



ARCHITECTURE
INTERIOR ARCHITECTURE
INTERIOR DESIGN

Twinning Design LLP
Company number OC419321

330 West End Lane
London NW6 1LN
+44 (0) 20 7431 9550
studio@twinningdesign.com
enrico@twinningdesign.com
www.twinningdesign.com

NOTES:

Please read this statement in conjunction with the attached drawings, photographs and other documents.

PLANNING

February 2025
DESIGN AND ACCESS STATEMENT

12a Elizabeth Mews,
London NW3 4TL

Proposal for the replacement of the existing rooflight to guarantee access to the flat roof, footprint reduction of the existing water tank enclosure, use of part of the roof as terrace with associated balustrade and timber deck at 12a Elizabeth Mews, London NW3.

February 2024

Design and Access Statement for
Householder Planning Application

Site Context and Existing Building

The property is a 3-storey mid terrace late 20th century house. It consists of 2 bedrooms and 3 bathrooms and it fronts Elizabeth Mews in the Belsize Park Conservation Area. Planning permission is being sought for the **replacement of the existing rooflight**, the **footprint reduction of the existing water tank enclosure** and the **use of part of the roof as terrace**.

Belsize CA sits on the rising land between Chalk Farm at the bottom of Haverstock Hill and Hampstead at the top, and extends westwards to Swiss Cottage. It forms a triangle of land bordered by Haverstock Hill, Adelaide Road and Fitzjohn's Avenue.

In March 1973 the Borough's Planning and Communication Committee agreed the designation of the Belsize Park Conservation Area subject to consultation. The area was centred on Belsize Park, Belsize Park Gardens and Belsize Village.

The Conservation Area has been subsequently extended on a number of occasions and in 1991 an extension incorporated Antrim Grove, Antrim Road, Adamson Road, Crossfield Road, Lancaster Grove, Primrose Gardens and Elizabeth Mews.

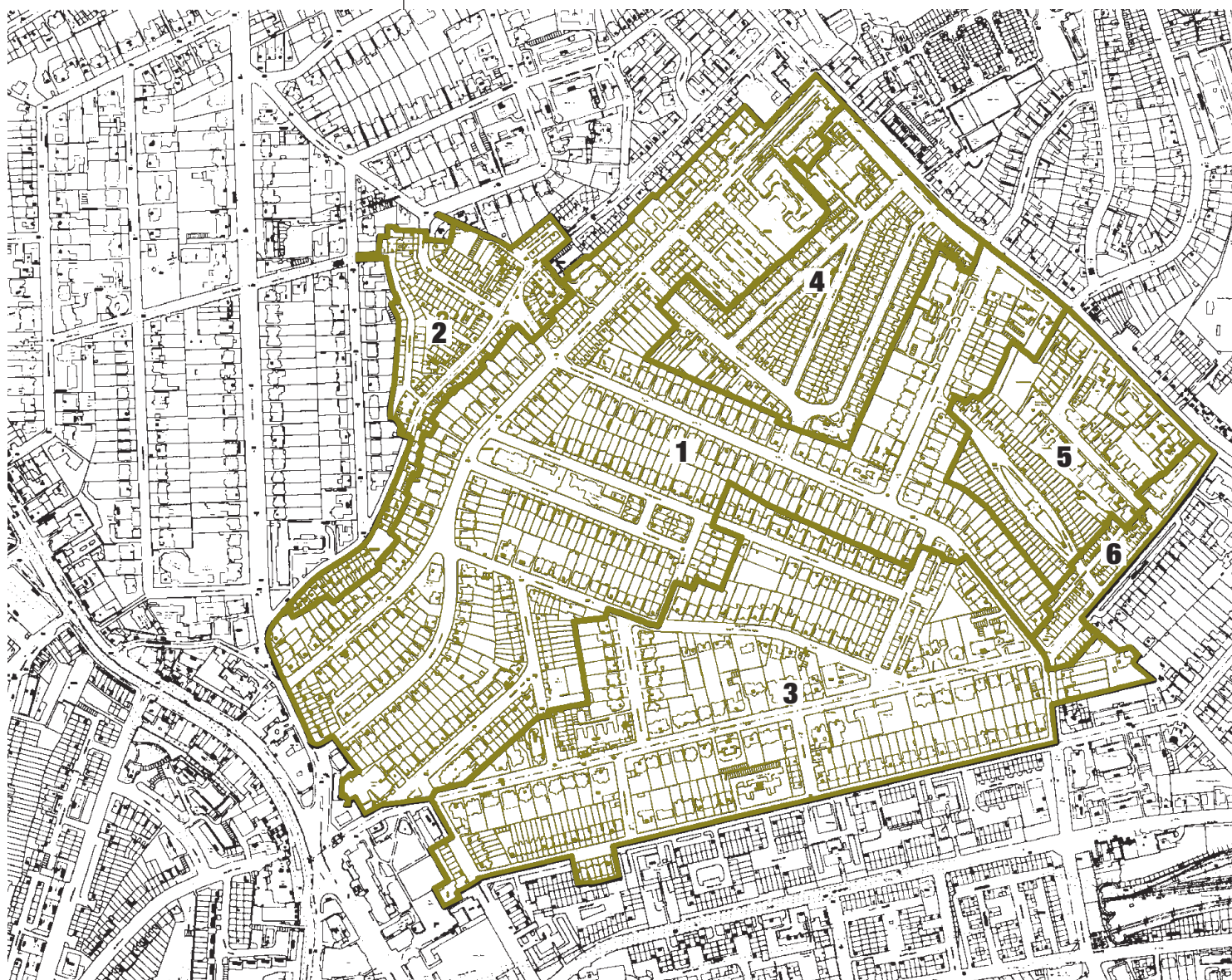
Elizabeth Mews was built between 1870 and 1900 when, accordingly to the CA statement "Two terraces of shops, known as Elizabeth Terrace, were developed along the north side of England's Lane with a mews development known as Elizabeth Mews to the rear which provided stabling and accommodation for carriage drivers. A similar terrace was also developed on the south side of the road, and also a butcher's shop with an abbatoir..."

