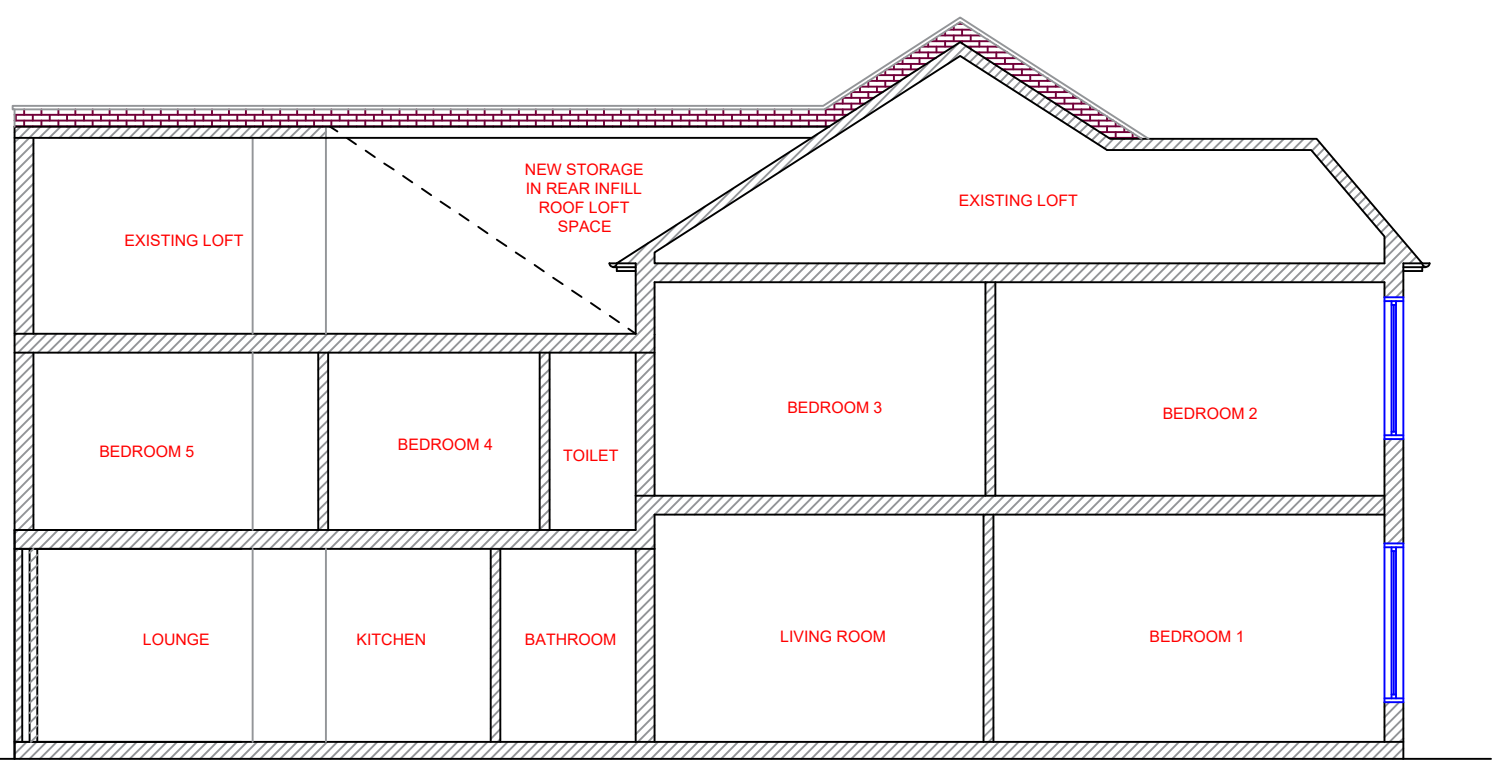
title	PROPOSED FRONT & REAR ELEVATIONS PLUS SECTION	
project	187 FORDWYCH ROAD - LONDON NW2 3HN	
drawing no	ABC449/3002 rev B	
drawn by	R. L	contract no. ABC449
scale	1:100 @ A3	date 01/2025



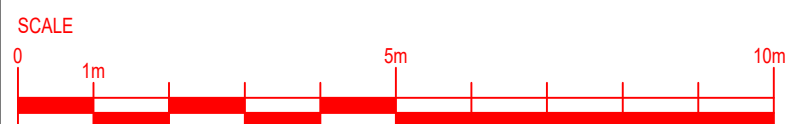
FRONT ELEVATION



REAR ELEVATION



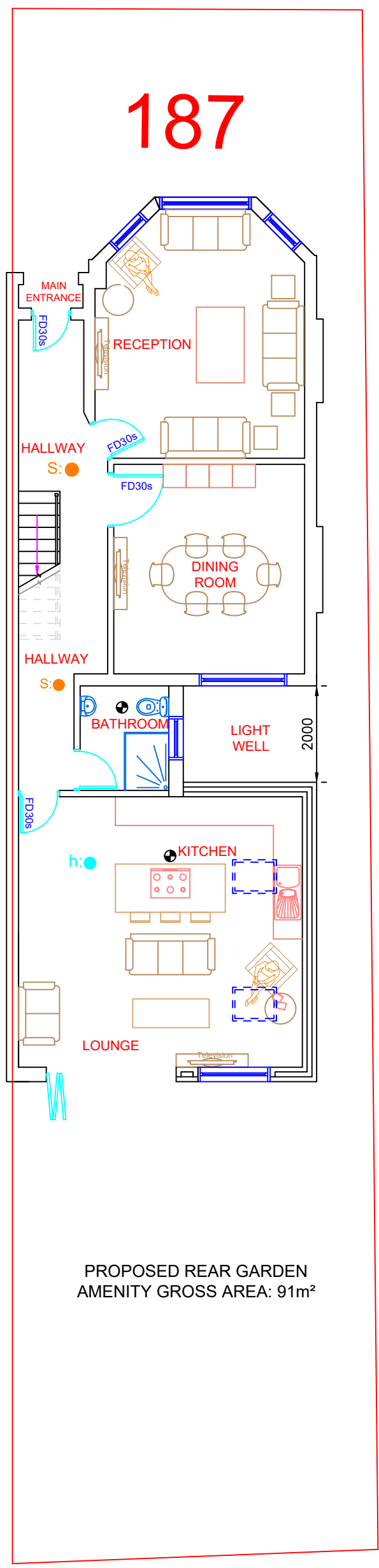
PROPOSED SECTION CC



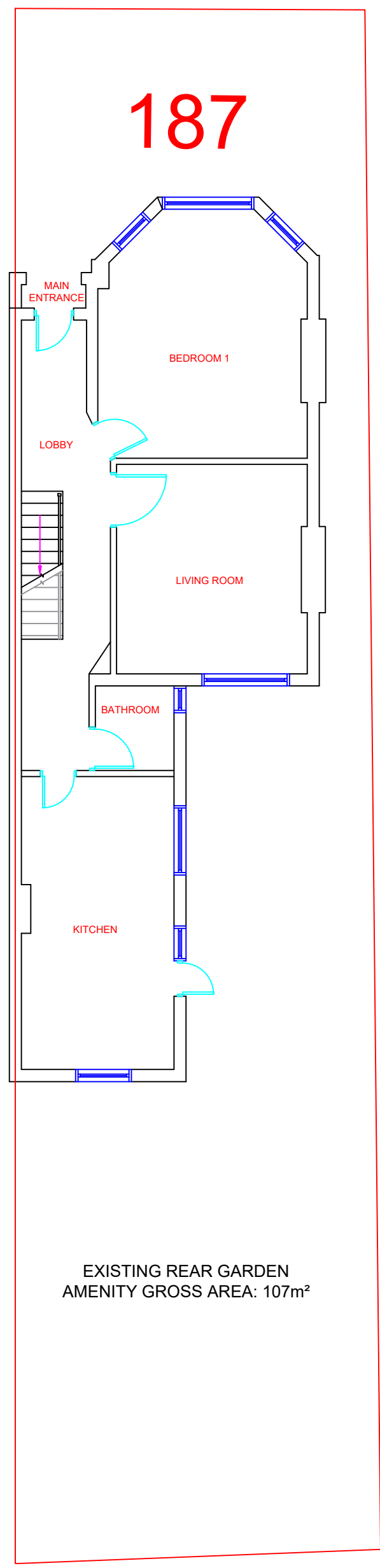


40 WISE LANE
MILL HILL
LONDON NW7 2RE
MOB: 07946 872537
www.homesdesignltd.co.uk

title	PROPOSED & EXISTING SITE PLANS	
project	187 FORDWYCH ROAD - LONDON NW2 3HN	
drawing no	ABC449/3003	
drawn by	R. L	contract no. ABC449
scale	1:100 @ A3	date 01/2025



PROPOSED SITE PLAN



EXISTING SITE PLAN