The character of Belsize is largely derived from mid-19th century Italianate villas. Within the Conservation Area there are, however, a number of distinct areas of varying character and appearance. These differences are caused by a combination of the following: land use, the density of development, the scale and style of buildings, their construction materials, the period of development, local topography and the predominance of gardens and trees.

The CA Statement divides the area into six sub areas. In most cases the sub areas have a distinct, broadly uniform character, although there are pockets of development that depart from the general character. The six sub areas are:

1. Belsize Park (including Belsize Avenue, Belsize Park, Belsize Square, Belsize Park Gardens, Belsize Grove, Buckland Crescent, Lancaster Drive and the northern end of Lancaster Grove).
2. Belsize Village (incorporating Belsize Lane and the mews areas to the north, Belsize Crescent and Belsize Terrace).
3. Eton Avenue (including Strathray Gardens, the southern end of Lancaster Grove, Lambolle Road, Lambolle Place, Eton and Lancaster Garages and Fellows Road).
4. Glenloch (incorporating Glenloch, Glenmore, Glenilla and Howitt Roads).
5. Primrose Gardens/ Antrim Road (including Antrim Grove and the Haverstock Hill frontage).
6. Englands Lane (including Elizabeth Mews).

Elizabeth Mews is part of the sub area number 6.



Existing use and accommodation

The existing use is a three storey single family dwelling and it accommodates 2 bedrooms at the second floor. It is proposed to introduce an internal staircase at the second floor creating a safe and comfortable access to the flat roof. Currently the access to the flat roof is from the external second floor small balcony at the front of the property and it involves the use of a step ladder. This is the only proposed internal change within the application.

Proposed works

The intention of the proposed works is to increase the amenity of the property and in doing so to increase the thermal efficiency of the existing rooflight currently in poor condition. The proposed works can be summarised as follows:

- Second floor: Replacement of the existing rooflight currently in poor condition. The proposed rooflight is thermally efficient and it guarantees safe access to the flat roof.
- Second floor: Introduction of an internal staircase creating a safe and comfortable access to the flat roof. Safe access guarantees easy maintenance and service of the flat roof.
- Roof level: Footprint reduction of the existing water tank enclosure. The existing water tank is replaced with a smaller and more efficient tank. The smaller enclosure improves the existing arrangement and visual appearance of the property.
- Roof level: Use of part of the roof as terrace to increase the amenity of the property and furthers the continued residential use of the property. The proposed 1.2m wooden slatted balustrade is recessed from the front elevation by 2.5m. The balustrade is not visible from Elizabeth Mews, the proposal would therefore not harm the character or appearance of the conservation area.

Design

It is intended to provide access from second floor level out to the flat roof. The proposal has given due consideration to the potential visual impact on Belsize Conservation Area. The proposed wooden slat balustrade is recessed from the front elevation and it guarantees that no visual impact is caused to Elizabeth Mews. The proposal would not generate any loss of privacy to the adjoining properties. The proposal would not be visible from any public realm.

Currently there are several properties in the area that feature access to the roof through a rooflight and use the roof as a terrace. In particular the two adjacent properties located at 9 Elizabeth Mews and 11 Elizabeth Mews.

The existing rooflight will be replaced with new double glazed unit, as seen at 9 Elizabeth Mews and 11 Elizabeth Mews. The new unit will improve the thermal performance of the property.

The proposed changes improve the amenity of the property and ease the maintenance and use of the external space on the top of the building. This furthers the continued residential use of the property.

Material

The proposed finishes are sympathetic with the existing building:

- Rooflight: double glazed with black aluminium frame. Not visible from any public realm.
- Balustrade: timber. Not visible from any public realm.
- Deck to flat roof: timber. Not visible from any public realm.

Access

There is no alteration to the existing arrangements from the public highway.

Refuse

No changes are proposed

Parking

No changes are proposed

Sustainability

The proposed replacement of the rooflight will improve the thermal performance of the property.

Summary

- The proposal is for a high-quality scheme using durable materials;
- The proposed alterations will improve the amenity, ventilation, thermal performance and natural light of the property while not materially affecting neighbouring properties;
- The proposed design approach has taken full account of the form and character of the existing building and its neighbours and is not out of keeping with the area;

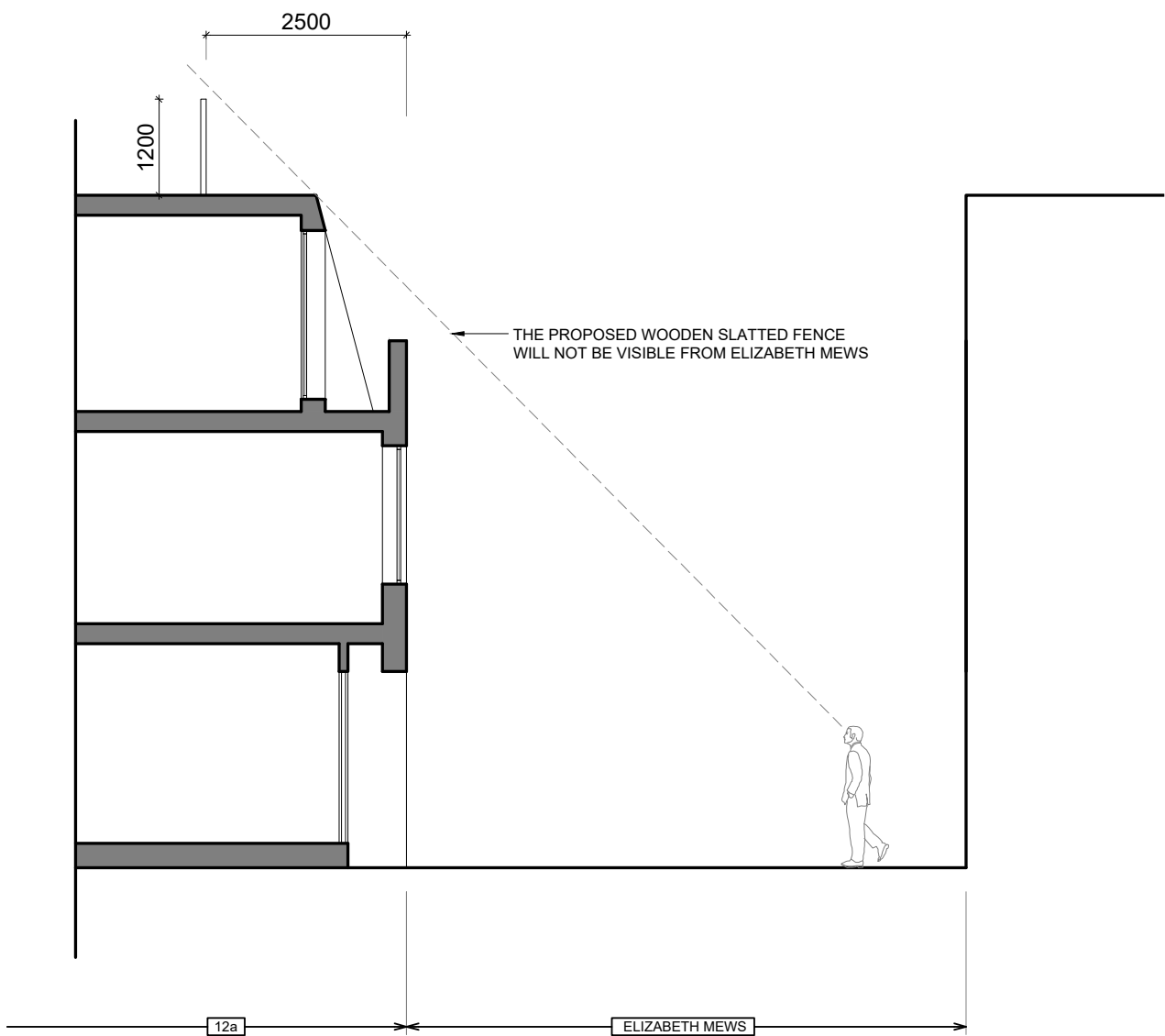








12a Elizabeth Mews, front elevation.



11 Elizabeth Mews.
Use of the roof as a terrace is clearly visible.
Access to the roof is through the rooflight

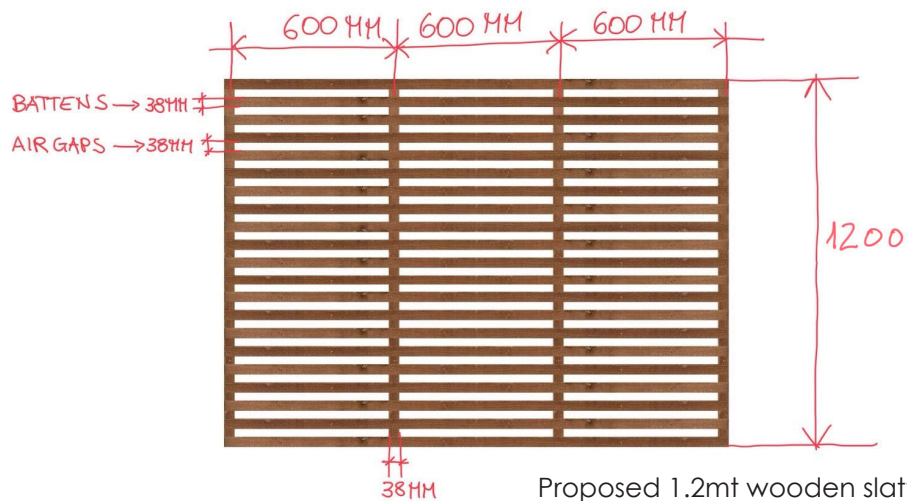


9 Elizabeth Mews.
Use of the roof as a terrace is clearly visible.
Access to the roof is through the rooflight

Elizabeth Mews.
9 Elizabeth Mews and 11 Elizabeth Mews currently use the roof as a terrace.



Proposed double glazed rooflight to access the roof.



Proposed 1.2mt wooden slatted balustrade.
The balustrade is recessed from the front elevation by 2.5mt.